

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2012-053

AN ORDINANCE GRANTING APPROVAL OF A SPECIAL USE PERMIT AND CERTAIN OTHER APPROVALS TO ALLOW BUCHANAN ENERGY TO LOCATE BUCKY'S FUEL STATION/CARWASH AT THE INTERSECTION OF RING ROAD AND ROUTE 60 (TOWNLINER ROAD), IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 18th DAY OF SEPTEMBER, 2012

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 2nd Day of October, 2012

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OTHER APPROVALS TO ALLOW
BUCHANAN ENERGY TO LOCATE BUCKY'S
FUEL STATION/CARWASH AT THE
INTERSECTION OF RING ROAD AND ROUTE
60 (TOWNLINER ROAD), IN THE VILLAGE OF
VERNON HILLS, LAKE COUNTY**

WHEREAS, Walter J. Hainsfurther of Kurtz Associates Architects, representing Buchanan Energy Company, owners of a property located at 294 East Townline Road and legally described in Exhibit A, has petitioned the Village of Vernon Hills for approval of the following:

1. Approval of Special Use Permit to allow an automobile service station, mini-mart and automobile laundry commonly known as Bucky's; and
2. Grant certain variations related to setbacks and signage; and
3. Preliminary and final approval of the site and landscaping plans; and
4. Preliminary and final approval of the architectural elevations including signage.

WHEREAS, Walter J. Hainsfurther of Kurtz Associates Architects, representing Buchanan Energy Company requested the following variations as a part of the petition:

1. **Canopy** – Reduction of the front yard setback area to 46.5' as measured to the front face of the canopy.
2. **Side Yard Setback for building/carwash** - Reduction of the side yard setback area to 10 feet as measured from the west property line to the building.
3. **Rear Yard Setback for Trash Enclosure/Vacuum stalls** - Reduction of the rear yard setback to 36' for the Trash Enclosure and to 15' for the vacuum/ air hose stalls. The locations shall be generally consistent with the approved site plan.
4. **Landscape Buffer along Townline Road** - Reduction of the landscape buffer along Townline Road to 11 feet of the right-of-way line and one foot for the eastern most parking spaces as shown on the approved site plan.
5. **Parking Space Size** - Reduction of the required parking space size to 18.5' throughout the property except for those spaces required to meet ADA requirements.
6. **Signage** (being Chapter 19 of the Village Code)
 - Front Elevation #1 (Facing East)
To allow three signs on the building elevation
To allow Mobil sign, being 16.32 sq ft, on the Canopy

To allow a maximum of 136.85 sq ft of signage as follows: (Bucky's Sign 64.38 sq ft, "B-Fresh Lunch" Sign 31.5 sq ft, Rapid Wash 24.65 sq ft and Mobil Sign)

- Side Elevation #2 (Facing South)
To allow two signs on the building elevation
To allow a maximum of 66.88 sq ft (Bucky's Sign 64.38 sq ft, Exit Sign 2.5 sq ft.)

- Side Elevation #4 (Facing North)
To allow three signs on the building elevation
To allow Mobil sign, being 16.32 sq ft, on the Canopy
To allow a maximum of 85.77 sq ft (Bucky's Sign 64.38 sq ft, Entrance Sign 5.07 sq ft and the Mobil sign).

WHEREAS, the requested approvals would be in general compliance with the following plans:

- The plans prepared by Kurtz Associates, Inc. with a stamped received date of August 8, 2012 and plan date of 8/6/12 consisting of the following:
 - Floor Plan (as corrected for direction), page A101
 - Exterior Elevations, page A201
- Site and Landscaping Plans prepared by ARC Design Resources Inc. with a revised date of 8/6/12 and consisting of the following:
 - Existing Conditions & Removals - page C3
 - Layout Plan - page C4
 - Grading Plan - page C5
 - Utility Plan - page C6
 - Landscape Plan - page L1
- Various Sign Plans prepared by Omaha Neon Sign Company dated 3/19/12 except as otherwise noted, as follows:
 - Canopy signs – Partial Enlarger East & South Elevations
 - Full east, west, north & south Elevations of Canopy
 - D/F Monument Sign Display
 - Front Elevation showing Bucky's & B-Fresh Lunch signs
 - Front Elevation showing Rapid Wash sign
 - Side Elevations showing Bucky's sign (Please note that BEC will not use the Clean Car Exit or Dirty Car Entrance signs as shown on the drawings)
 - Side Elevations showing Entrance and Exit signs
 - Canopy Sign and Blue color Band detail with corrected elevation noted dated 12/20/11
 - Canopy with dimensions and sign details with corrected elevation noted dated 12/20/11
- Lighting Plans prepared by LSI Industries dated 4/4/12 being page LO-110501-1

Said Plans are attached hereto as Exhibit B; and,

WHEREAS, upon due notice and after public hearing held August 29, 2012 and continued from time to time by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

WHEREAS, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that addresses the conditions in Section 18.3 of the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the Special Use Permit to allow for an automobile service station, mini-mart and automobile laundry and certain variations related to setbacks, parking space size and signage as listed in Exhibit C, is hereby granted. Said parcel is legally described in Exhibit A. The approval is subject to the conditions listed below in Section V and the terms and conditions as set forth in Exhibit C.

SECTION II. Pursuant to the Vernon Hills Zoning Ordinance of 1982, approval of the preliminary and final site and landscaping plans for the entire site as set forth in Exhibit B are hereby granted subject to the conditions listed below in Section V.

SECTION III. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations including signage as set forth in Exhibit B are hereby granted subject to the conditions listed below in Section V.

SECTION IV. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as set forth in Exhibit B are hereby approved subject to the conditions listed below in Section V.

SECTION V. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the terms and conditions as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

SECTION VI. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION VII. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION VIII. SUCCESSORS AND ASSIGNS. All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the property owner Buchanan Energy Company.

SECTION IX. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION X. ORDINANCE NUMBER. This ordinance shall be known as Ordinance Number 2012-053.

AYES: 7 – Koch, Marquardt, Schultz, Schwartz, Williams, Hebda, Byrne

NAYS: 0 - None

ABSENT AND NOT VOTING: 0 - None


Roger L. Byrne
Village President

PASSED: 9/18/2012

APPROVED: 9/18/2012

PUBLISHED IN PAMPHLET FORM: 10/2/2012

ATTEST: 10/2/2012

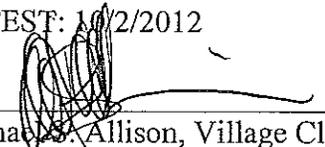

Michael S. Allison, Village Clerk

Exhibit A
Legal Description

THAT PART OF OUT-LOT 1 IN NEW CENTURY TOWN, UNIT ONE, BEING A SUBDIVISION OF PARTS OF SECTIONS 32 AND 33, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED NOVEMBER 2, 1973, AS DOCUMENT 1641342, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF OUT-LOT 1 AFORESAID; THENCE SOUTH 88 DEGREES 45 MINUTES 24 SECONDS WEST ALONG THE SOUTH LINE OF SAID OUT-LOT 1, A DISTANCE OF 50.00 FEET; THENCE SOUTH 0 DEGREES 33 MINUTES 22 SECONDS EAST ALONG AN EASTERLY LINE OR SAID OUT-LOT 1, A DISTANCE OF 10.00 FEET; THENCE SOUTH 88 DEGREES 45 MINUTES 24 SECONDS WEST AND CONTINUING ALONG THE SOUTH LINE, A DISTANCE OF 140.00 FEET; THENCE NORTH 0 DEGREES 38 MINUTES 22 SECONDS WEST ALONG A LINE PARALLEL WITH THE EAST LINE OF SAID OUT-LOT 1, A DISTANCE OF 300.00 FEET; THENCE NORTHEASTERLY ALONG AN ARC OF A CIRCLE, BEING CONVEX TO THE NORTHWEST HAVING A RADIUS OF 165.33 FEET, THE CHORD THEREOF HAVING A BEARING NORTH 63 DEGREES 45 MINUTES 24 SECONDS EAST AND A LENGTH OF 139.75 FEET, AN ARC DISTANCE OF 144.28 FEET TO A POINT OF TANGENCY; THENCE NORTH 88 DEGREES 45 MINUTES 24 SECONDS EAST ALONG A LINE PARALLEL WITH THE SOUTH LINE OF SAID OUT-LOT 1, A DISTANCE OF 61.21 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG AN ARC OF A CIRCLE, BEING CONVEX TO THE NORTHEAST HAVING A RADIUS OF 150.00 FEET THE CHORD THEREOF HAVING A BEARING OF SOUTH 85 DEGREES 08 MINUTES 05 SECONDS EAST AND A LENGTH OF 31.92 FEET, AN ARC LENGTH OF 31.98 FEET TO THE EASTERLY LINE OF SAID OUT-LOT 1; THENCE SOUTH 12 DEGREES 43 MINUTES 31 SECONDS WEST ALONG SAID EAST LINE, A DISTANCE OF 52.76 FEET TO AN ANGLE POINT IN SAID EAST LINE; THENCE SOUTH 0 DEGREES 38 MINUTES 22 SECONDS EAST AND CONTINUING ALONG SAID EAST LINE, A DISTANCE OF 301.91 FEET TO THE PLACE OF BEGINNING, (EXCEPTING THEREFROM THAT PART THEREOF FALLING SOUTHEASTERLY OF A LINE DRAWN FROM A POINT ON THE EAST LINE OF TRACT, 19.91 FEET NORTH 0 DEGREES 38 MINUTES 22 SECONDS WEST FROM THE PLACE OF BEGINNING, TO A POINT ON THE SOUTH LINE OF TRACT, SAID POINT BEING 12.00 FEET SOUTH 88 DEGREES 45 MINUTES 24 SECONDS WEST FROM THE PLACE OF BEGINNING), IN LAKE COUNTY, ILLINOIS.

EXCEPTING THE FOLLOWING DESCRIBED PROPERTY;

THE NORTHERLY 10.00 FEET OF THAT PART OF OUTLOT 1 IN NEW CENTURY TOWN UNIT ONE ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NO. 1641342 ON NOVEMBER 2, 1973, IN THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID OUTLOT 1; THENCE SOUTH 88 DEGREES 45 MINUTES 24 SECONDS WEST 50.00 FEET ALONG THE SOUTH LINE OF SAID OUTLOT 1; THENCE SOUTH 0 DEGREES 38 MINUTES 22 SECONDS EAST 10.00 FEET ALONG AN EAST LINE OF SAID OUTLOT 1; THENCE SOUTH 88 DEGREES 45 MINUTES 24 SECONDS WEST 140.00 FEET ALONG A SOUTH LINE OF SAID OUTLOT 1; THENCE NORTH 0 DEGREES 38 MINUTES 22 SECONDS WEST 300.00 FEET ALONG A LINE PARALLEL WITH SAID

Continued on next page

EAST LINE OF OUTLOT 1; THENCE NORTHEASTERLY 144.26 FEET
ALONG A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF
165.33 FEET THE CHORD OF SAID CURVE BEARS NORTH 63 DEGREES
45 MINUTES 21 SECONDS EAST 139.75 FEET TO POINT OF TANGENCY;
THENCE NORTH 88 DEGREES 45 MINUTES 24 SECONDS EAST 61.21
FEET ALONG A LINE PARALLEL WITH SAID SOUTH LINE OF OUTLOT
1 TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY 31.55
FEET, MORE OR LESS, ALONG A CURVE CONCAVE SOUTHWESTERLY HAVING
A RADIUS OF 150.00 FEET THE CHORD OF SAID CURVE BEARS SOUTH
85 DEGREES 13 MINUTES 03 SECONDS EAST 31.49 FEET, MORE OR
LESS, TO SAID EASTERLY LINE OF OUTLOT 1; THENCE SOUTH 32
DEGREES 43 MINUTES 31 SECONDS WEST 52.76 FEET ALONG SAID
EASTERLY LINE OF OUTLOT 1 TO AN ANGLE POINT IN SAID
EASTERLY LINE OF OUTLOT 1; AND THENCE SOUTH 0 DEGREES 38
MINUTES 22 SECONDS EAST 301.91 FEET ALONG AFORESAID EAST LINE
OF OUTLOT 1 TO THE POINT OF BEGINNING EXCEPT THAT PART THEREOF
LYING SOUTHEASTERLY OF A LINE DESCRIBED AS FOLLOWS; BEGINNING
AT A POINT ON THE EAST LINE OF SAID OUTLOT 1; 9.91 FEET NORTH
OF AFORESAID SOUTHEAST CORNER OF OUTLOT 1; THENCE SOUTHWESTERLY
ALONG A STRAIGHT LINE TO A POINT ON THE SOUTH LINE OF SAID
OUTLOT 1, 12.00 FEET WEST OF SAID SOUTHEAST CORNER OF OUTLOT
1.

ALSO BEING DESCRIBED AS:

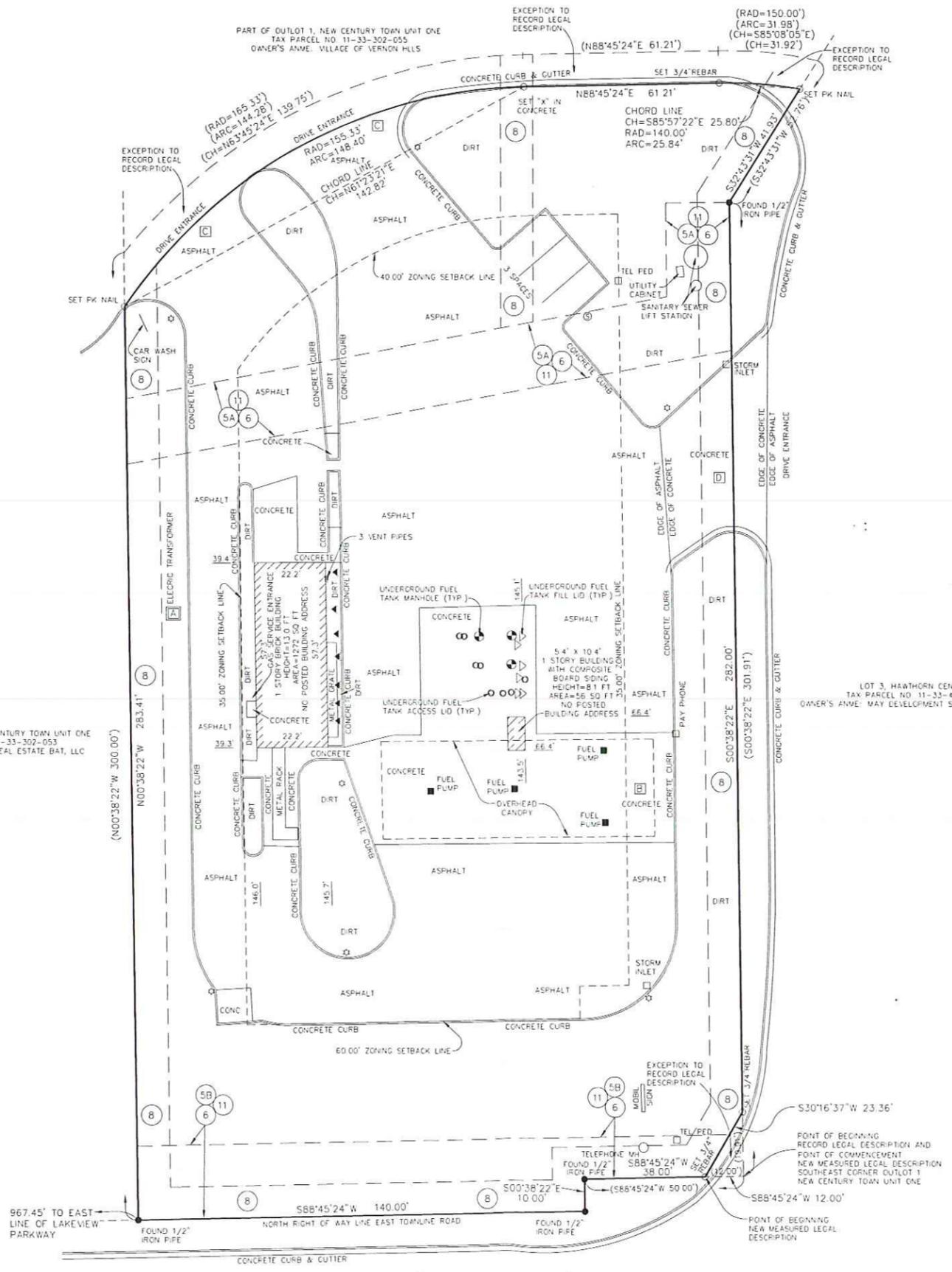
PART OF OUTLOT 1, NEW CENTURY TOWN UNIT ONE, VILLAGE OF VERNON
HILLS, LAKE COUNTY, ILLINOIS BEING MORE PARTICULARLY DESCRIBED
AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID OUTLOT 1; THENCE
SOUTH 88 DEGREES 45'24" WEST, 12.00 FEET TO THE POINT OF
BEGINNING; THENCE SOUTH 88 DEGREES 45'24" WEST, 38.00 FEET;
THENCE SOUTH 00 DEGREES 38'22" EAST, 10.00 FEET; THENCE SOUTH
88 DEGREES 45'24" WEST, 140.00 FEET; THENCE NORTH 00 DEGREES
38'22" WEST, 283.41 FEET; THENCE 148.40 FEET ALONG THE ARC OF A
CURVE TO THE RIGHT HAVING A RADIUS OF 153.33 FEET AND A LONG
CHORD SUBTENDED BEARING NORTH 61 DEGREES 23'21" EAST, 142.82
FEET; THENCE NORTH 88 DEGREES 45'24" EAST, 61.21 FEET; THENCE
25.84 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A
RADIUS OF 140.00 FEET AND A LONG CHORD SUBTENDED BEARING SOUTH
85 DEGREES 57'22" EAST, 25.80 FEET; THENCE SOUTH 32 DEGREES
43'31" WEST, 41.93 FEET; THENCE SOUTH 00 DEGREES 38'22" EAST,
282.00 FEET; THENCE SOUTH 30 DEGREES 16'37" WEST, 23.36 FEET TO
THE POINT OF BEGINNING.

Exhibit B Plans

General Compliance with the following plans:

- The plans prepared by Kurtz Associates, Inc. with a stamped received date of August 8, 2012 and plan date of 8/6/12 consisting of the following:
 - Floor Plan (as corrected for direction), page A101
 - Exterior Elevations, page A201. The brick color will be Harvard Blend. The red band shall extend onto the Rear Elevation #3 (facing west) and onto the concrete block portion of the Side Elevation #2 (facing south). The glass panels on Side Elevation #4 (facing north) shall be opaque and shall not be internally lighted or have any signage attached to it. On Rear Elevation #3 (facing west), the northern single window shall be changed to match to other two windows.
- Site and Landscaping Plans prepared by ARC Design Resources Inc. with a revised date of 8/6/12 and consisting of the following:
 - Existing Conditions & Removals - page C3
 - Layout Plan - page C4
 - Grading Plan - page C5
 - Utility Plan - page C6
 - Landscape Plan - page L1
- Various Sign Plans prepared by Omaha Neon Sign Company dated 3/19/12 except as otherwise noted, as follows:
 - Canopy signs – Partial Enlarger East & South Elevations
 - Full east, west, north & south Elevations of Canopy
 - D/F Monument Sign Display
 - Front Elevation showing Bucky's & B-Fresh Lunch signs
 - Front Elevation showing Rapid Wash sign
 - Side Elevations showing Bucky's sign (Please note that BEC will not use the Clean Car Exit or Dirty Car Entrance signs as shown on the drawings)
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- Lighting Plans prepared by LSI Industries dated 4/4/12 being page LO-110501-1



PART OF OUTLOT 1, NEW CENTURY TOWN UNIT ONE
 TAX PARCEL NO. 11-33-302-053
 OWNER'S ANNE: INLAND REAL ESTATE BA, LLC

LOT 3, HAWTHORN CENTER
 TAX PARCEL NO. 11-33-401-005
 OWNER'S ANNE: MAY DEVELOPMENT STORES COMPANY

RECEIVED

AUG 8 2012

COMMUNITY DEVELOPMENT
 DEPARTMENT

PROJECT NAME: EXXON MOBIL MKA PROJECT No.: 1099-09-1813.044
 ADDRESS: 294 E. STATE ROUTE 60 CITY: VERNON HILLS STATE: ILLINOIS



For Inquiries Concerning This Survey Contact MKA
 National Coordinators of Land Survey Services
 6593 Commerce Court - Warrenton, Virginia 20187
 Phone: (540)428-3550 Fax: (540)428-3560
 www.mkassociates.com

Survey Prepared By:
Sarko Engineering Inc.
 847 Highway JG
 Mount Horeb, WI 53572
 Phone: 608-832-6297
 Fax: 608-832-6349
 Email: rsarko@mhinc.net

Surveyor's Drawing No.:	41535
Surveyor's Site Ref.:	VERNON HILLS
Checked by:	RFS
Drawn by:	VS

GRAPHIC SCALE: 1" = 20'

EAST TOWNLINE ROAD (AKA STATE HWY 60)
 (PUBLIC ROAD)
 RIGHT OF WAY WIDTH = VAPES
 WEST BOUND LANES - BITUMINOUS PAVEMENT WIDTH = 39.1 FT
 BITUMINOUS PAVEMENT WIDTH = 4.0 FT
 EAST BOUND LANES - BITUMINOUS PAVEMENT WIDTH = 69.3 FT

EXHIBIT B

GENERAL NOTES

- The bearing base for this survey originated from the East line of Outlot 1, New Century Town Unit One, Village of Vernon Hills, Lake County, Illinois recorded November 2, 1973 as Document Number 1641342 having a recorded bearing of S00 degrees 38'22" E.
- The property has an area of 63,669 square feet or 1.4616 acres.
- The property is designated by Lake County, Illinois as Tax Map Parcel Number 11-33-302-056.
- There is no observable evidence of cemeteries or burial grounds on the subject property at the time of this survey.
- There was no observable evidence of earth moving work, building construction or additions, no changes in right of way lines, recent street or sidewalk construction or repairs and no observable evidence of site use as a solid waste dump, sump or sanitary landfill.
- Interior roadways appear to be private, variable in width and unnamed, unless otherwise shown.
- All measured and recorded dimensions are the same unless noted otherwise.
- No monuments shown have identification numbers.
- The utility locations shown herein were determined by observable above ground evidence only. This office was not provided with utility plans or markings to determine any subsurface locations.
- The subject property does not have access to a dedicated public right of way through an insured easement parcel as per the subject title commitment.

ZONING NOTES

Zoned: B-1, General Business District

Permitted Use Classification: Provide for a variety of compatible business uses which will tend to draw trade which is mutually supporting and so promote public convenience and business prosperity, and to permit commercial development in locations where safe and convenient access to arterial or major collector streets can be provided to handle the increased volume and variety of traffic generated by such development.
Observed Use: Gas Station

Existing site conditions appear, from outside observations, to fall within the special uses as listed above in the Village of Vernon Hills' Zoning Regulations, Section 13.3.6.

Zoning Regulations are subject to change and interpretation, for further information contact:

Village of Vernon Hills, Illinois
Community Development Department
290 Evergreen Drive
Vernon Hills, IL 60061
Phone: 1-847-367-3700
Contact: John M. Kalmar (JohnK@vhill.org)

Site Restrictions:

- Minimum building setbacks:
Front: 60.00 FT (min. provided: 143.5 FT)
Side: 35.00 FT (min. provided: 39.3 FT)
Rear: 40.00 FT (min. provided: 195.1 FT)
- Minimum lot size: 40,000 SQ FT (min. provided: 63,669 SQ FT)
- Minimum lot frontage: N/A (min. provided: 178.00 FT)
- Maximum building height: 35.00 FT (max. provided: 13.0 FT)
- Maximum building coverage: 25% (max. provided: 2.1%)

Parking Tabulation:

Regular parking space calculations are performed based on the off-street parking requirement for Automobile Service Stations of 1 space for every 2 employees plus 2 spaces for each service bay. Handicap spaces are calculated based on ADA requirements.

Total regular parking spaces provided: 3
Total handicap spaces provided: 0
Total combined spaces provided: 3

This office is unable to determine the required number of parking spaces as this office is unable to determine the number of employees on the subject property.

SCHEDULE B - TITLE EXCEPTION NOTES

This survey is based on a title report prepared by Stewart Title Guaranty Company, Commitment Number 09031254, dated July 6, 2010 at 8:00 A.M.

Items not listed below are standard title exceptions and/or are not matters that pertain to this survey.

- Ordinance for New Century Town Water System recorded June 12, 1972 as Document Number 1562007. Not plotted. Blanket in nature. Does affect entire subject property.
- A 20.00 foot wide Public Utility Easement as shown on the plat of New Century Town Unit One recorded November 2, 1973 as Document Number 1641342. Affects property as shown.
- A 23.00 foot wide Public Utility Easement as shown on the plat of New Century Town Unit One recorded November 2, 1973 as Document Number 1641342. Affects property as shown.
- Utility Easement Terms and Conditions as shown on the plat of New Century Town Unit One recorded November 2, 1973 as Document Number 1641342. Affects property as shown.
- Illinois Department of Transportation Flood Report attached to the plat of New Century Town Unit One recorded November 2, 1973 as Document Number 1641342. Not plotted. Does not affect property.
- A 10.00 foot wide Utility Easement contained in Deed recorded December 30, 1974 as Document Number 1692339. Affects property as shown.
- Covenants, Conditions and Restrictions Agreement recorded December 30, 1974 as Document Number 1692340 and recorded December 30, 1974 as Document Number 1692341. Not plotted. Blanket in nature. Does affect entire subject property.
- Provisions contained in Deed recorded December 30, 1974 as Document Number 1692339. Not plotted. Does not affect. Provisions have expired.
- Utility Easement Provisions granted to Illinois Bell Telephone Company, Commonwealth Edison Company, Lake County Public Works Department, North Shore Gas Company and the Village of Vernon Hills as shown on the plat of New Century Town Unit One recorded November 2, 1973 as Document Number 1641342. Affects property as shown.

POTENTIAL ENCROACHMENT NOTES

- An electric transformer encroaches from 11.3 to 15.8 feet East of the West property line onto the subject property with no apparent easement as per the subject title commitment.
- The overhead canopy encroaches from 8.7 to 8.9 feet into the current minimum required 35.00 foot side yard zoning setback as per the current zoning code for the Village of Vernon Hills, Illinois.
- Two drive entrances exist along the North property line between the subject property and the adjacent property to the North with no apparent easement as per the subject title commitment. We note the subject property does not have access to a dedicated public right of way through an insured easement parcel as per the subject title commitment.
- A drive entrance exists along the East property line between the subject property and the adjacent property to the East with no apparent easement as per the subject title commitment. We note the subject property does not have access to a dedicated public right of way through an insured easement parcel as per the subject title commitment.

FLOOD ZONE NOTE

By graphic plotting only, this property is in Zone: "X" of the Flood Insurance Rate Map, Community Panel No. 17097C 0252 G, which bears an effective date of 9-7-2000 and is not in a Special Flood Hazard Area. By telephone call to the National Flood Insurance Program (800-638-6620) we have learned this community does currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

Survey Prepared By:

Sarko Engineering Inc.
847 Highway JG
Mount Horeb, WI 53572
Phone: 608-832-6297
Fax: 608-832-6349
Email: rsarko@smhinc.net

Surveyor's Drawing No.	41535
Surveyor's Site Ref.	VERNON HILLS
Checked by: RFS	Drawn by: VS

GRAPHIC SCALE: 1" = 20'



LEGAL DESCRIPTION

A Description of
Mobi Oil Corporation, a New York corporation
Commitment for Title Insurance
Stewart Title Guaranty Company
Commitment Number 09031254, dated July 6, 2010 at 8:00 A.M.
Lake County, Illinois

RECORD LEGAL DESCRIPTION

That part of Out-Lot 1 in New Century Town Unit One, being a Subdivision of parts of Sections 32 and 33, Township 44 North, Range 11 East of the Third Principal Meridian, according to the plat thereof, recorded November 2, 1973, as Document 1641342, described as follows: Beginning at the Southeast corner of Out-Lot 1 a distance of 50.00 feet; thence South 88 degrees 45 minutes 24 seconds West along the South line of said Out-Lot 1, a distance of 50.00 feet; thence South 0 degrees 33 minutes 22 seconds East along the Eastern line of said Out-Lot 1, a distance of 10.00 feet; thence South 88 degrees 45 minutes 24 seconds West and continue along the South line, a distance of 140.00 feet; thence North 0 degrees 38 minutes 22 seconds East along a line parallel with the East line of said Out-Lot 1, a distance of 300.00 feet; thence Northwesterly along an arc of a circle, being convex to the Northwest having a radius of 165.33 feet, the chord thereof having a bearing North 63 degrees 45 minutes 24 seconds East and a length of 139.75 feet, on an arc distance of 144.28 feet to a point of tangency; thence North 88 degrees 45 minutes 24 seconds East along a line parallel with the South line of said Out-Lot 1, a distance of 61.21 feet to a point of curvature; thence Southwesterly along an arc of a circle, being convex to the Northwest having a radius of 150.00 feet the chord thereof having a bearing of South 85 degrees 08 minutes 05 seconds East and a length of 31.92 feet, on an arc length of 31.58 feet to the Eastern line of said Out-Lot 1; thence South 32 degrees 43 minutes 31 seconds West along said East line, a distance of 52.78 feet to an angle point of beginning; thence South 0 degrees 38 minutes 22 seconds East and continuing along said East line, a distance of 301.91 feet to the place of beginning, (excepting therefrom that part thereof falling Southwesterly of a line drawn from a point on the East line of tract, 19.91 feet North 0 degrees 38 minutes 22 seconds East from the place of beginning, to a point on the South line of tract, said point being 12.00 feet South 88 degrees 45 minutes 24 seconds West from the place of beginning), in Lake County, Illinois

EXCEPTING THE FOLLOWING DESCRIBED PROPERTY:

THE NORTHERLY 10.00 FEET OF THAT PART OF OUTLOT 1 IN NEW CENTURY TOWN UNIT ONE ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NO. 1641342 ON NOVEMBER 2, 1973, IN THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID OUTLOT 1; THENCE SOUTH 88 DEGREES 45 MINUTES 24 SECONDS WEST 50.00 FEET ALONG THE SOUTH LINE OF SAID OUTLOT 1; THENCE SOUTH 0 DEGREES 33 MINUTES 22 SECONDS EAST 10.00 FEET ALONG AN EAST LINE OF SAID OUTLOT 1; THENCE SOUTH 88 DEGREES 45 MINUTES 24 SECONDS WEST 140.00 FEET ALONG A SOUTH LINE OF SAID OUTLOT 1; THENCE NORTH 0 DEGREES 38 MINUTES 22 SECONDS EAST 300.00 FEET ALONG A LINE PARALLEL WITH SAID EAST LINE OF OUTLOT 1; THENCE NORTH-EASTERLY 144.28 FEET ALONG A CURVE, CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 165.33 FEET THE CHORD OF SAID CURVE BEARS NORTH 63 DEGREES 45 MINUTES 24 SECONDS EAST 139.75 FEET TO POINT OF TANGENCY; THENCE NORTH 88 DEGREES 45 MINUTES 24 SECONDS EAST 61.21 FEET ALONG A LINE PARALLEL WITH SAID SOUTH LINE OF OUTLOT 1 TO A POINT OF CURVATURE; THENCE SOUTH-EASTERLY 31.58 FEET, MORE OR LESS, ALONG A CURVE CONCAVE SOUTH-WESTERLY HAVING A RADIUS OF 150.00 FEET THE CHORD OF SAID CURVE BEARS SOUTH 85 DEGREES 08 MINUTES 05 SECONDS EAST 31.92 FEET, MORE OR LESS, TO SAID EASTERLY LINE OF OUTLOT 1; THENCE SOUTH 32 DEGREES 43 MINUTES 31 SECONDS WEST 52.78 FEET ALONG SAID EASTERLY LINE OF OUTLOT 1 TO AN ANGLE POINT IN SAID EASTERLY LINE OF OUTLOT 1; AND THENCE SOUTH 0 DEGREES 38 MINUTES 22 SECONDS EAST 301.91 FEET ALONG SAID EAST LINE OF OUTLOT 1 TO THE POINT OF BEGINNING EXCEPT THAT PART THEREOF LYING SOUTHWESTERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF SAID OUTLOT 1, 19.91 FEET NORTH OF AFRS640 SOUTHWEST CORNER OF OUTLOT 1; THENCE SOUTH-WESTERLY ALONG A STRAIGHT LINE TO A POINT ON THE SOUTH LINE OF SAID OUTLOT 1, 12.00 FEET WEST OF SAID SOUTHWEST CORNER OF OUTLOT 1 CONTAINING 2,365 SQUARE FEET, MORE OR LESS.

ALSO BEING DESCRIBED AS:

PART OF OUTLOT 1, NEW CENTURY TOWN UNIT ONE, VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID OUTLOT 1; THENCE SOUTH 88 DEGREES 45'24" WEST, 12.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 45'24" WEST, 38.00 FEET; THENCE SOUTH 00 DEGREES 38'22" EAST, 10.00 FEET; THENCE SOUTH 88 DEGREES 45'24" WEST, 140.00 FEET; THENCE NORTH 00 DEGREES 38'22" WEST, 283.41 FEET; THENCE 148.40 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 153.33 FEET AND A LONG CHORD SUBTENDED BEARING NORTH 61 DEGREES 23'21" EAST, 142.82 FEET; THENCE NORTH 88 DEGREES 45'24" EAST, 61.21 FEET; THENCE 25.84 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 140.00 FEET AND A LONG CHORD SUBTENDED BEARING SOUTH 85 DEGREES 07'22" EAST, 25.80 FEET; THENCE SOUTH 32 DEGREES 43'31" WEST, 41.93 FEET; THENCE SOUTH 00 DEGREES 38'22" EAST, 282.00 FEET; THENCE SOUTH 30 DEGREES 16'37" WEST, 23.36 FEET TO THE POINT OF BEGINNING.

Contained within said bounds 63,669 square feet or 1.4616 acres.

This description describes all the land described in the title commitment identified as Stewart Title Guaranty Company Commitment Number 09031254 having an effective date of July 6, 2010 at 8:00 A.M.

LEGEND OF SYMBOLS & ABBREVIATIONS

LIGHT POLE	⊙	GROUND LIGHT	◀
POWER POLE	⊕	DENOTES RECORD DATA	(X X)
POWER POLE/LIGHT POLE	⊕⊙	DENOTES DISTANCE FROM BUILDING CORNER TO PROPERTY LINE	X X
SANITARY SEWER MH	⊙	WATER VALVE	⊗
FIRE HYDRANT	⊕		
STORM SEWER MH	⊙		
MANHOLE	⊙		
SPRINKLER VALVE	⊕		
STORM SEWER INLET	⊕		

ALTA/ACSM LAND TITLE SURVEY

Surveyor's Certification

EXXON MOBIL
STORE NO. 13248
294 E. ROUTE 60
VERNON HILLS, ILLINOIS

To: Exxon Mobil Corporation, ExxonMobil Oil Corporation, Stewart Title Guaranty Company and MKAssociates, Inc.
This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and NSPS in 2005, and includes Items 1, 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13 and 14 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in his professional opinion, as a licensed professional land surveyor registered in the State of Illinois, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

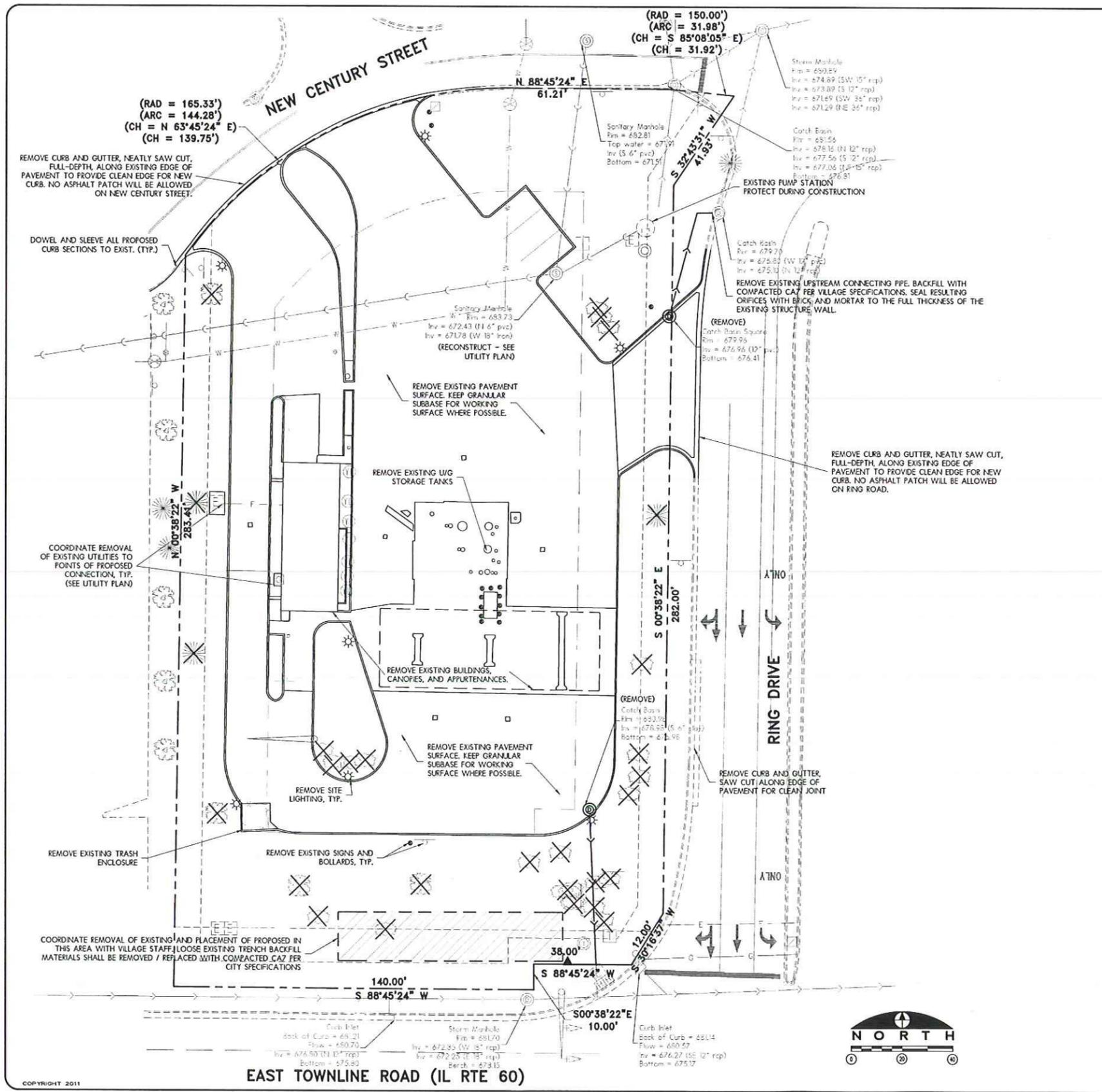
Roland F. Sarko
Roland F. Sarko
Licensed Professional Illinois Land Surveyor
License Number 035-002401
License Expires 11-30-2010
Date of Survey: 8-10-2010
Date of Last Revision: 8-13-2010



PROJECT NAME: EXXON MOBIL MKA PROJECT No.: 1099-09-1813:044
ADDRESS: 294 E. STATE ROUTE 60 CITY: VERNON HILLS STATE: ILLINOIS

MKA
A National Land Services Group

For Inquiries Concerning This Survey Contact MKA
National Coordinators of Land Survey Services
6593 Commerce Court - Warrenton, Virginia 20187
Phone: (540)428-3550 Fax: (540)428-3560
www.mkassociates.com



DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL ITEMS THAT VIOLATE THE PROPER PLACEMENT OF ANY ITEMS PROPOSED BY THIS PLAN SET.
2. THE REMOVAL WORK SHALL INCLUDE BUT NOT BE LIMITED TO: OBTAINING ALL PERMITS REQUIRED TO DEMOLISH THE EXISTING BUILDING, REMOVAL OF THE EXISTING TREES, SEALING OF THE EXISTING WATER WELLS, REMOVAL ANY SEPTIC SYSTEM OR DRY WELLS (IF ANY) AND OTHER ITEMS TO COMPLETE THE REMOVALS.
3. BUILDING REMOVAL SHALL INCLUDE THE FOLLOWING: REMOVAL OF THE ENTIRE STRUCTURES, INCLUDING ALL FOUNDATIONS, FLOOR SLABS, AND MISC. ITEMS FOR COMPLETE REMOVAL, BACKFILLING, AND COMPACTION OF THE VOIDS. BACKFILL SHOULD BE ENGINEER APPROVED FILL OR MATERIAL APPROVED BY SITE TESTING FIRM AND PLACED IN 12" MINIMUM LIFTS AND SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS STANDARD PROCTOR DENSITY.
4. THE CONTRACTOR SHALL COORDINATE DISCONNECTION, REMOVAL, AND RELOCATION OF THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES THAT ARE LEVIED BY UTILITY COMPANIES IN CONJUNCTION WITH DEMOLITION AND REMOVAL OF EXISTING UTILITIES. EXISTING WATER AND SANITARY SERVICES SHALL BE ABANDONED AT THE RESPECTIVE MAINS PRIOR TO DEMOLITION.
5. DISPOSAL OF ALL MATERIALS SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS. ALL WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL MATERIALS FROM THE SITE ALONG WITH ALL ASSOCIATED PERMITS AND REGULATORY REQUIREMENTS.
6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY SERVICES TO ADJACENT LOTS. INTERRUPTION OF SERVICES TO ADJACENT LOTS SHALL NOT OCCUR WITHOUT PROPER APPROVAL. 48 HRS NOTICE SHALL BE GIVEN TO THE PROPERTY OWNERS PRIOR TO THE CONNECTION OF THE NEW SERVICES.
7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. TO BE CLEAR AND FREE OF ANY CONSTRUCTION ACTIVITY AND/OR EXCAVATED AND HAULED MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM ADJACENT SITES.
8. THE CONTRACTOR SHALL PERFORM A FULL-DEPTH SAW CUT ALONG THE PERIMETER OF PAVEMENT REMOVAL THAT ABUTS EXISTING PAVEMENT THAT IS TO REMAIN.
9. ANY DAMAGE SUSTAINED BY ITEMS THAT ARE TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER.
10. REMOVE UNDERGROUND FUEL STORAGE AND PUMPING SYSTEMS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS. BACKFILL FOR VERNON HILLS SPECIFICATIONS WITH CAZ CRUSHED LIMESTONE AGGREGATE IN 8" LIFTS. COORDINATE PROOF ROLL INSPECTION BY VILLAGE STAFF WITH THE VILLAGE OF VERNON HILLS.

LEGEND

- PROPERTY LINE
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED
- EXISTING SANITARY SEWER TO REMAIN
- EXISTING SANITARY SEWER TO BE REMOVED
- EXISTING STORM SEWER TO REMAIN
- EXISTING STORM SEWER TO BE REMOVED
- EXISTING WATER TO REMAIN
- EXISTING WATER TO BE REMOVED
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS MAIN
- EXISTING SANITARY SEWER TO REMAIN
- EXISTING SANITARY SEWER TO BE REMOVED
- EXISTING STORM SEWER TO REMAIN
- EXISTING STORM SEWER TO BE REMOVED
- EXISTING WATER TO REMAIN
- EXISTING WATER TO BE REMOVED
- EXISTING LIGHT POLE TO REMAIN
- EXISTING LIGHT POLE TO BE REMOVED
- CONFERNUS TREE
- DECIDUOUS TREE
- TREE AND SHRUB REMOVAL
- ▲ CAP OR BULKHEAD

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Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

BUCKY'S EXPRESS
VERNON HILLS, IL
E. TOWNLINE ROAD
(IL RTE 60)

RICHARD MCMAHON
5412 REGENTS PARK ROAD
ROCKFORD, IL 61107
PHONE (402) 718-6724

CONSULTANTS

ISSUED FOR

OWNER REVIEW	DATE
YLLAGE SUBMITTAL	02-23
YLLAGE SUBMITTAL	03-07-12
YLLAGE SUBMITTAL	06-13-2012
TECHNICAL REVIEW	06-22-2012
TECHNICAL REVIEW	07-09-2012
TECHNICAL REVIEW	08-06-2012

NO.	ITEM	DATE
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SHEET TITLE

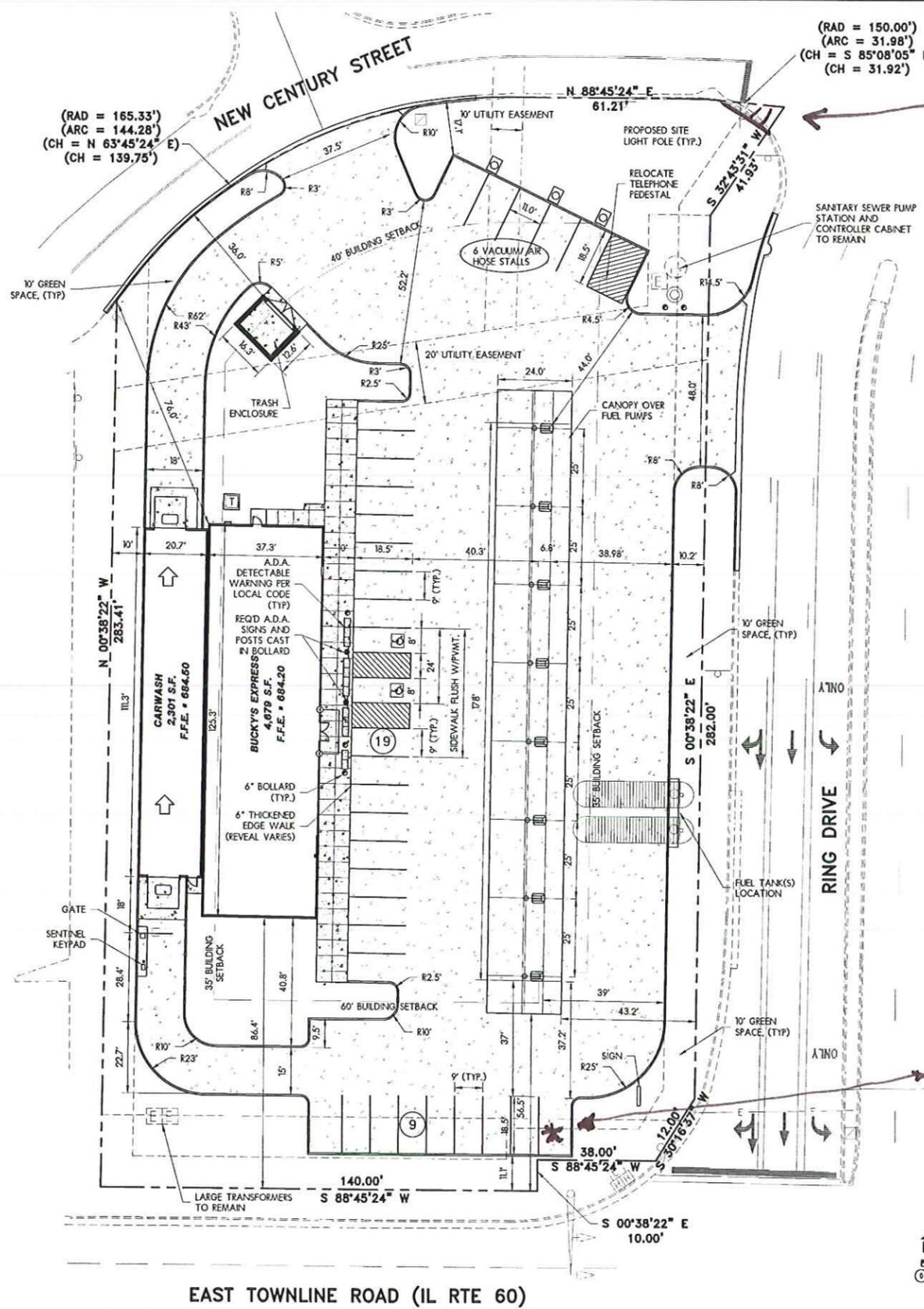
EXISTING CONDITIONS AND REMOVALS

DRAWN MJS
CHECKED RA
PM RA

PROJECT NUMBER
SHEET NUMBER

11086
C3

Not For Construction



See Exhibit A
Right of Way
Dedication

* Eastern-most
Parking Space -
Recommendation is
to eliminate this
space

LEGEND

- PROPERTY LINE
- - - EXISTING RIGHT-OF-WAY
- [Pattern] CONCRETE SIDEWALK/PAD PAVEMENT
- [Pattern] CONCRETE PAVEMENT
- ===== PROPOSED CONCRETE CURB AND GUTTER, B-6 MONOLITHIC
- ===== EXISTING CONCRETE CURB AND GUTTER
- [Pattern] PROPOSED STRIPING
- [Pattern] EXISTING STRIPING
- (10) NUMBER OF PROPOSED PARKING SPACES PAINTED YELLOW STRIPES
- [Symbol] PROPOSED HANDICAP PARKING SYMBOLS
- [Symbol] EXISTING LIGHT POLE
- [Symbol] PROPOSED SIGN
- [Symbol] EXISTING SIGN
- [Symbol] PROPOSED LIGHT POLE
- [Symbol] EXISTING SIGNAL CONTROLLER
- [Symbol] EXISTING TRAFFIC SIGNAL MAST ARM

SITE DATA

Zoning Information	
Site Address	224 East Townline Road (Illinois 60) Vernon Hills, IL
Proposed Use	Convenience store with gas sales and car wash
Existing Zoning	B-1 General Business District
Required Zoning	B-1 General Business District
Parcel Area	63,555 sf 1.46 acre
Building Area	4,679 (Retail), 2,331 (Car wash), 4,272 (Fueling canopy)
Building Height	17' max (Retail), 24' max (to top of building signage), 16' max (Fueling canopy)
Setbacks	Side Yard (Ring Drive) Rear Yard (New Century Rd) Front Yard (East Townline) Side Yard (R-1)
(exception) Building	Provided 35' 35' 60' 35'
(exception) Landscaping Buffer	Provided 121.9' 76.0' 66.4' 10.0'
(exception) Landscaping Buffer	Provided 40' 30' 30' 10'
Parking	Quantity Required 20=2x8+1x1 (2 per 8 service bays + 1 per 2 employees) Provided 34 = 19 standard + 2 A.D.A. parking stall + 6 vacuum stalls
Stall Size Required	9' x 20' Provided 9' x 18.5' (standard), 16' x 18.5' (ADA), 11' x 18.5' (vacuum stall)
(exception) Driveway Width Maximum	36' Provided 52'
Landscaping	Landscaping within Parking Lot 3605F (1805F per 15 parking stalls) Provided 4455F
(exception) Parkway Trees Required	8 (1 per 40LF of frontage along Ring Rd) Provided 0

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PROJECT NAME
OWNER'S NAME

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E. TOWNLINE ROAD
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CONSULTANTS

ISSUED FOR

OWNER REVIEW	DATE
YLLAGE SUBMITTAL	03-07-12
YLLAGE SUBMITTAL	06-11-2012
TECHNICAL REVIEW	06-22-2012
TECHNICAL REVIEW	07-09-2012
TECHNICAL REVIEW	08-06-2012

REVISIONS

NO.	ITEM	DATE
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SHEET TITLE

LAYOUT PLAN

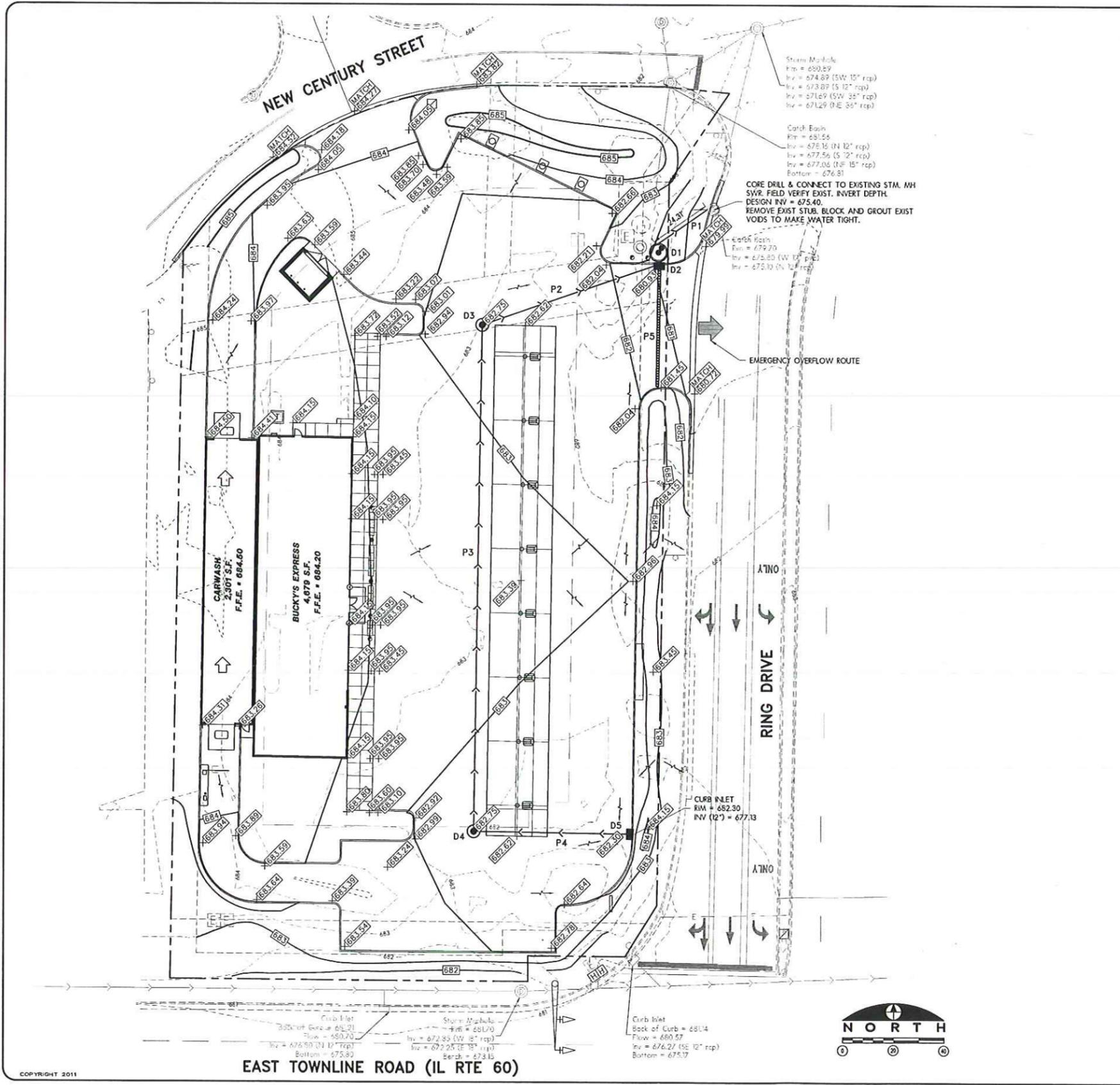
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PROJECT NUMBER
SHEET NUMBER

11086

C4





GRADING NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK.
2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
3. ALL STORM SEWER PIPE IS TO BE GASKETED REINFORCED CONCRETE PIPE CLASS IV UNLESS OTHERWISE NOTED.
4. THIS GRADING PLAN IS BASED ON A TOPOGRAPHIC SURVEY DATED SEPTEMBER 2, 2011. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES MEET EXISTING. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
5. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3 HORIZONTAL TO 1 VERTICAL.
6. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS AND VALVE BOXES TO FINISHED GRADE.
8. TRENCH GRADE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS FOR ADS DRAINTECH PRO+ CHANNEL WITH DUCTILE IRON GRATE OR APPROVED EQUAL.

LEGEND

- TOP OF WALK ELEVATION
- TOP OF PAVEMENT ELEVATION
- FINISHED GRADE ELEVATION
- EXISTING CONCRETE CURB AND GUTTER
- CONCRETE CURB AND GUTTER
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED MANHOLE
- PROPOSED CLEANOUT
- DIRECTION OF SHEET FLOW
- UNDERGROUND DETENTION

PIPE TABLE

PIPE MATERIAL/SIZE	LENGTH	SLOPE
P1 RCP IV, GASKETED / 12"	25 LF	3.0%
P2 RCP IV, GASKETED / 12"	71 LF	1.0%
P3 RCP IV, GASKETED / 12"	197 LF	1.0%
P4 RCP IV, GASKETED / 12"	62 LF	0.5%
P5 TRENCH DRAIN / 5"	46 LF	0.5%

STRUCTURE TABLE

STRUCTURE TYPE	RIM ELEV.	INVERT ELEV.
D1 DOWNSTREAM DEFENDER, 6" DIA.	682.00	OUT=676.15
D2 INLET, 2'x3'	680.93	676.15
D3 CATCH BASIN, 4' DIA.	682.75	676.86
D4 CATCH BASIN, 4' DIA.	682.75	678.83
D5 INLET, 2'x3'	682.30	679.14

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(IL RTE 60)

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CONSULTANTS

ISSUED FOR

OWNER REVIEW	DATE
2-12-11	
VILLAGE SUBMITTAL	03-07-12
VILLAGE SUBMITTAL	06-17-2012
TECHNICAL REVIEW	06-22-2012
TECHNICAL REVIEW	07-09-2012
TECHNICAL REVIEW	08-06-2012

REVISIONS

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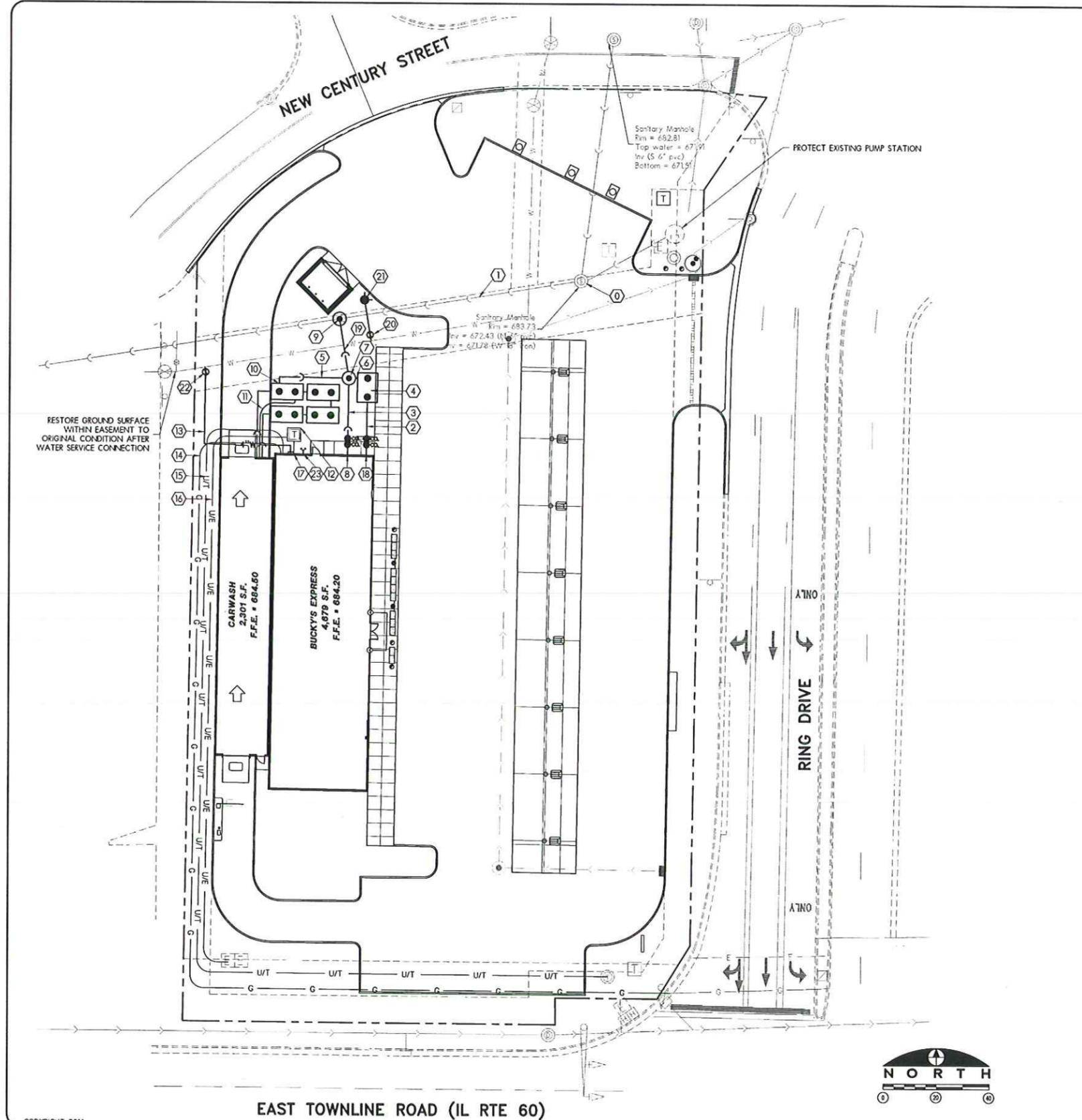
SHEET TITLE

GRADING PLAN

DRAWN	MJS
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PM	JA

PROJECT NUMBER
SHEET NUMBER

11086
C5



UTILITY NOTES

1. SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION AND THE TOWN OF CICERO.
2. EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS AND AS-BUILT DRAWINGS. EXACT LOCATIONS, SIZES, AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST FITS AS REQUIRED.
3. CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
4. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL CONTROL PRIOR TO PROCEEDING WITH WORK.
5. BACKFLOW PREVENTION DEVICES AND THE DOMESTIC WATER METER ARE LOCATED WITHIN THE BUILDING. REFER TO BUILDING PLUMBING PLANS.
6. REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
7. CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
8. ALL TRENCHES WITHIN PAVED AREAS AND A MINIMUM OF 2 FEET BEYOND ALL CURB LINES SHALL BE BACKFILLED WITH AN APPROVED GRANULAR MATERIAL, COMPACTED TO A MINIMUM OF 95%.

LEGEND

- PROPERTY LINE
- W --- EXISTING WATER MAIN
- W --- PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED SAND/OIL SEPARATOR
- G --- EXISTING GAS MAIN
- G --- PROPOSED GAS MAIN
- U/E --- PROPOSED UNDERGROUND ELECTRIC SERVICE
- U/T --- PROPOSED UNDERGROUND PHONE SERVICE
- EXISTING OVERHEAD UTILITY LINES
- T --- PROPOSED TRANSFORMER
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE

KEY NOTES

- 1 RECONSTRUCT EXIST. 4" DIA. MH, RIM = 682.48
- 1 EXISTING 18" SANITARY SEWER
- 2 20 LF 3" SAN. SWR. @ 1.0%
- 3 27 LF 6" SAN. SWR. @ 1.0%
- 4 GREASE TRAP (RE: ARCH) INV. = 677.78
- 5 26 LF 6" SAN. SWR. @ 0.85%
- 6 2 LF 6" SAN. SWR. @ 1.0%
- 7 4" DIA. SAN. MH RIM = 684.04, INV(S) = 677.98, INV(W) = 677.73, INV(E) = 677.91, INV(N) = 677.63
- 8 6" SAN. SWR. INV. = 678.00 @ BLDG., DBL. WYE CLEANOUT 5' FROM BLDG. INV = 677.90
- 9 4" DIA. SAN. MH OVER EXISTING SAN. SWR. FER LAKE COUNTY REQUIREMENTS. RIM = 684.20. VERIFY EXIST. 18" INV 671.63. 6" INV = EXIST. INV + 1.0'
- 10 WATER RECLAMATION SYSTEM, 6" DISCHARGE PIPE INV = 678.00, (RE: CARWASH VENDOR DETAILS)
- 11 (2) 2" RETURN LINES, (RE: CARWASH VENDOR DETAILS)
- 12 PAD MOUNTED TRANSFORMER PAD BY GENERAL CONTRACTOR
- 13 4" WATER SERVICE
- 14 GAS MAIN SERVICE
- 15 TELEPHONE SERVICE
- 16 ELECTRIC SERVICE
- 17 SECONDARY ELECTRICAL BY GENERAL CONTRACTOR
- 18 3" SAN. SWR. INV. = 678.00 @ BLDG., DBL. WYE CLEANOUT 5' FROM BLDG. INV = 677.90
- 19 20 LF 6" SAN. SWR. @ 1.0%
- 20 6" WET TAP CONNECTION, VALVE AND BOX
- 21 FIRE HYDRANT ASSEMBLY
- 22 4" WET TAP CONNECTION, VALVE AND BOX
- 23 SIAMESE CONNECTION (RE: ARCH)

ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Design Firm License No. 184-00334

PROJECT NAME
OWNER'S NAME

BUCKY'S EXPRESS
VERNON HILLS, IL
E. TOWNLINE ROAD
(IL RTE 60)

RICHARD MCMAHON
5412 REGENTS PARK ROAD
ROCKFORD, IL 61107
PHONE (402) 718-6724

CONSULTANTS

ISSUED FOR

OWNER REVIEW	DATE
2-2-11	
VILLAGE SUBMITTAL	03-07-12
VILLAGE SUBMITTAL	06-19-2012
TECHNICAL REVIEW	06-22-2012
TECHNICAL REVIEW	07-09-2012
TECHNICAL REVIEW	08-06-2012

REVISIONS

NO.	ITEM	DATE
1		
2		
3		
4		
5		
6		
7		

SHEET TITLE

UTILITY PLAN

DRAWN	MJS
CHECKED	RA
PM	RA

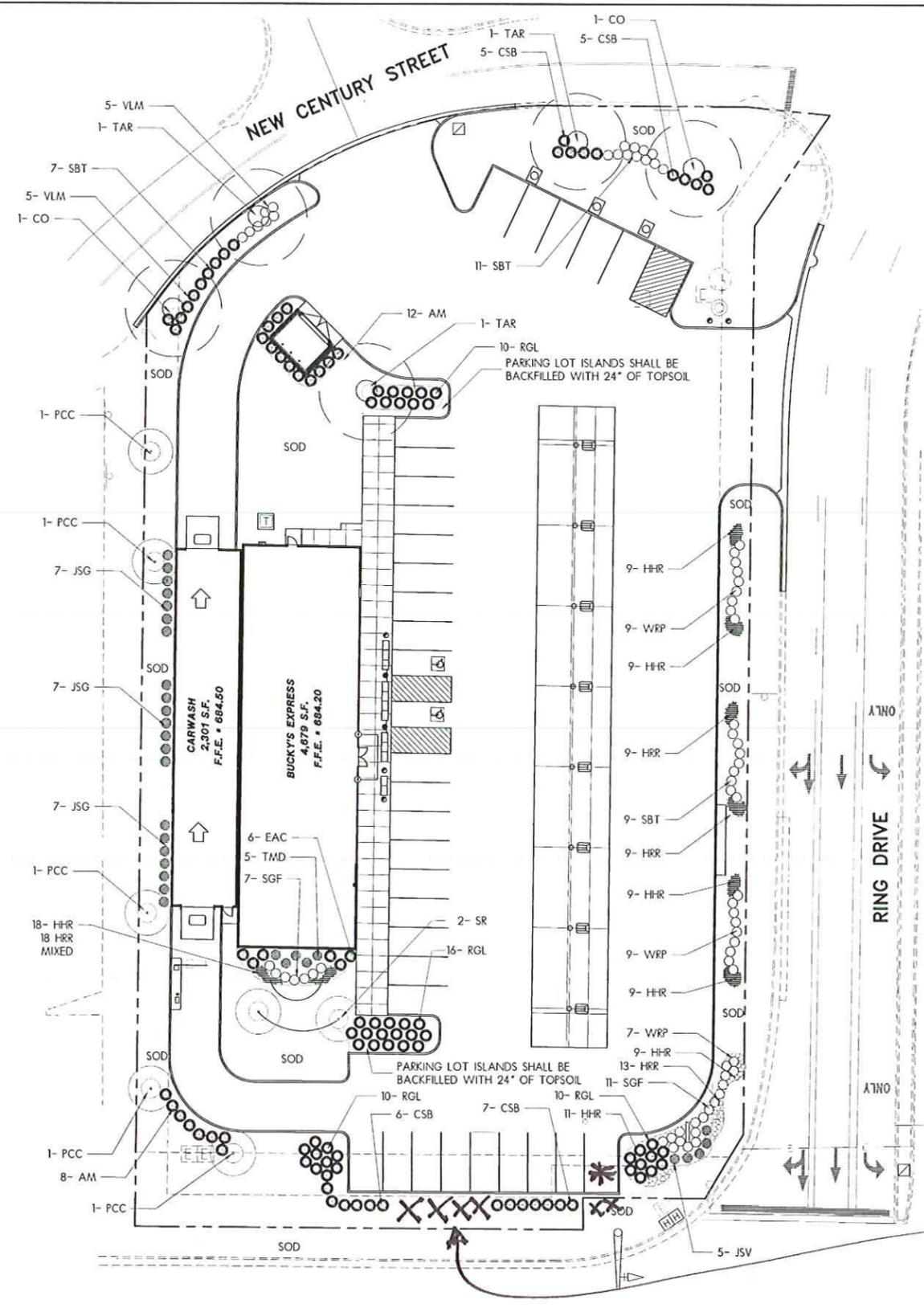
PROJECT NUMBER
SHEET NUMBER

11086

C6

Not For Construction





PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	PLACEMENT
-----	-----	----------------	-------------	------	-----------

DECIDUOUS SHADE TREES

CO	1	Quercus occidentalis	Hickory	3" BB	As Shown
TAR	2	Tilia a. Radiana	Redmond American Linden	3" BB	As Shown

DECIDUOUS ORNAMENTAL TREES

FOC	5	Ficus s. Chickadee	Chickadee Pear	3" BB	As Shown
SR	2	Syringa reticulata	Japanese Tree Lilac	2" BB	As Shown

DECIDUOUS SHRUBS & SHRUB ROSES

AM	10	Aronia melanocarpa	Black Chokeberry	24" S Gal	4 - OC
CSB	13	Cornus s. Bailey	Bailey Redosier Dogwood	24" S Gal	4 - OC
EAC	8	Erythrina s. Corallina	Scarlet Bush	24" S Gal	4 - OC
RS	48	Rosa s. Graciosa	Graciosa Shrub	8" S Gal	3 - OC
SBT	16	Spiraea s. Tor	Bronze Spirea	8" S Gal	3 - OC
SGF	10	Spiraea s. Gold Flame	Gold Flame Spirea	8" S Gal	3 - OC
LRF	21	Logania s. Red Prince	Red Prince Loggia	8" S Gal	3 - OC
VLM	10	Viburnum s. Monahan	Monahan Nannyberry Viburnum	24" S Gal	4 - OC

EVERGREEN SHRUBS

TJD	5	Taxus m. Danforthii	Dense Yew	24" BB	4 - OC
JSG	21	Juniperus s. Sea Green	Sea Green Juniper	24" BB	4 - OC

PERENNIALS

HJR	14	Hemerocallis s. Happy Returns	Happy Returns Daylily	1" Gal	18" OC
HJR	48	Hemerocallis s. Rosy Returns	Rosy Returns Daylily	1" Gal	18" OC

MATERIAL & LABOR LIST

QTY	ITEM	DESCRIPTION
TBD BY	Soil	Kentucky Bluegrass Blend w/ Perennial Ryegrass
2	CY	Mulch

GENERAL NOTES:

Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant list represent minimum requirements.

Size & grading standards of plant material and I conform to the latest edition of ANSI Z601 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association.

Any material with damaged or cracked die, girdled, exposed bark, abrasion, sunscald, frost damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plan, as a multi-trunk or stump (S).

Grading shall provide slopes which are smooth and continuous. Post-tension drainage shall be provided in all areas.

Quantity lists are supplied as a convenience. However, the contractor should verify all quantities. The drawings shall take precedence over the lists.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.

Contractor shall verify location of all underground utilities prior to digging. For location outside the City of Chicago call "MULLER" (708) 621-1100. For location for Suburbs call (800) 661-0033.

Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All perennial ornamental grass groundcover and annual seeds shall be topdressed with a minimum of three inches (3") of nutrient compost. The topdressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating implement. Upon completion perennial & ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch (2 1/2"). Groundcovers shall be covered with an additional two inch (2") layer of nutrient compost.

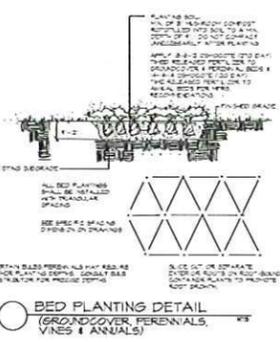
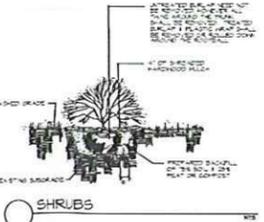
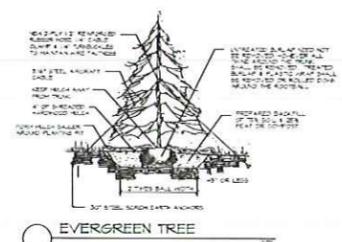
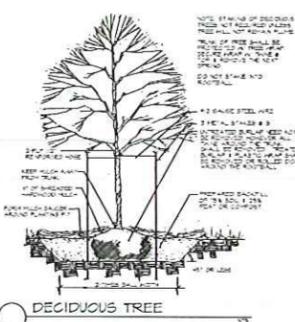
All other planting beds and tree enclosures shall be mulched with a minimum of three inches (3") of shredded wood mulch with the exception of evergreen trees which shall receive one inch (1") of shredded hardwood mulch over two inches (2") of southern pine bark.

All bed lines and tree enclosures shall require a hard edged edge between lawn and mulched areas.

Soil shall be mineral base only.

Grass seed shall be applied mechanically so that the seed is incorporated into the top one-quarter inch (1/4") of the seed bed. The seed shall then be covered with the specified straw, blanket or hydro-mulch.

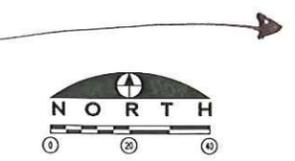
All plant material shall be guaranteed for one (1) year from the date of acceptance.



NOTES:

1.) For details pertaining to Utilities, Easements, Grading, Retaining Walls, Layout, Geometry, Wetland/Flood Plain Delineations, Etc., see plans prepared by Arc Design Resources, Inc.

2.) Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; However, quantities and sizes shall remain consistent with these plans.



Additional landscape screening recommended for this location

ARC DESIGN RESOURCES INC.

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LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Design Firm License No. 184-00334

PROJECT NAME
OWNER'S NAME

BUCKY'S EXPRESS
VERNON HILLS, IL
E. TOWNLINE ROAD
(IL RTE 60)

RICHARD MCMAHON
5412 REGENTS PARK ROAD
ROCKFORD, IL 61107
PHONE (402) 718-6724

CONSULTANTS

ISSUED FOR

OWNER REVIEW	DATE
_____	02-02-11
_____	03-07-11
_____	06-06-11
_____	_____
_____	_____
_____	_____
_____	_____

REVISIONS

NO.	ITEM	DATE
1	_____	_____
2	_____	_____
3	_____	_____
4	_____	_____
5	_____	_____
6	_____	_____
7	_____	_____

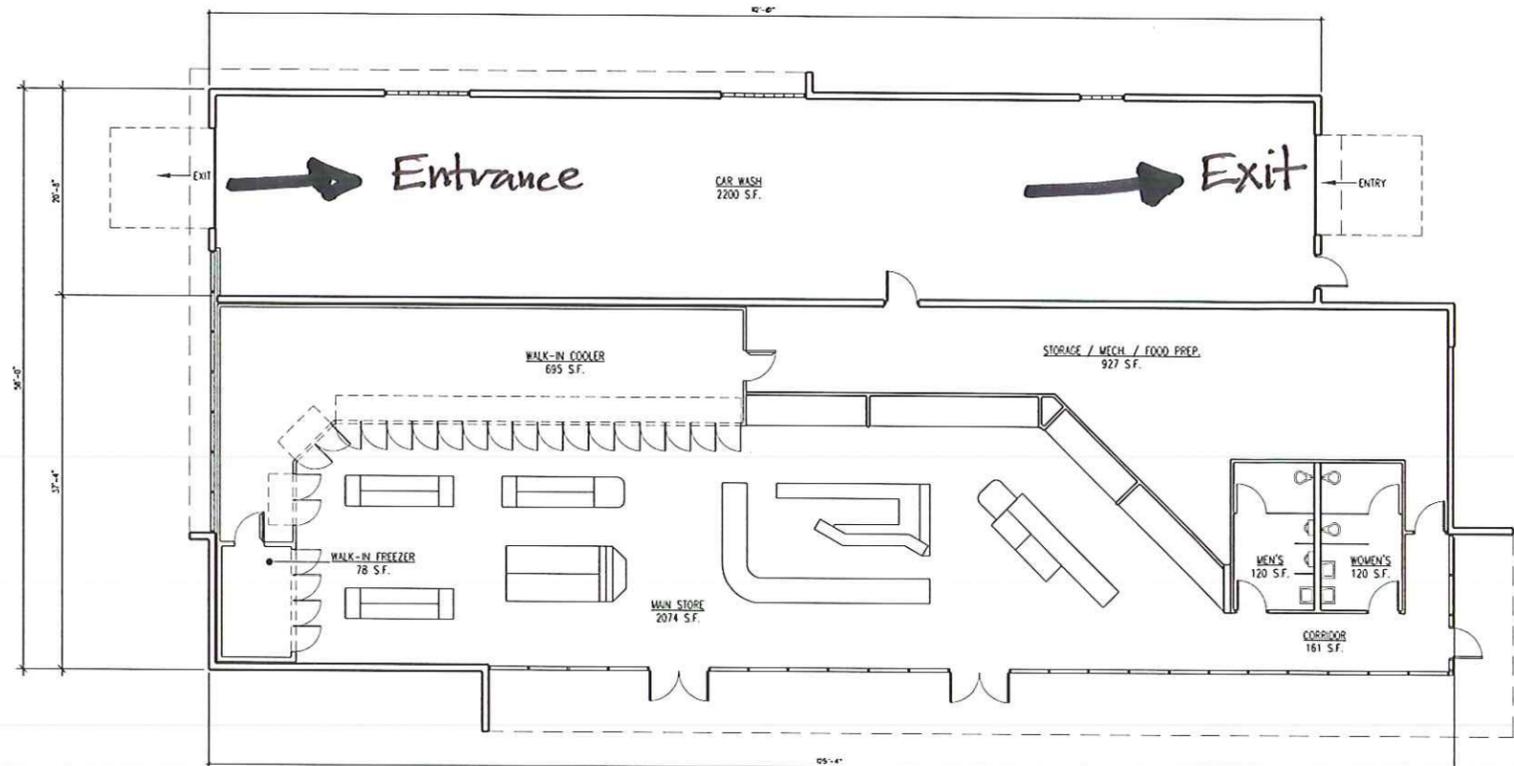
SHEET TITLE

LANDSCAPE PLAN

DRAWN MJS
CHECKED RA
PM RA

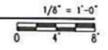
PROJECT NUMBER
SHEET NUMBER

11086
L1



→ North

FLOOR PLAN



KURTZ ASSOCIATES ARCHITECTS

701 Lee Street
Suite 900
Des Plaines, Illinois
60016-4551

V 847 824 0132
F 847 824 7906
www.kurtzarch.com

PROFESSIONAL DESIGN FIRM
ARCHITECTURAL CORPORATION
11400422

SI	DATE	ISSUE / REVISION DESCRIPTION	BY

SI 07.06.12 SUBMIT TO VILLAGE KAA

BUCKY'S EXPRESS

EAST TOWNLINE ROAD (IL RTE 40) & KING DAVE
VERNON HILLS, IL

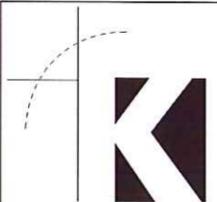
FLOOR PLAN

DRAWN BY: KAA	PROJECT NO: 11011
CHECKED BY: KAA	FILE NAME:
APPROVED BY: KAA	A101_11011-2.dwg

SHEET NO

A101

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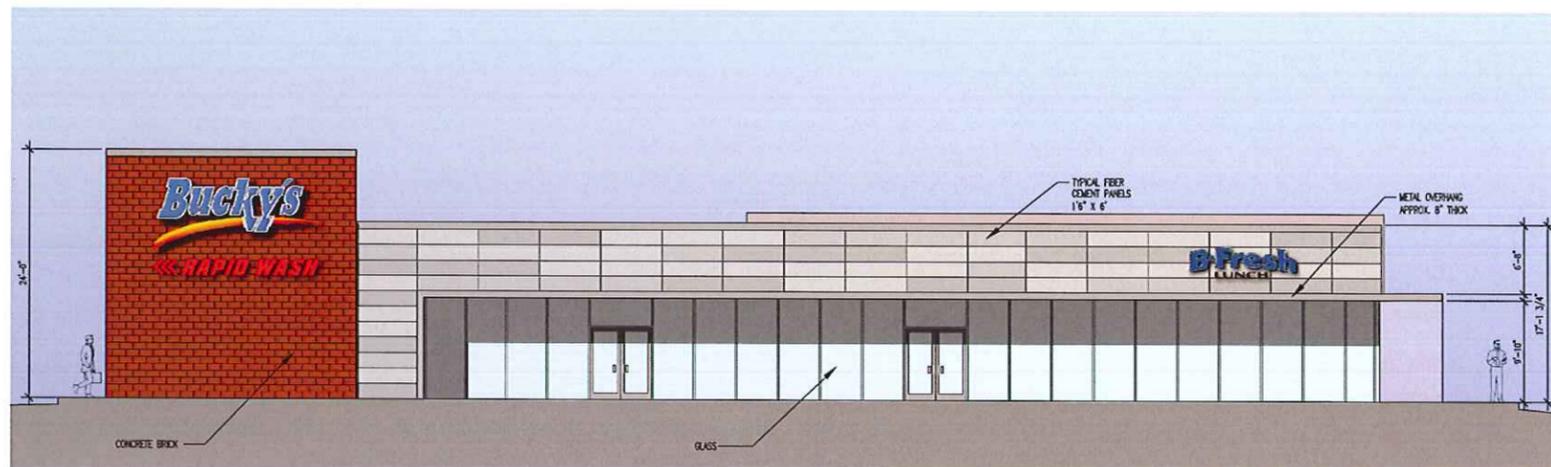


KURTZ ASSOCIATES ARCHITECTS

701 Lee Street
Suite 900
Des Plaines, Illinois
60016-4551

V 847 824 0132
F 847 824 7906
www.kurtzarch.com

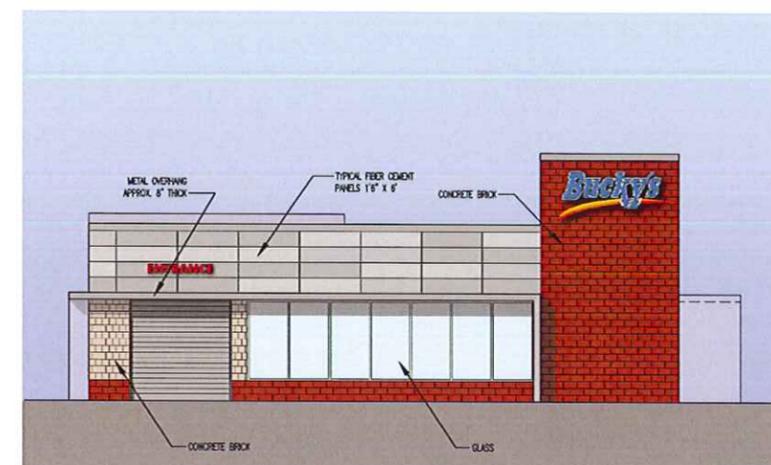
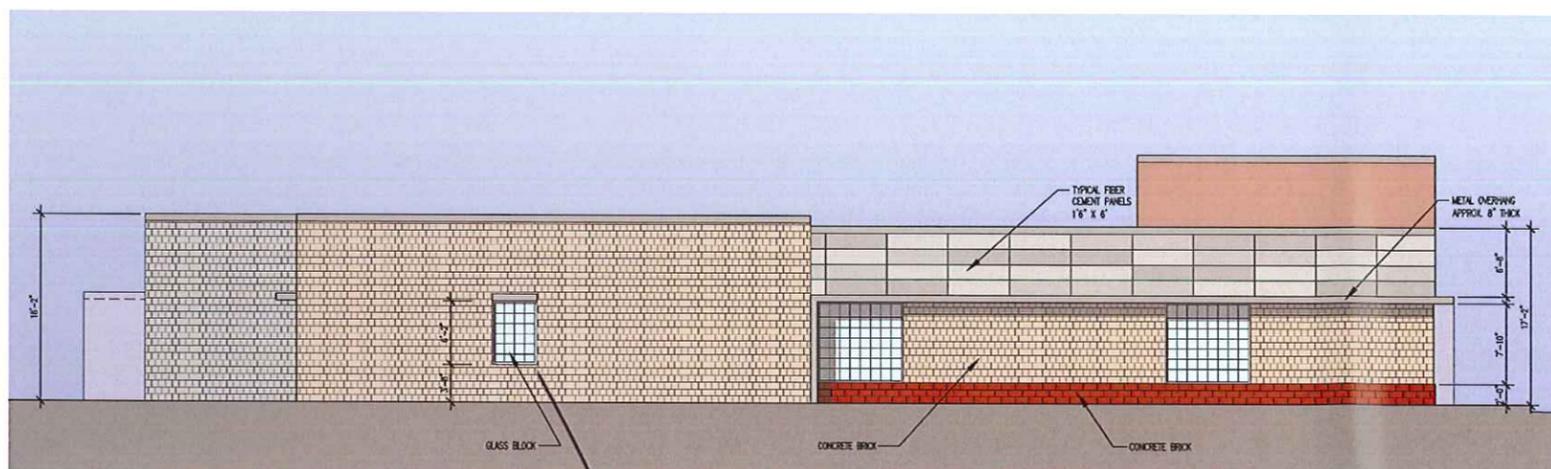
PROFESSIONAL DESIGN FIRM
ARCHITECTURAL CORPORATION
136 000428



1 FRONT ELEVATION (FACING EAST)



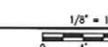
2 SIDE ELEVATION (FACING SOUTH)



3 REAR ELEVATION (FACING WEST)



4 SIDE ELEVATION (FACING NORTH)



SHOULD THIS WINDOW BE THE SAME SIZE AS THE OTHER TWO WINDOWS?

NO.	DATE	ISSUE / REVISION DESCRIPTION	INT.

S1 07.06.12 SUBMIT TO VILLAGE KAA

BUCKY'S EXPRESS
EAST TOWNLINE ROAD (IL RTE 60) & RING DRIVE
VERNON HILLS, IL

PROJECT TITLE
EXTERIOR ELEVATIONS

DRAWN BY: KAA PROJECT NO: 11011
CHECKED BY: KAA FILE NAME:
APPROVED BY: KAA A201_11011-2.dwg

SHEET NO:
A201

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9

DESIGN TYPE

INTERIOR EXTERIOR

NEON DISPLAYS CHANNEL LETTERS

NON-ILLUM SIGNAGE REV. CHANNEL LETTERS

DUEL POLE SIGN SINGLE POLE SIGN

MONUMENT SIGN DIRECTIONAL

CHANGEABLE READER BOARD/ ELE. DISPLAYS

PROJECT TYPE

NEW CONSTRUCTION

REMODELING

TENANT CHANGES

LANDLORD IMPROVEMENTS

CORPORATE CHANGES

AMENDMENTS TO EXCISING SIGNAGE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

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 ALL GRAPHIC REPRODUCTIONS ARE SUBJECT TO APPROVAL BY AUTHORIZED CLIENT. AS OF APPROVAL BY THE UNDERSIGNED AND DATED PRIOR TO ANY FABRICATION OF PRODUCT. OMAHA NEON SIGN COMPANY, INC. HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.

Signed _____ Date _____
 Sales Rep. _____ Date _____

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DRAWING #: 72287
 PROJECT I.D.:

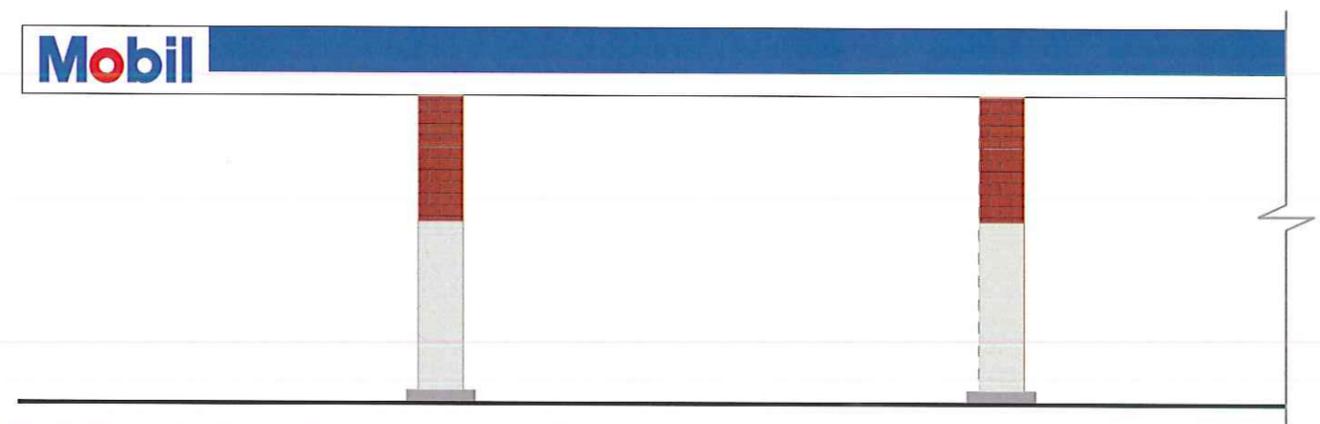
SALES DEPT: Troy Panagiotis

DRAWN BY: Sean Cornett

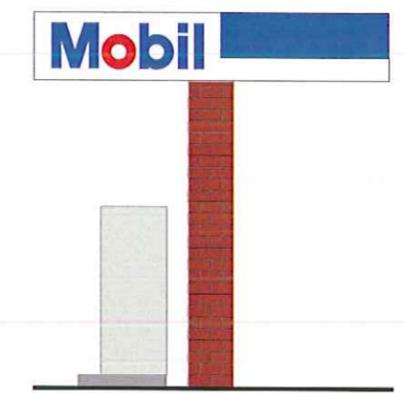
Date: 03.19.12 INSPECTED BY _____

Revised:

Mobil
 Station #438 - Vernon Hills, IL



PARTIAL ENLARGED EAST ELEVATION



PARTIAL ENLARGED SOUTH ELEVATION

DESIGN TYPE

INTERIOR EXTERIOR

NEON DISPLAYS CHANNEL LETTERS

NON-ILLUM SIGNAGE REV. CHANNEL LETTERS

DUEL POLE SIGN SINGLE POLE SIGN

MONUMENT SIGN DIRECTIONAL

CHANGEABLE READER BOARD/ ELE. DISPLAYS

PROJECT TYPE

NEW CONSTRUCTION

REMODELING

TENANT CHANGES

LANDLORD IMPROVEMENTS

CORPORATE CHANGES

AMENDMENTS TO EXCISING SIGNAGE

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Signed _____ Date _____
 Sales Rep. _____ Date _____

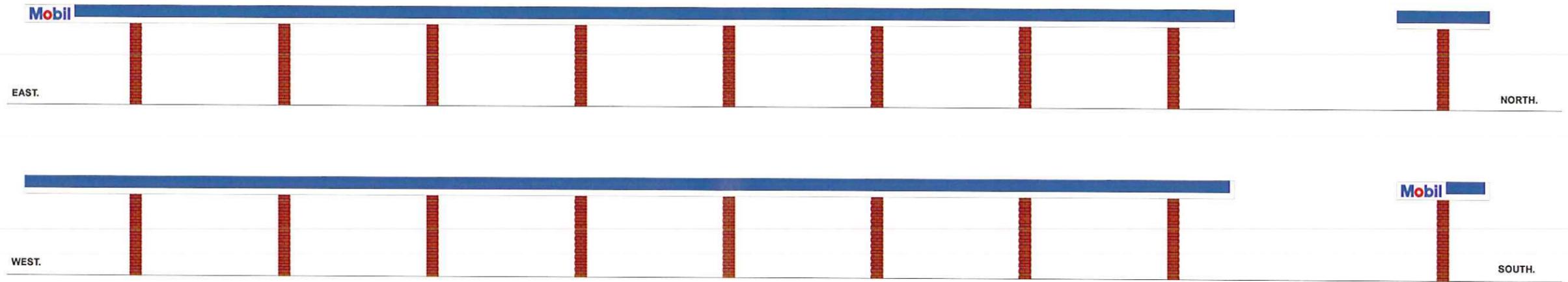
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DRAWING #: 72287
 PROJECT I.D.:
 SALES DEPT: Troy Panagiotis
 DRAWN BY: Sean Cornett
 Date: 03.19.12 INSPECTED BY:
 Revised:



Station #438 - Vernon Hills, IL



DESIGN TYPE	
<input checked="" type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR
<input type="checkbox"/> NEON DISPLAYS	<input type="checkbox"/> CHANNEL LETTERS
<input type="checkbox"/> NON-ILLUM SIGNAGE	<input type="checkbox"/> REV. CHANNEL LETTERS
<input type="checkbox"/> DUEL POLE SIGN	<input type="checkbox"/> SINGLE POLE SIGN
<input type="checkbox"/> MONUMENT SIGN	<input type="checkbox"/> DIRECTIONAL
<input type="checkbox"/> CHANGEABLE READER BOARD/ ELE. DISPLAYS	

PROJECT TYPE	
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> REMODELING
<input type="checkbox"/> TENANT CHANGES	<input type="checkbox"/> LANDLORD IMPROVEMENTS
<input type="checkbox"/> CORPORATE CHANGES	<input type="checkbox"/> AMENDMENTS TO EXCISING SIGNAGE

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Signed _____ Date _____
Sales Rep. _____ Date _____

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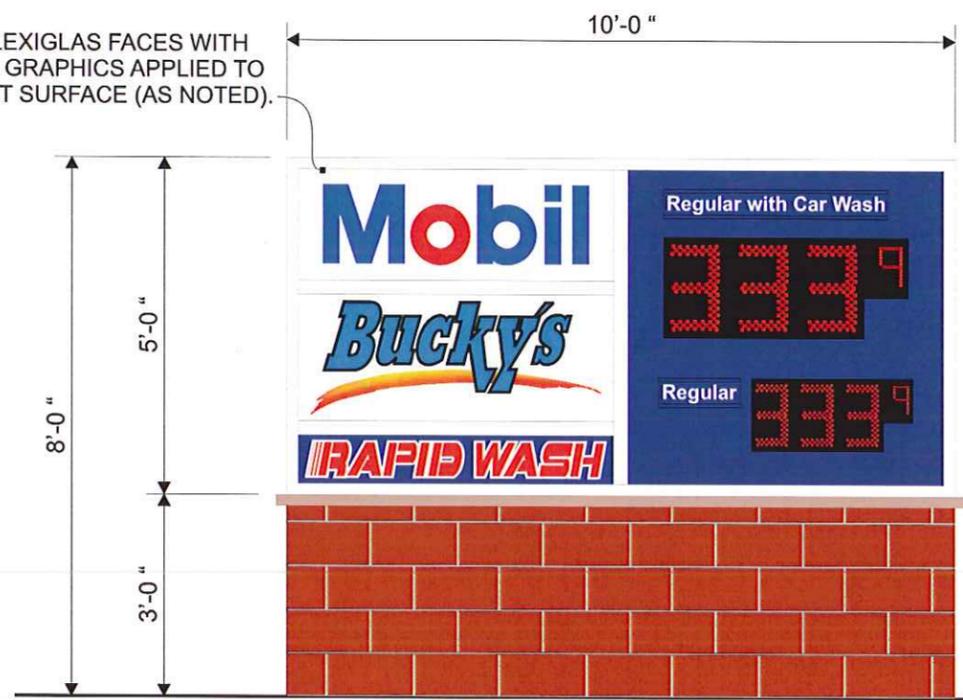



E. Townline Road - Vernon Hills, IL

DRAWING #: 72286	PROJECT I.D.:
SALES DEPT: Troy Panagiotis	DRAWN BY: Sean Cornett
Date: 03.19.12	INSPECTED BY:
Revised:	

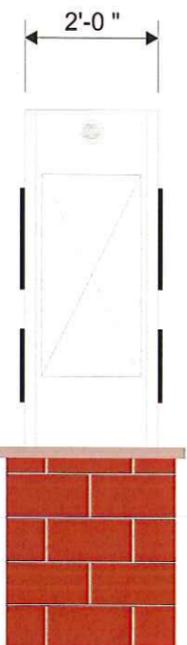
SCALE: 3/8" = 1'-0"

WHITE PLEXIGLAS FACES WITH 3M VINYL GRAPHICS APPLIED TO THE FIRST SURFACE (AS NOTED).



D/F MONUMENT SIGN DISPLAY:
CABINET FABRICATED FROM WHITE PRE-FINISHED ALUMINUM OVER AN INTERNAL ANGLE IRON FRAME. FACES ARE AS NOTED. INTERNAL ILLUM. WITH CW/HO FLUORESCENT LAMPS. SIGN IS TO BE INSTALLED BY OTHERS.

Mobil
Station #438 - Vernon Hills, IL



SIGN A.

FUEL TYPES:

WIDE FORMAT PRINTED VINYL GRAPHICS APPLIED TO THE FIRST SURFACE.

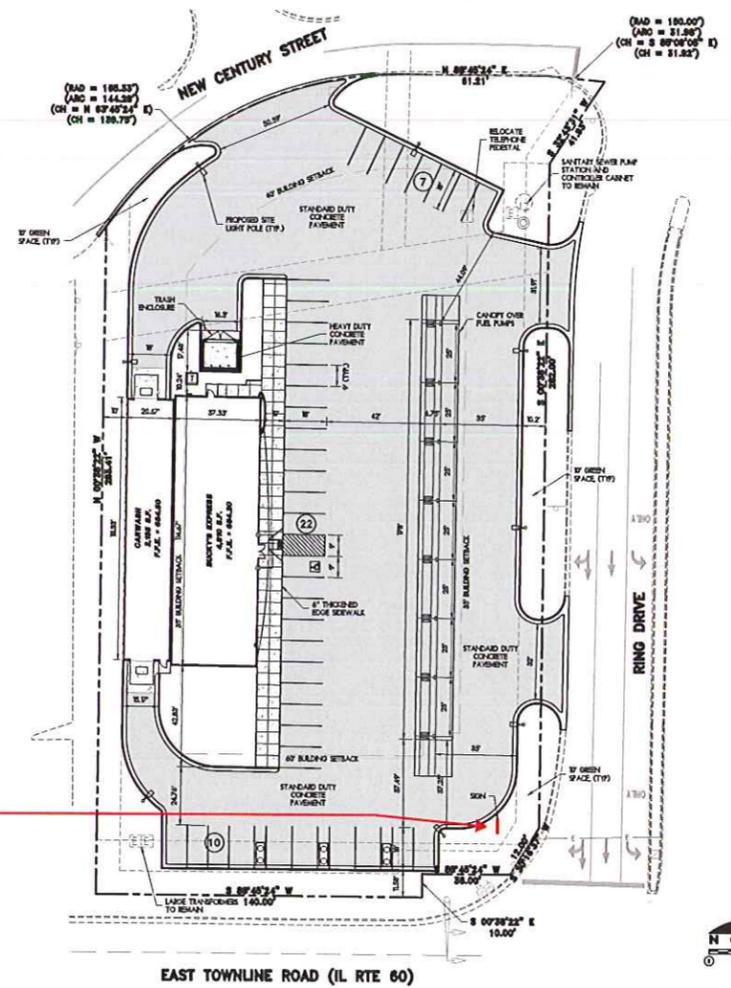
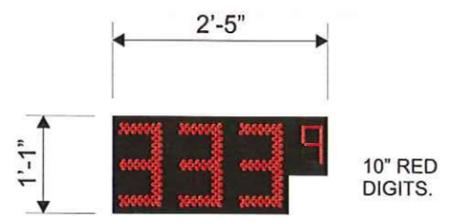
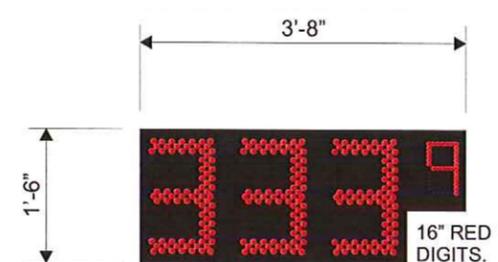
Regular with Car Wash

BRICK BASE IS TO BE BY OTHERS.

- DELFT BLUE: 230-97.
- PRINTED GRAPHICS.

VINYL COLORS:

- ARLON BLUE: 2257
- 3M RED: 3630-33



SIGN A:
NOTE 10' SET BACK.

- DESIGN TYPE
- INTERIOR
 - EXTERIOR
 - NEON DISPLAYS
 - CHANNEL LETTERS
 - NON-ILLUM SIGNAGE
 - REV. CHANNEL LETTERS
 - DUEL POLE SIGN
 - SINGLE POLE SIGN
 - MONUMENT SIGN
 - DIRECTIONAL
 - CHANGEABLE READER BOARD/ ELE. DISPLAYS

- PROJECT TYPE
- NEW CONSTRUCTION
 - REMODELING
 - TENANT CHANGES
 - LANDLORD IMPROVEMENTS
 - CORPORATE CHANGES
 - AMENDMENTS TO EXCISING SIGNAGE

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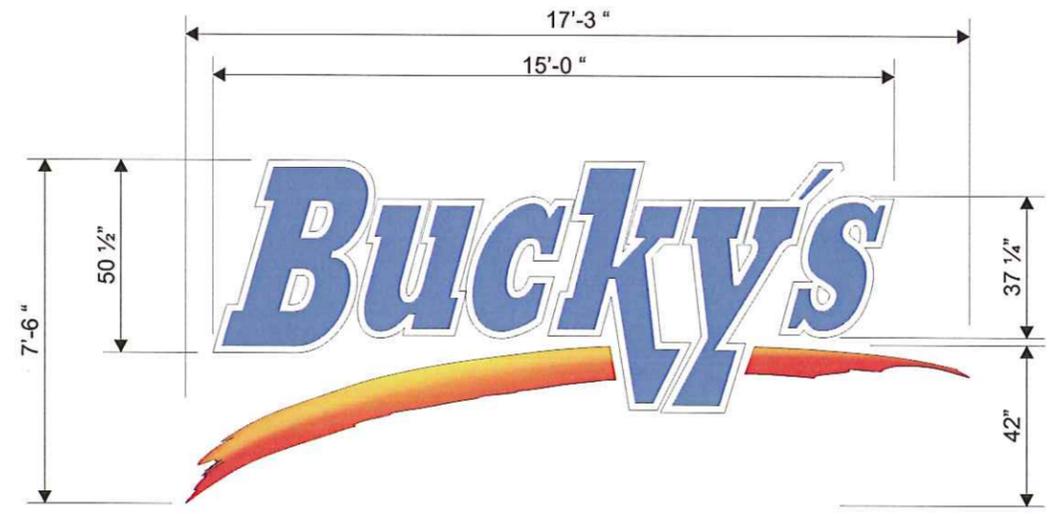
Signed _____ Date _____
Sales Rep. _____ Date _____

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DRAWING #: 74043
PROJECT I.D.:
SALES DEPT: Troy Panagiotis
DRAWN BY: Sean Cornett
Date: 06.26.12
INSPECTED BY:
Revised:

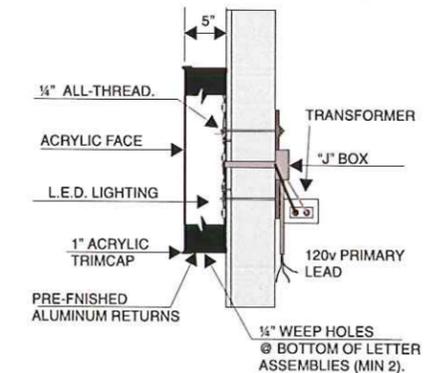
SCALE: 1/4" = 1'-0"



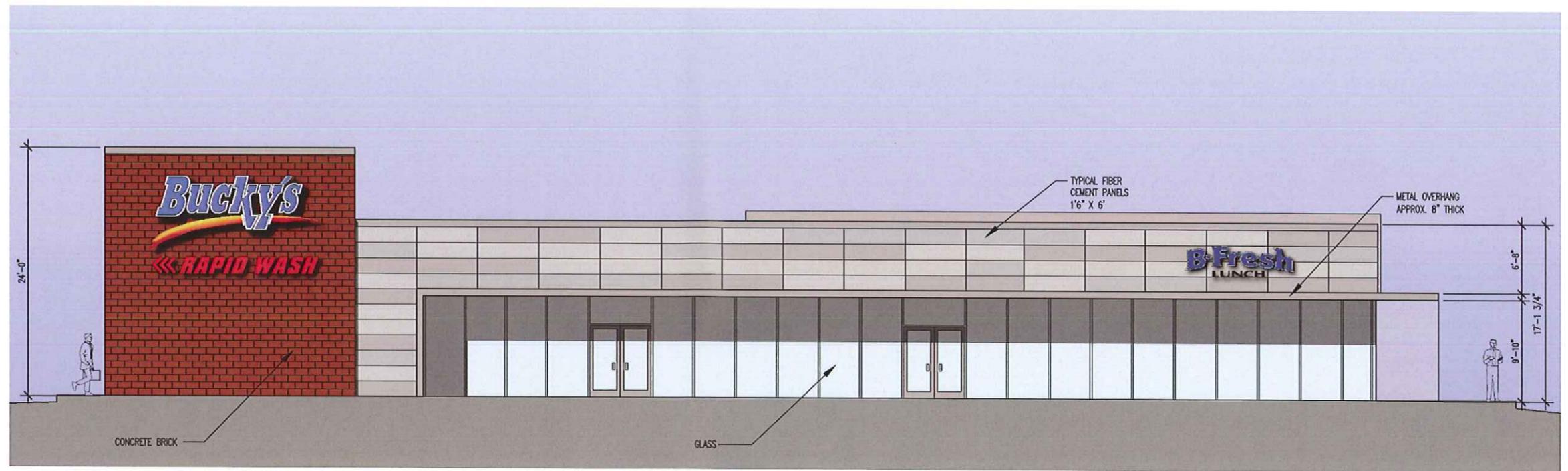
FLUSH MOUNTED CHANNEL LETTERS:

FABRICATED FROM .050 BLK PRE-FINISHED ALUMINUM RETURNS ATTACHED TO .063 ALUMINUM BACKS. FACES ARE TO BE .1875 WHITE ACRYLIC WITH 3M VINYL GRAPHICS APPLIED TO THE FIRST SURFACE (AS NOTED). FACES ARE TO HAVE 1" BLACK TRIM-CAP ADHERED TO PERIMETER OF LETTERS/SWOOSH). INTERNAL ILLUMINATION WITH WHITE LED'S.

LETTERS ARE TO BE MOUNTED TO FASCIA IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS NON-CORROSIVE).



FRONT ELEVATION (facing East)



DESIGN TYPE	
<input type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR
<input type="checkbox"/> NEON DISPLAYS	<input type="checkbox"/> CHANNEL LETTERS
<input type="checkbox"/> NON-ILLUM SIGNAGE	<input type="checkbox"/> REV. CHANNEL LETTERS
<input type="checkbox"/> DUEL POLE SIGN	<input type="checkbox"/> SINGLE POLE SIGN
<input type="checkbox"/> MONUMENT SIGN	<input type="checkbox"/> DIRECTIONAL
<input type="checkbox"/> CHANGEABLE READER BOARD/ ELE. DISPLAYS	

PROJECT TYPE	
<input type="checkbox"/> NEW CONSTRUCTION	
<input type="checkbox"/> REMODELING	
<input type="checkbox"/> TENANT CHANGES	
<input type="checkbox"/> LANDLORD IMPROVEMENTS	
<input type="checkbox"/> CORPORATE CHANGES	
<input type="checkbox"/> AMENDMENTS TO EXCISING SIGNAGE	

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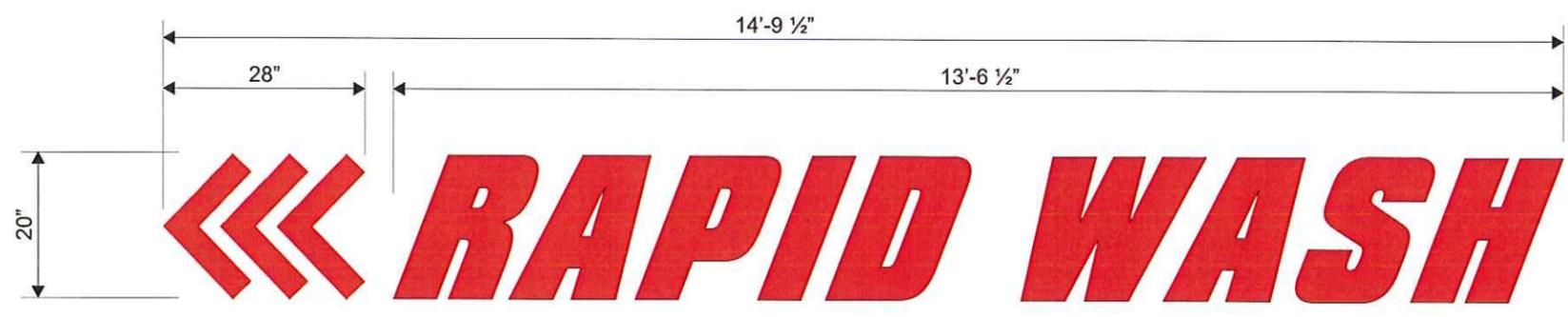
Signed _____ Date _____
 Sales Rep. _____ Date _____

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 1120 N 18th Street - Omaha 68102 • 402.341.6077 • 402.341.7654 fax
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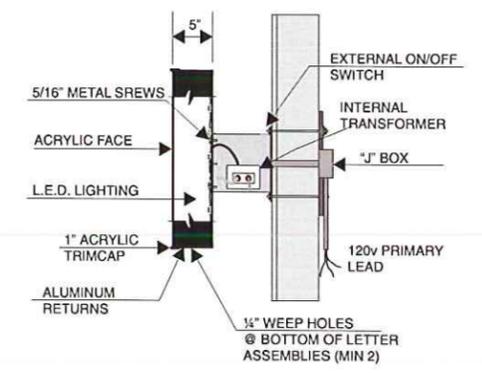
DRAWING #: 74168
 PROJECT I.D.:
 SALES DEPT: Troy Panagiotis
 DRAWN BY: Sean Cornett
 Date: 07.03.12
 INSPECTED BY:
 Revised:

SCALE: 1/2" = 1'-0"

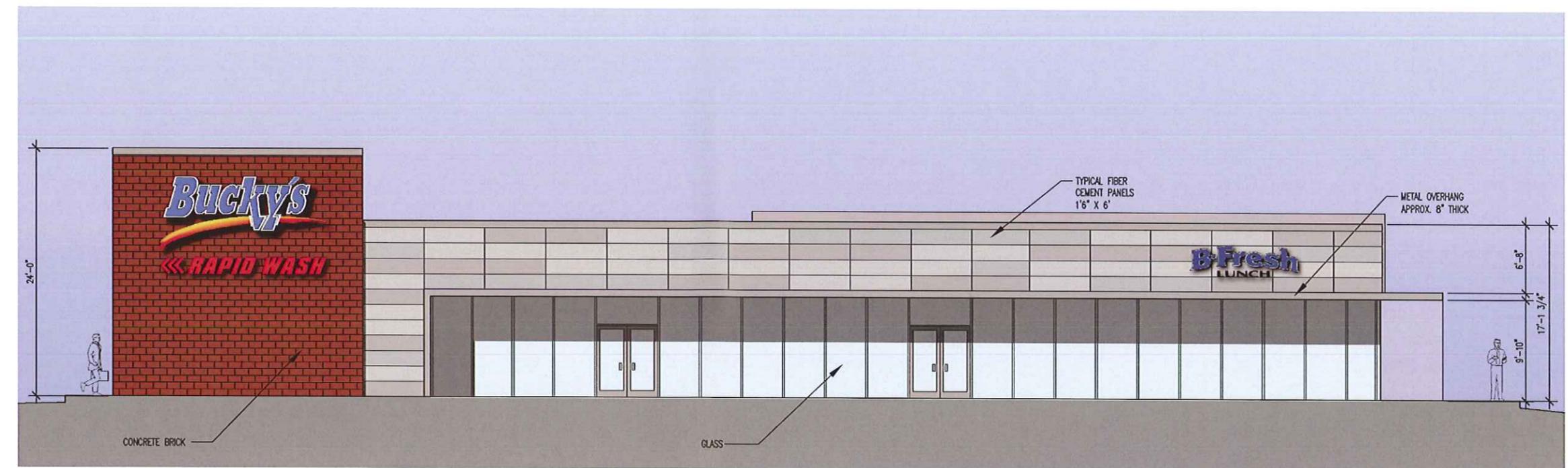


RACEWAY MOUNTED CHANNEL LETTERS:

FABRICATED FROM BLACK PRE-FINISHED ALUMINUM RETURNS ATTACHED TO .063 ALUMINUM BACKS. FACES ARE TO BE 3/16" RED PLEXIGLAS #2793 WITH 1" BLACK TRIM-CAP ADHERED TO PERIMETER OF FACES. INTERNAL ILLUMINATION WITH RED LED'S. LETTERS ARE MOUNTED TO AN EXTRUDED ALUMINUM RACEWAY (PAINTED TO MATCH FASCIA). SIGNAGE IS TO BE MOUNTED TO FASCIA IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE).



FRONT ELEVATION (facing East)



- DESIGN TYPE
- INTERIOR EXTERIOR
- NEON DISPLAYS CHANNEL LETTERS
- NON-ILLUM SIGNAGE REV. CHANNEL LETTERS
- DUEL POLE SIGN SINGLE POLE SIGN
- MONUMENT SIGN DIRECTIONAL
- CHANGEABLE READER BOARD/ ELE. DISPLAYS

- PROJECT TYPE
- NEW CONSTRUCTION
- REMODELING
- TENANT CHANGES
- LANDLORD IMPROVEMENTS
- CORPORATE CHANGES
- AMENDMENTS TO EXISTING SIGNAGE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

NOTICE:
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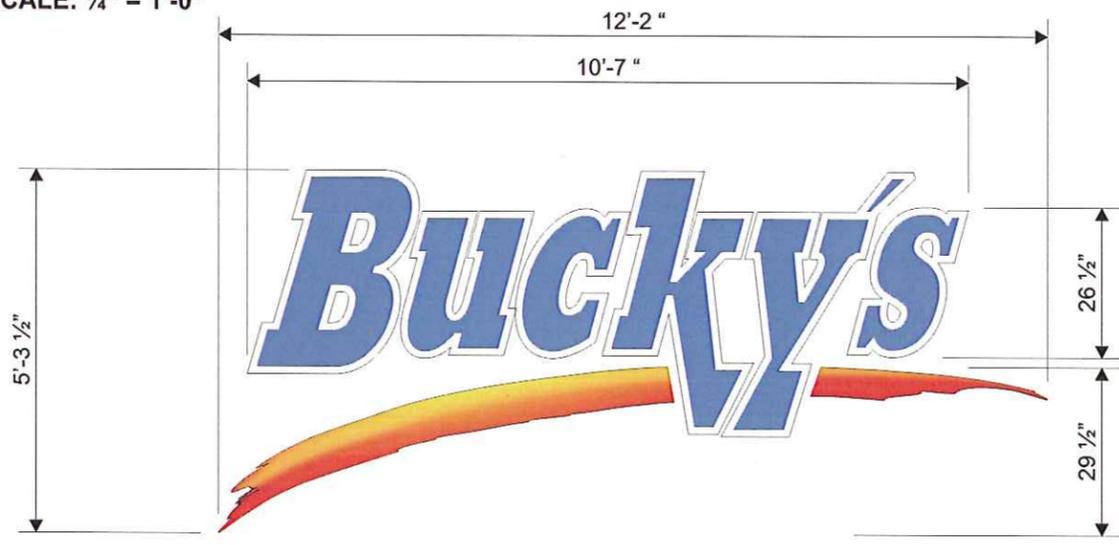
Signed _____ Date _____
Sales Rep. _____ Date _____

Omaha Neon Sign Co., Inc.
1120 N 18th Street • Omaha 68102 • 402.341.6077 • 402.341.7654 fax
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DRAWING #: 74044
PROJECT I.D.:
SALES DEPT: Troy Panagiotis
DRAWN BY: Sean Cornett
Date: 06.26.12
INSPECTED BY:
Revised:

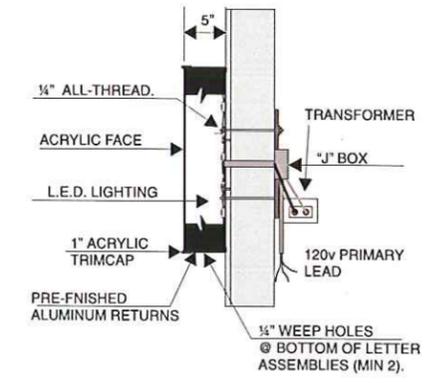
SCALE: 1/4" = 1'-0"



FLUSH MOUNTED CHANNEL LETTERS:

FABRICATED FROM .050 BLK PRE-FINISHED ALUMINUM RETURNS ATTACHED TO .063 ALUMINUM BACKS. FACES ARE TO BE .1875 WHITE ACRYLIC WITH 3M VINYL GRAPHICS APPLIED TO THE FIRST SURFACE (AS NOTED). FACES ARE TO HAVE 1" BLACK TRIM-CAP ADHERED TO PERIMETER OF LETTERS/SWOOSH). INTERNAL ILLUMINATION WITH WHITE LED'S.

LETTERS ARE TO BE MOUNTED TO FASCIA IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS NON-CORROSIVE).



SIDE ELEVATION #2 (facing south)



SIDE ELEVATION #4 (facing north)



DESIGN TYPE	
<input type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR
<input type="checkbox"/> NEON DISPLAYS	<input type="checkbox"/> CHANNEL LETTERS
<input type="checkbox"/> NON-ILLUM SIGNAGE	<input type="checkbox"/> REV. CHANNEL LETTERS
<input type="checkbox"/> DUEL POLE SIGN	<input type="checkbox"/> SINGLE POLE SIGN
<input type="checkbox"/> MONUMENT SIGN	<input type="checkbox"/> DIRECTIONAL
<input type="checkbox"/> CHANGEABLE READER BOARD/ ELE. DISPLAYS	

PROJECT TYPE	
<input type="checkbox"/> NEW CONSTRUCTION	
<input type="checkbox"/> REMODELING	
<input type="checkbox"/> TENANT CHANGES	
<input type="checkbox"/> LANDLORD IMPROVEMENTS	
<input type="checkbox"/> CORPORATE CHANGES	
<input type="checkbox"/> AMENDMENTS TO EXCISING SIGNAGE	

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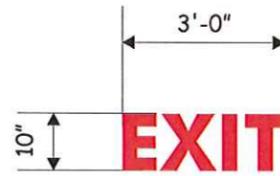
Signed _____ Date _____
Sales Rep. _____ Date _____

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E. Townline Road - Vernon Hills, IL

DRAWING #: 72294
PROJECT I.D.:
SALES DEPT: Troy Panagiotis
DRAWN BY: Sean Cornett
Date: 03.19.12
Revised:



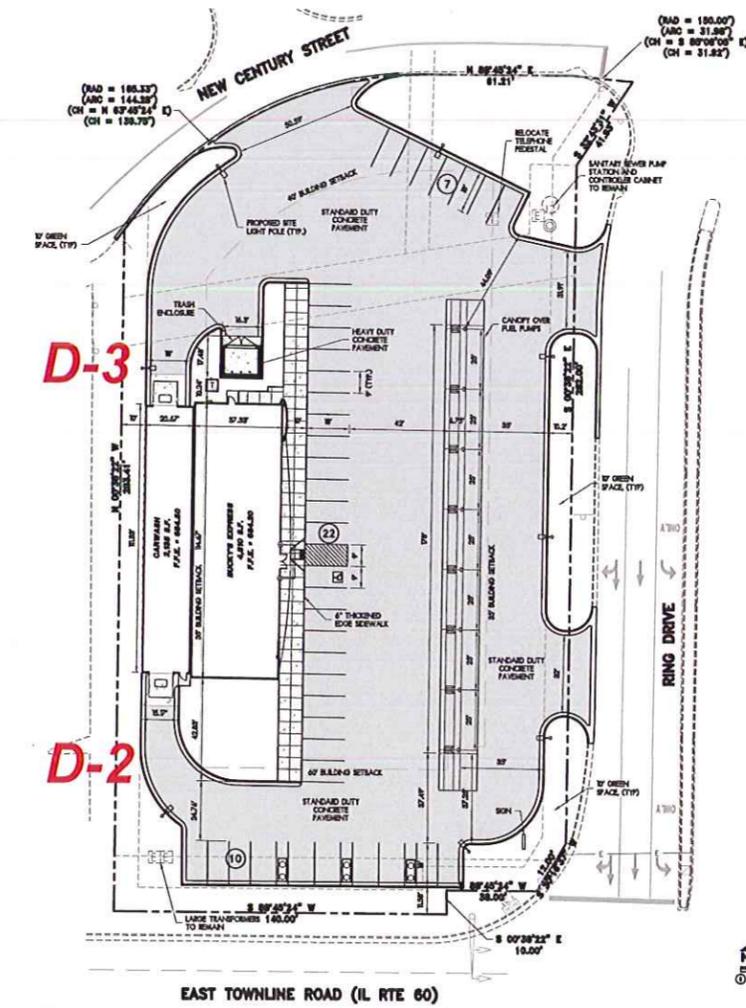
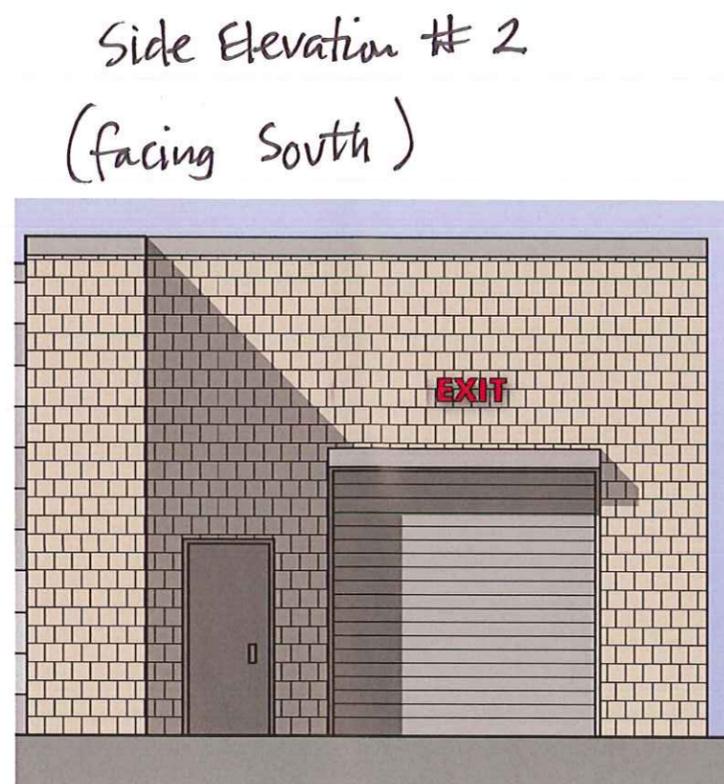
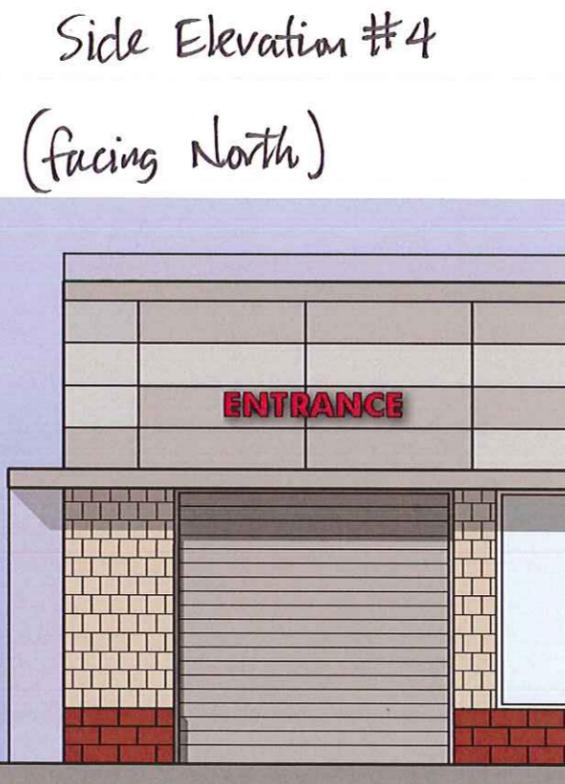
BUILDING SIGN D-2

FABRICATE AND INSTALL (2) TWO NON-ILLUMINATED WALL DISPLAYS
SCALE: 3/8"=1'-0"

INSTALL NON-ILLUMINATED PLASTIC GEMINI LETTERS STUD MOUNTED TO BUILDING FASCIA. LETTER STYLE FUTURA BOLD. PAINTED RED.



BUILDING SIGN D-3



- DESIGN TYPE**
- INTERIOR EXTERIOR
 - NEON DISPLAYS CHANNEL LETTERS
 - NON-ILLUM SIGNAGE REV. CHANNEL LETTERS
 - DUEL POLE SIGN SINGLE POLE SIGN
 - MONUMENT SIGN DIRECTIONAL
 - CHANGEABLE READER BOARD/ ELE. DISPLAYS

- PROJECT TYPE**
- NEW CONSTRUCTION
 - REMODELING
 - TENANT CHANGES
 - LANDLORD IMPROVEMENTS
 - CORPORATE CHANGES
 - AMENDMENTS TO EXCISING SIGNAGE

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Signed _____ Date _____
 Sales Rep. _____ Date _____

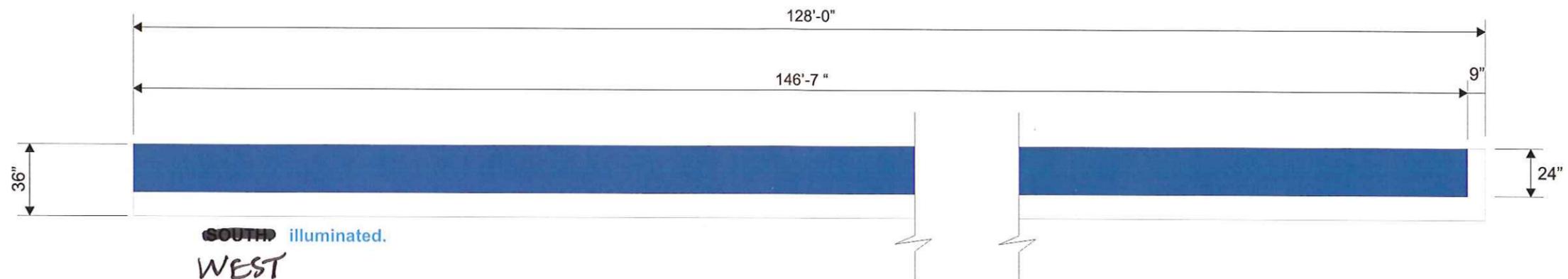
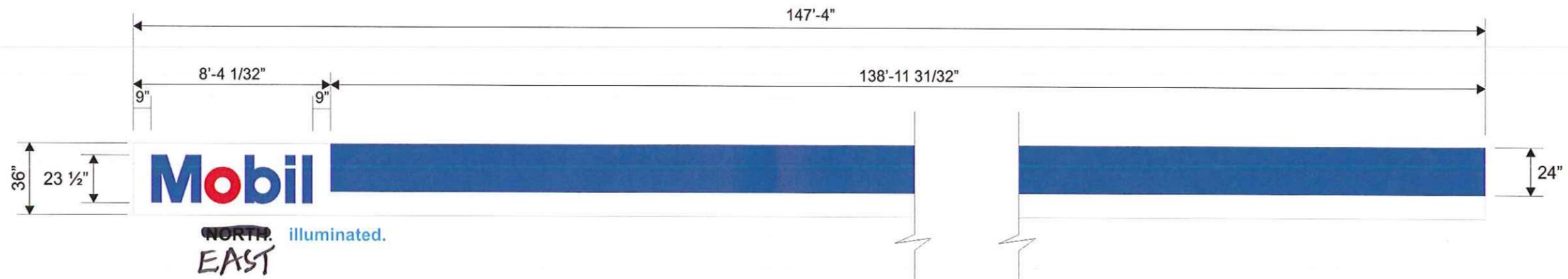
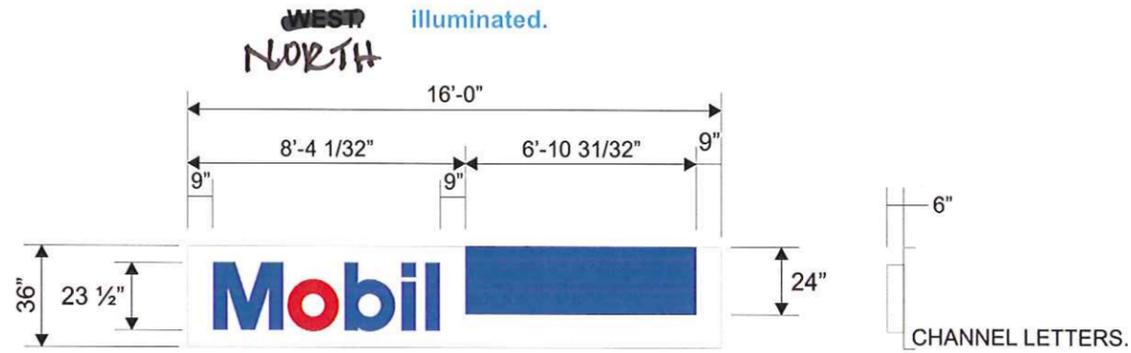
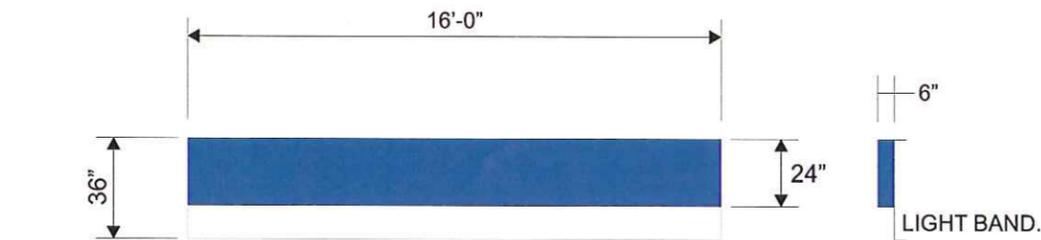
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Carol Stream, IL

DRAWING #: 70628
 PROJECT I.D.:
 SALES DEPT: Troy Panagiotis
 DRAWN BY: Sean Cornett
 Date: 12.20.11 INSPECTED BY:
 Revised:

SCALE: 3/16" = 1'-0"



- DESIGN TYPE**
- INTERIOR EXTERIOR
 - NEON DISPLAYS CHANNEL LETTERS
 - NON-ILLUM SIGNAGE REV. CHANNEL LETTERS
 - DUEL POLE SIGN SINGLE POLE SIGN
 - MONUMENT SIGN DIRECTIONAL
 - CHANGEABLE READER BOARD/ ELE. DISPLAYS

- PROJECT TYPE**
- NEW CONSTRUCTION
 - REMODELING
 - TENANT CHANGES
 - LANDLORD IMPROVEMENTS
 - CORPORATE CHANGES
 - AMENDMENTS TO EXCISING SIGNAGE

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Signed _____ Date _____
 Sales Rep. _____ Date _____

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Carol Stream, IL

DRAWING #: 70643
 PROJECT I.D.:
 SALES DEPT: Troy Panagiotis
 DRAWN BY: Sean Cornett
 Date: 12.20.11 INSPECTED BY:
 Revised:

SCALE: 1/16" = 1'-0"

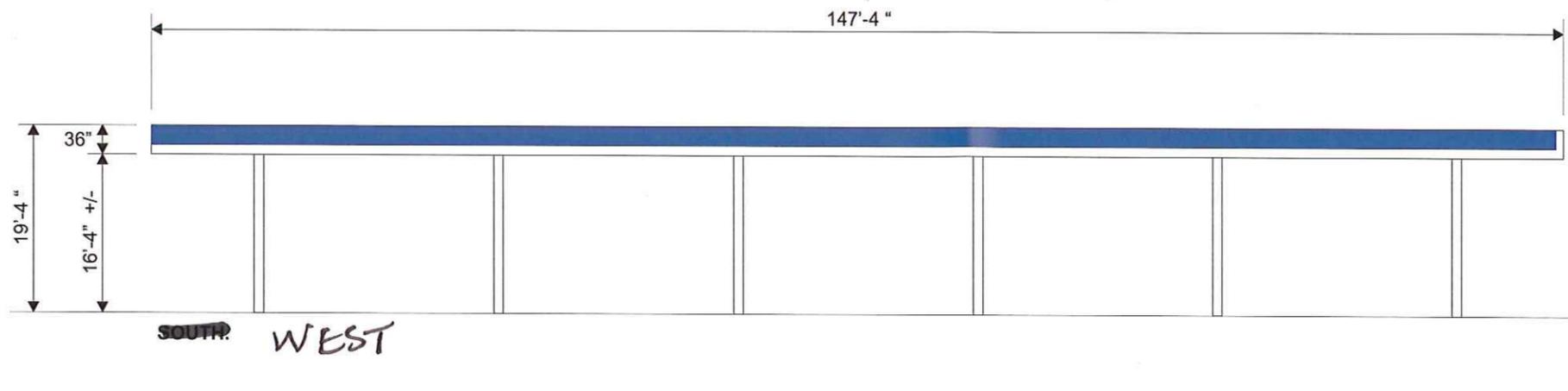
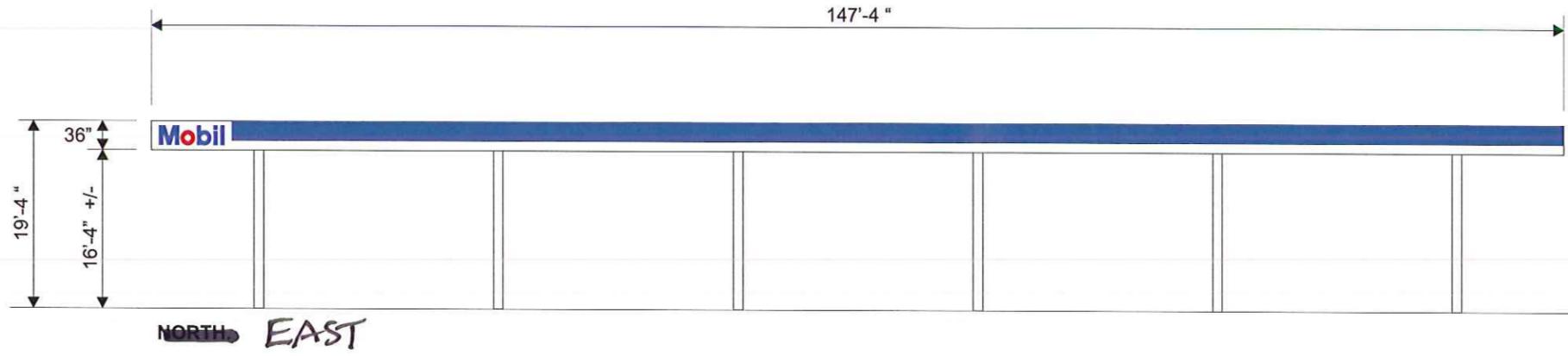
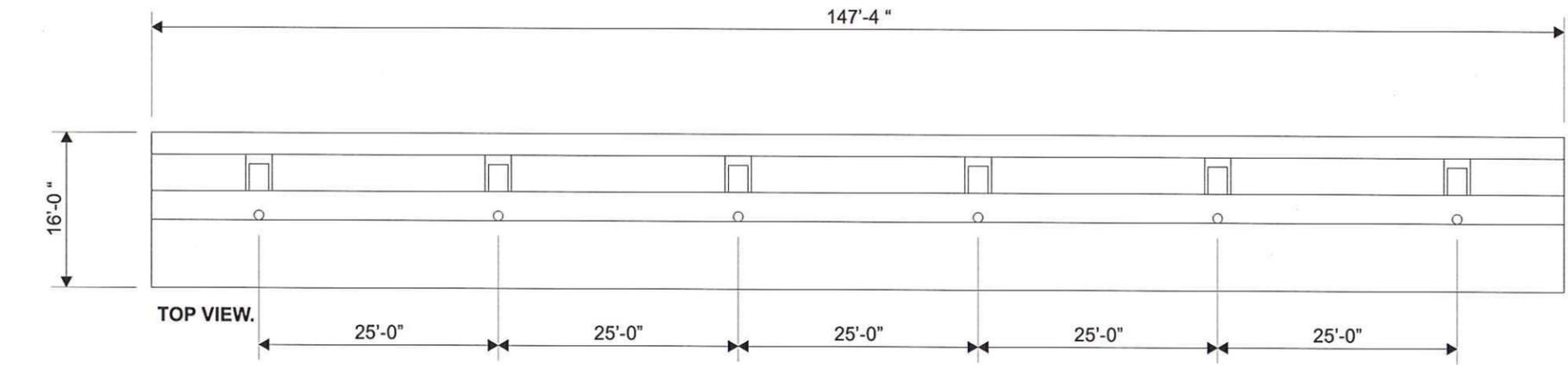


Exhibit C Terms and Conditions of Approval

List of Approved Variations from Section 13.6 of the Zoning Ordinance

1. **Canopy** – Reduction of the front yard setback area to 46.5' as measured to the front face of the canopy.
2. **Side Yard Setback for building/carwash** - Reduction of the side yard setback area to 10 feet as measured from the west property line to the building.
3. **Rear Yard Setback for Trash Enclosure/Vacuum stalls** - Reduction of the rear yard setback to 36' for the Trash Enclosure and to 15' for the vacuum/ air hose stalls. The locations shall be generally consistent with the approved site plan.
4. **Landscape Buffer along Townline Road** - Reduction of the landscape buffer along Townline Road to 11 feet of the right-of-way line and one foot for the eastern most parking spaces as shown on the approved site plan.
5. **Parking Space Size** - Reduction of the required parking space size to 18.5' throughout the property except for those spaces required to meet ADA requirements.
6. **Signage** (being Chapter 19 of the Village Code)
 - Front Elevation #1 (Facing East)
To allow three signs on the building elevation
To allow Mobil sign, being 16.32 sq ft, on the Canopy
To allow a maximum of 138.97 sq ft of signage as follows: (Bucky's Sign 98 sq ft, Rapid Wash 24.65 sq ft and Mobil Sign)
 - Side Elevation #2 (Facing South)
To allow two signs on the building elevation
To allow a maximum of 66.88 sq ft (Bucky's Sign 64.38 sq ft, Exit Sign 2.5 sq ft.)
 - Side Elevation #4 (Facing North)
To allow three signs on the building elevation
To allow Mobil sign, being 16.32 sq ft, on the Canopy
To allow a maximum of 85.77 sq ft (Bucky's Sign 64.38 sq ft, Entrance Sign 5.07 sq ft and the Mobil sign).

Conditions of Approval for the Site:

1. Final approval of plans by the Village Engineer and Landscape Architect.
2. All signage shall comply with the Village's sign ordinance, being Chapter 19 of the Code of Ordinances, except as otherwise provide herein.
3. No outdoor display of merchandise shall be permitted without issuance of the required licenses by the Board.
4. Additional landscape screening shall be provided along the parking lot to completely screen the parking spaces from Townline Road.
5. Prior to issuance of any Certificate of Occupancy, the property owner shall dedicate to the Village approximately 150 sq ft of property located at the northeast corner of lot and adjacent to New Century Street (public road) and Ring Road (private road) for

- public right-of-way purposes. The specific area shall be designated by the Village. The area to be dedicated is attached to this report in Exhibit A.
6. Roof top equipment is required to be screened from all sides to match the full height of the mechanical equipment. Due to durability concerns, the screening walls shall be metal. The color will be consistent with the Nichiha panels on the front elevation of the building. Details on the screen shall be provided as a part of the building permit review process.
 7. Installation of alternative pavement or sidewalk shall be provided.
 8. Windows on Side Elevation #4 (Facing North) shall not be used for product or merchandise advertising of any kind.
 9. The petitioner shall work with the Staff and Westfield to provide a combination of signage and raised median located within the Ring Road driveway apron. The median shall be added to the engineering plans during final engineering review to resolve this concern.
 10. The petitioner shall working with the Village Engineer to provide parking block, bollard or curb (or some combination of these items) protection at the front of the store.
 11. The petitioner shall elimination of the proposed eastern-most parking space adjacent to Townline Road right-of-way and place additional landscaping to completely screen the lot from Townline Road. The type of plants shall be generally consistent with the current plan.
 12. The petitioner shall provide detailed plans regarding all ground-mounted directional signs which will be reviewed and approved by the Building Commissioner. The signs shall comply with the Sign Ordinance.
 13. The type of parking lot lighting shall be consistent with adjacent properties and shall comply with all ordinances and standards of the Village.
 14. The petitioner shall install an irrigation system for the entire property.
 15. The walls of the trash enclosure shall masonry and shall match the color of the building. Due to durability concerns, the enclosure door shall be metal. The design of said doors shall be reviewed and approved by the Building Commissioner.
 16. Additional changes to the architectural design as required by the Commission or Board.
 17. Compliance with all ordinance and standards of the Village except as otherwise noted.
 18. The landscape plan shall be amended for the area adjacent to Ring Road, south of the entrance, to create a more natural appearance that will be low maintenance. The use of turf grass should be limited in this area.
 19. The petitioner and property owner will work with the Village to allow placement of a Village-owned directional sign at the SE corner of the property, adjacent to Townline Road and Ring Road.

AFFIDAVIT OF SERVICE

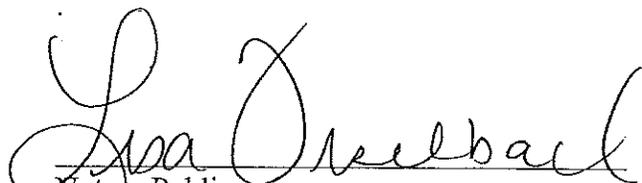
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, MICHAEL S. ALLISON, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2012-053, AN ORDINANCE GRANTING APPROVAL OF A SPECIAL USE PERMIT AND CERTAIN OTHER APPROVALS TO ALLOW BUCHANAN ENERGY TO LOCATE BUCKY'S FUEL STATION/CARWASH AT THE INTERSECTION OF RING ROAD AND ROUTE 60 (TOWNLINE ROAD), IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY



MICHAEL S. ALLISON, VILLAGE CLERK

SUBSCRIBED AND SWORN to Before
THIS 2ND DAY OF OCTOBER, 2012



Notary Public

