

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2012-055

AN ORDINANCE GRANTING APPROVAL OF A SPECIAL USE PERMIT AND CERTAIN
OTHER APPROVALS TO ALLOW CHICK-FIL-A TO LOCATE A RESTAURANT WITH
DRIVE -THRU SERVICE AT 701 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF
VERNON HILLS, LAKE COUNTY

THE 16th DAY OF OCTOBER, 2012

Published in pamphlet form by the Authority of the
President and Board of Trustees of the Village of
Vernon Hills, Lake County, Illinois, this 18th Day of
October, 2012

ORDINANCE NO. 2012-055

**AN ORDINANCE GRANTING APPROVAL OF A
SPECIAL USE PERMIT AND CERTAIN OTHER
APPROVALS TO ALLOW CHICK-FIL-A TO
LOCATE A RESTAURANT WITH DRIVE –THRU
SERVICE AT 701 NORTH MILWAUKEE AVENUE
IN THE VILLAGE OF VERNON HILLS,
LAKE COUNTY**

WHEREAS, Jason Hill of Chick-Fil-A, representing Parliament Properties, Inc, owners of a property located at 701 North Milwaukee Avenue (being the Pier One Import property) and legally described in Exhibit A, has petitioned the Village of Vernon Hills for approval of the following:

1. Approval of Special Use Permit to allow a restaurant with drive-thru service; and
2. Approval of certain variations related to setbacks and signage; and
3. Preliminary and final approvals of the site and landscaping plans; and
4. Preliminary and final approvals of the architectural elevations including signage.

WHEREAS, Chick-Fil-A requested the following variations as a part of the petition:

1. **Side Yard Setback for the Building (South Side)** - Reduction of the side yard setback area from 35 feet to 20.4 feet as measured from the south property line to the building.
2. **Rear Yard Setback for Trash Enclosure** - Reduction of the rear yard setback from 40 feet to 30 feet from the rear property line.
3. **Signage (being Chapter 19 of the Village Code)**

North Elevation Wall Signs:

- To allow a total size of the two proposed wall signs on this elevation of 62.42 square feet instead of 21.35 sq ft. This calculation included the “Original Chicken Sandwich”.
- Allow two wall signs on the north elevation instead of one wall sign.

Monument Sign

- To allow logo on the monument sign to exceed 4 square feet as setforth in the Sign Plans listed above.

Menu Board Signs

- To allow three menu boards as proposed (H1 & H2 – Speaker Canopy and the G Pre-Menu Board) instead of a maximum of two signs.

WHEREAS, the requested approvals would be in general compliance with the following:

- The Sign Plans and Canopy Lighting Plans prepared by AnchorSign with a revised date of 8/23/12 and consisting of 27 pages except as otherwise approved herein.
- Site and Landscaping Plans prepared by HR Green with a revised date of 8/24/12 and consisting of the following:

- Cover Sheet C-0.0
- Site Plan - Sheet C-2.0
- Grading Plan - Sheet C – 3.0
- Plumbing Site Plan – Sheet PS-1.0
- Tree Preservation Plan – Sheet L-01
- Landscape Plan – Sheet L-02 – expect as amended pursuant to the Conditions of Approval, #6.
- Landscape Details – Sheet L-03
- AutoTurn Exhibit – Sheet AT – 0.1
- Building Elevations and floor plan prepared by Chipman Design Architecture Inc. with a dated of October 2, 2012 and consisting of five (5) pages (North, East, South and West elevations, Floor Plan) expect as amended pursuant to the Conditions of Approval, #7 & #8 below.
- Photometric Plan prepared by Chipman Design Architecture Inc. and Dickerson Engineering, Inc with a revised dated of 8/24/12 and consisting of Sheet ES2.1
- Refuse Enclosure plan prepared by Chipman Design Architecture Inc. with a dated of 10/2011 and consisting of Sheet A-3.6.

Said Plans are attached hereto as Exhibit B; and

WHEREAS, upon due notice and after public hearing held August 29, 2012 and continued from time to time by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

WHEREAS, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that addresses the conditions in Section 18.3 of the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the Special Use Permit to allow a restaurant with drive-thru service and certain variations related to setbacks and signage as listed in Exhibit C, is hereby granted. Said parcel is legally described in Exhibit A. The approval is subject to the conditions listed in Section V and the terms and conditions as set forth in Exhibit C.

SECTION II. Pursuant to the Vernon Hills Zoning Ordinance of 1982, approval of the preliminary and final site and landscaping plans for the entire site as set forth in Exhibit B are hereby granted subject to the conditions listed in Section V.

SECTION III. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations including signage as setforth in Exhibit B are hereby granted subject to the conditions listed in Section V.

SECTION IV. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as setforth in Exhibit B are hereby approved subject to the conditions listed below in Section V.

SECTION V. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the terms and conditions as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

SECTION VI. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION VII. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION VIII. SUCCESSORS AND ASSIGNS. All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

SECTION IX. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

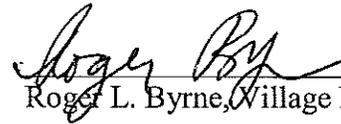
SECTION X. ORDINANCE NUMBER. This ordinance shall be known as
Ordinance Number 2012-055.

Adopted by roll call vote as follows:

AYES: 6 – Koch, Marquardt, Schultz, Schwartz, Williams, Hebda

NAYS: 0 - None

ABSENT AND NOT VOTING: 0 - None



Roger L. Byrne, Village President

PASSED: 10/16/2012

APPROVED: 10/16/2012

PUBLISHED IN PAMPHLET FORM: 10/18/2012

ATTEST



Michael S. Wilson, Village Clerk

Exhibit A
Legal Description

STORE: FSU #2926
LOCATION: VERNON HILLS, IL
ALTA SURVEY: MAY 7, 2012
PREPARED BY: HR GREEN, INC.

LEGAL DESCRIPTION OF SUBJECT PARCEL:

PARCEL 1:

LOT 2 IN HAWTHORN II - RETAIL CENTER, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 34, TOWNSHIP 44 NORTH, RANGE 11 AND PART OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 2, 1987 AS DOCUMENT 2617895 AND AMENDED AND RESTATED BY PLAT RECORDED DECEMBER 17, 1987 AS DOCUMENT 2641246, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

NON-EXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1, CREATED IN THE CROSS EASEMENT AGREEMENT, GRANTING MUTUAL EASEMENTS TO LAND FOR INGRESS AND EGRESS MADE BY AND BETWEEN VANTRUST I AND CONTINENTAL ILLINOIS NATIONAL BANK AND TRUST COMPANY OF CHICAGO, JOHN F. CUNEO, JR., CONSUELA CUNEO MCALISTER, CHARLES L. MCEVOY AND WILLIAM G. MEYERS, AS SUCCESSOR TRUSTEES UNDER DECLARATION OF TRUST DATED AUGUST 12, 1935, DATED DECEMBER 29, 1986 AND RECORDED JANUARY 25, 1987 AS DOCUMENT 2522016.

ALSO DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 2 IN SAID HAWTHORN II - RETAIL CENTER; THENCE SOUTH 6 DEGREES 17 MINUTES 53 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 2, A DISTANCE OF 200.46 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 87 DEGREES 26 MINUTES 38 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID LOT 2, A DISTANCE OF 250.07 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 6 DEGREES 28 MINUTES 12 SECONDS WEST ALONG THE WESTERLY LINE OF SAID LOT 2, A DISTANCE OF 200.62 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE NORTH 87 DEGREES 28 MINUTES 19 SECONDS EAST ALONG THE NORTHERLY LINE OF SAID LOT 2, A DISTANCE OF 250.68 FEET TO THE POINT OF BEGINNING, CONTAINING 1.150 ACRES, MORE OR LESS.

**Exhibit B
Plans**

General Compliance with the following plans:

- The Sign Plans and Canopy Lighting Plans prepared by AnchorSign with a revised date of 8/23/12 and consisting of 27 pages except as otherwise approved herein.

- Site and Landscaping Plans prepared by HR Green with a revised date of 8/24/12 and consisting of the following:
 - Cover Sheet C-0.0
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 - Landscape Details – Sheet L-03
 - AutoTurn Exhibit – Sheet AT – 0.1

- Building Elevations and floor plan prepared by Chipman Design Architecture Inc. with a dated of October 2, 2012 and consisting of five (5) pages (North, East, South and West elevations, Floor Plan) expect as amended pursuant to the Conditions of Approval, #7 & #8 below (Note: The condition requiring the changes to the East Elevation have been met in the October 2, 2012 plan herein attached).

- Photometric Plan prepared by Chipman Design Architecture Inc. and Dickerson Engineering, Inc with a revised dated of 8/24/12 and consisting of Sheet ES2.1

- Refuse Enclosure prepared by Chipman Design Architecture Inc. with a dated of 10/2011 and consisting of Sheet A-3.6.

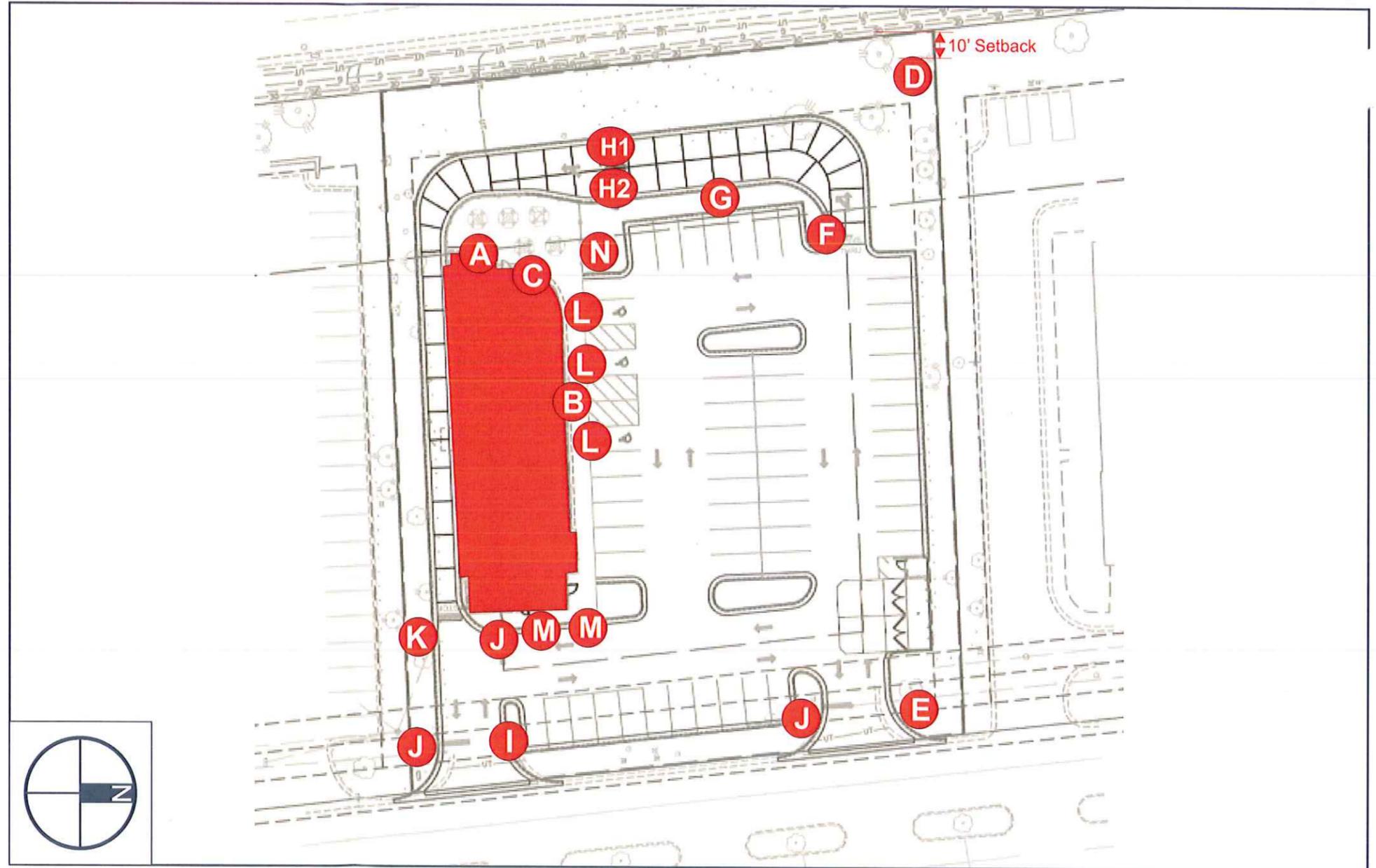


- A** Individual Channel Letters - 39.00 sq ft
- B** Individual Channel Letters - 25.67 sq ft
- C** Wall Sign - 36.75 sq ft
- D** Monument Sign - 30.92
- E** Directional Sign
- F** Clearance Bar
- G** Pre-Menu Board
- H1** Speaker Canopy
- H2** Speaker Canopy
- I** DOT Signage - Right Turn Only
- J** DOT Signage - Stop Sign
- K** DOT Signage - Stop Sign/Do Not Enter
- L** DOT Signage - HP
- M** DOT Signage - Fire Lane
- N** Flag Pole

RECEIVED

SEP 11 2012

COMMUNITY DEVELOPMENT
 DEPARTMENT



Client: Chick-Fil-A
 Site #: CF-2926
 Address: 701 North Milwaukee Avenue, #360
 Vernon Hills, IL 60061
 Vernon Hills FSU

REVISION INFO	DATE	DESCRIPTION	BY
	05/31/2012	Original Rendering	DH
	06/06/2012	Revised site plan, added menu board	DH
	07/26/2012	Update to site plan and elevations	DH
	07/27/2012	Added additional sign	DH
	08/01/2012	Added pre-menu board and revised site plan	BC
	08/23/2012	Added additional signs and revised site plan	DH

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SIGN A	52" Chick-fil-A
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	39.00
To Grade:	Top of sign to grade = 19'-9" Bottom of sign to grade = 15'-5"



Front Elevation (West)

Scale: 1/8" = 1'-0"

Actual Square Footage this Elevation: 39.00



Client: Chick-Fil-A
 Site #: CF-2926
 Address: 701 North Milwaukee Avenue, #360
 Vernon Hills, IL 60061
 Vernon Hills FSU

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1 . 8 0 0 . 2 1 3 . 3 3 3 1



Right Side Elevation (South)

Scale: 3/32" = 1'-0"

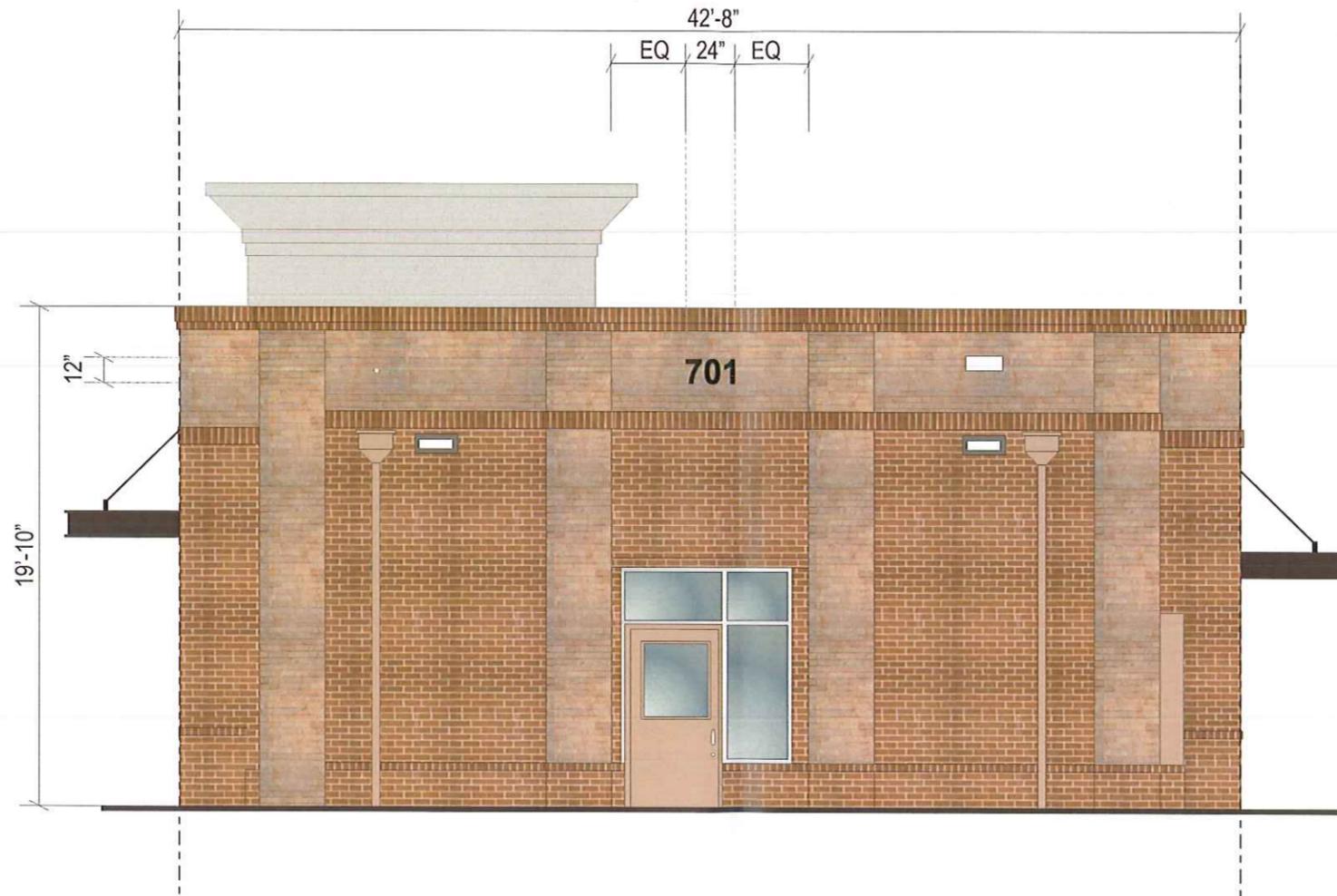


Client: Chick-Fil-A
 Site #: CF-2926
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 Vernon Hills FSU

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AnchorSign.
 1.800.213.3331



Rear Elevation (East)

Scale: 1/8" = 1'-0"



Client: Chick-Fil-A
 Site #: CF-2926
 Address: 701 North Milwaukee Avenue, #360
 Vernon Hills, IL 60061
 Vernon Hills FSU

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	08/01/2012	Added pre-menu board and revised site plan	BC
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SIGN B	42" Chick-fil-A
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	25.67
To Grade:	Top of sign to grade = 19'-10" Bottom of sign to grade = 16'-4"

SIGN C	The Original Chicken Sandwich
Type:	Routed acrylic letters on a backer panel
Illumination:	Internally Illuminated LED
Square Footage:	36.75
To Grade:	Top of Sign To Grade = 18'-0" Bottom of Sign To Grade = 16'-0"



Left Elevation (North)

Scale: 3/32" = 1'-0"

Actual Square Footage this Elevation: **62.42**



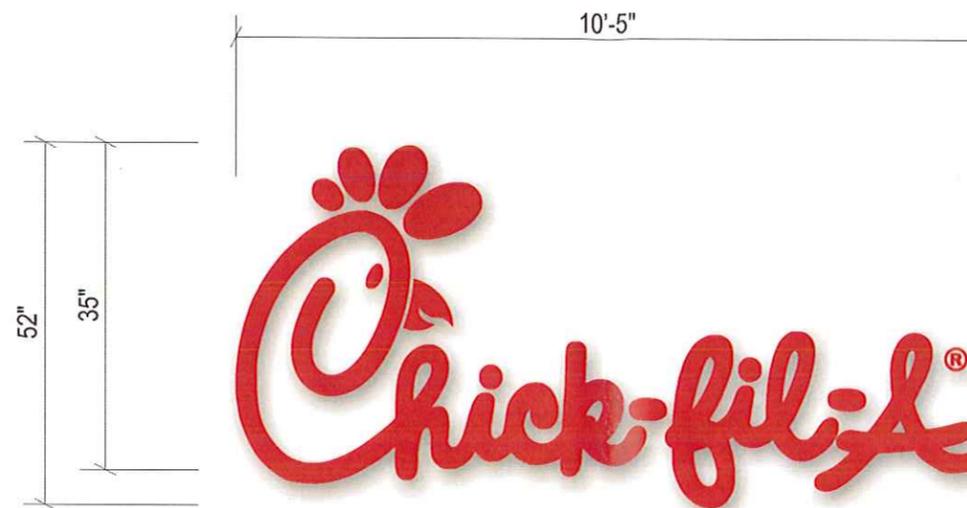
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Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	39.00
To Grade:	Top of sign to grade = 19'-9" Bottom of sign to grade = 15'-5"



Sign Layout Detail
Scale: 3/8" = 1'-0"

Electrical Detail:

White LEDs
(X) 60w Transformer
Total Amps: X.XX
(1) 20 amp 120V Circuit Req.

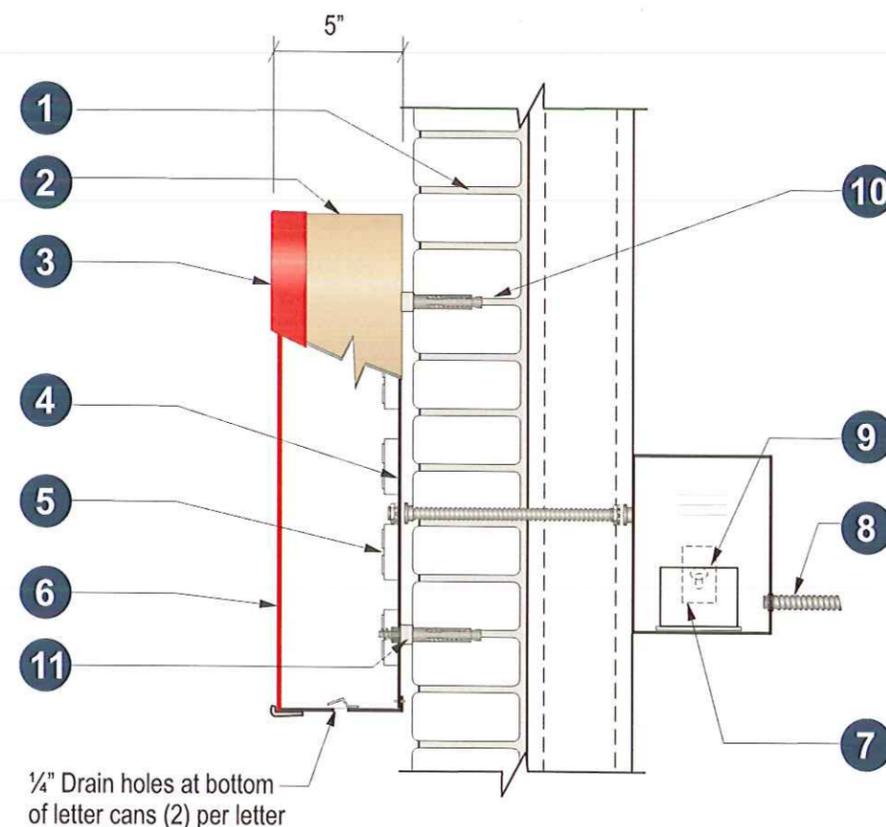
General Notes:

This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- 1) Grounded and bonded per NEC 600.7/NEC 250
- 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- 3) Sign is to be UL listed per NEC 600.3
- 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer*
*For multiple signs, a disconnect is permitted but not required for each section

Specifications: Channel Letters

1. Existing Facade: Brick
2. 0.040 Aluminum letter returns painted to match SW 6108 Latte
3. 0.125" x 1" trim cap to match red
4. 3mm Signabond Lite composite backs (interior of sign can painted white for maximum illumination)
5. Red LEDs
6. 3/16" Red Acrylic faces
7. Waterproof disconnect switch per NEC 600-6
8. Primary electrical feed
9. Transformers
10. Mounting Hardware - 3/8" Sleeve anchors
11. 3/8" Sleeve spacers



Section @ LED Channel Letter
Front-Lit (Remote) Scale: N.T.S.



Client: Chick-Fil-A
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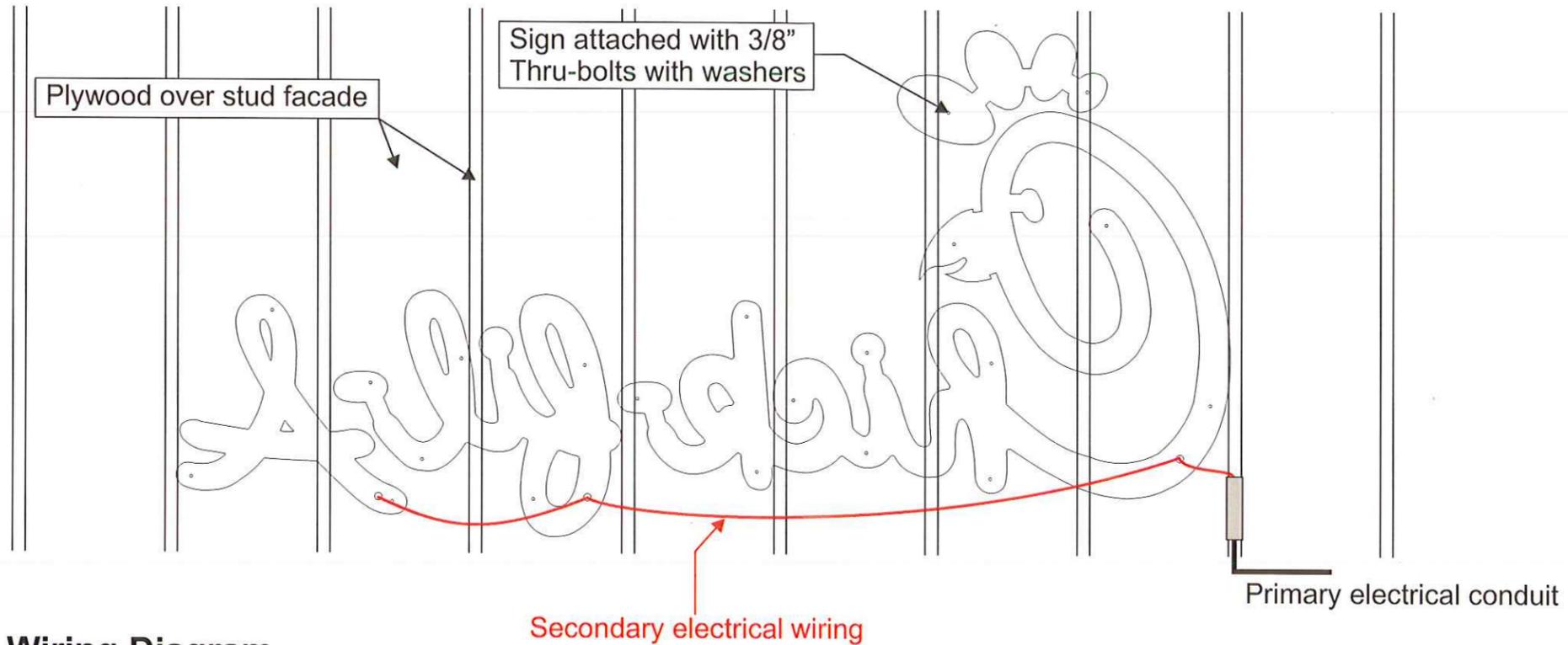
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52" Internally Illuminated Channel Letters



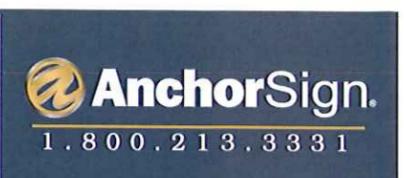
Wiring Diagram

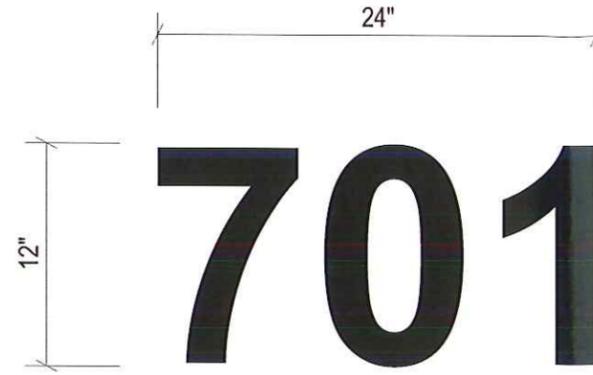


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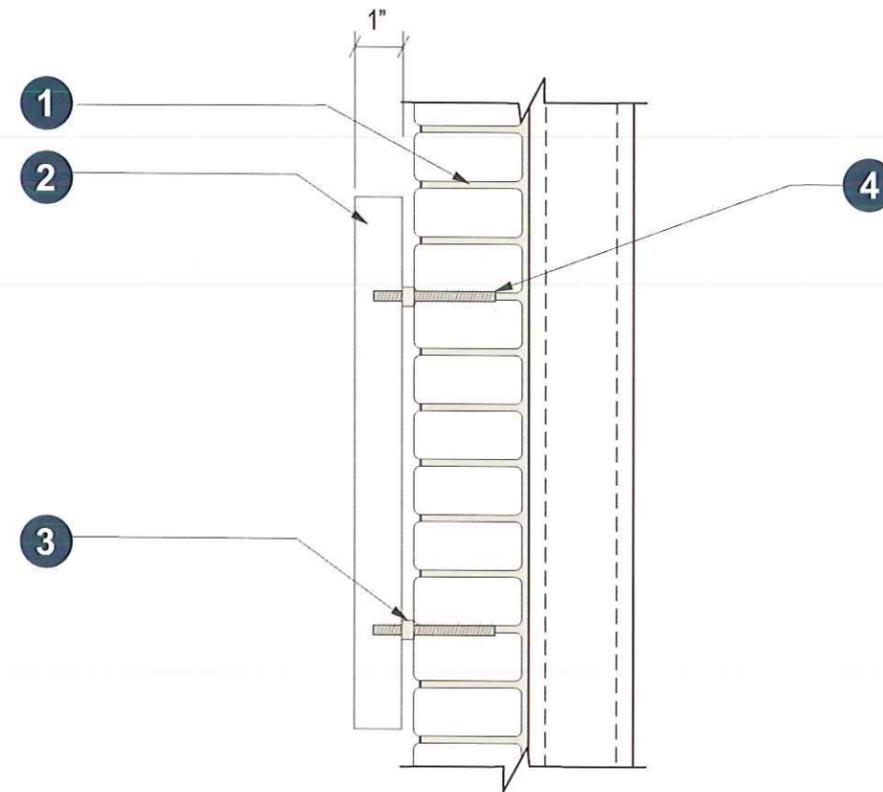




Sign Layout Detail

Scale: 1" = 1'-0"

- Specifications: Routed Letters**
- 1. Existing Facade: Brick
 - 2. 1" Thick routed PVC letters painted to match black
 - 3. 3/8" Sleeve spacers
 - 4. 3/8" Threaded rods



Section @ Routed PVC Letter

Scale: N.T.S.



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SIGN B	42" Chick-fil-A
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	25.67
To Grade:	Top of sign to grade = 19'-10" Bottom of sign to grade = 16'-4"



Sign Layout Detail

Scale: 3/4" = 1'-0"

Electrical Detail:

White LEDs
(X) 60w Transformer
Total Amps: X.XX
(1) 20 amp 120V Circuit Req.

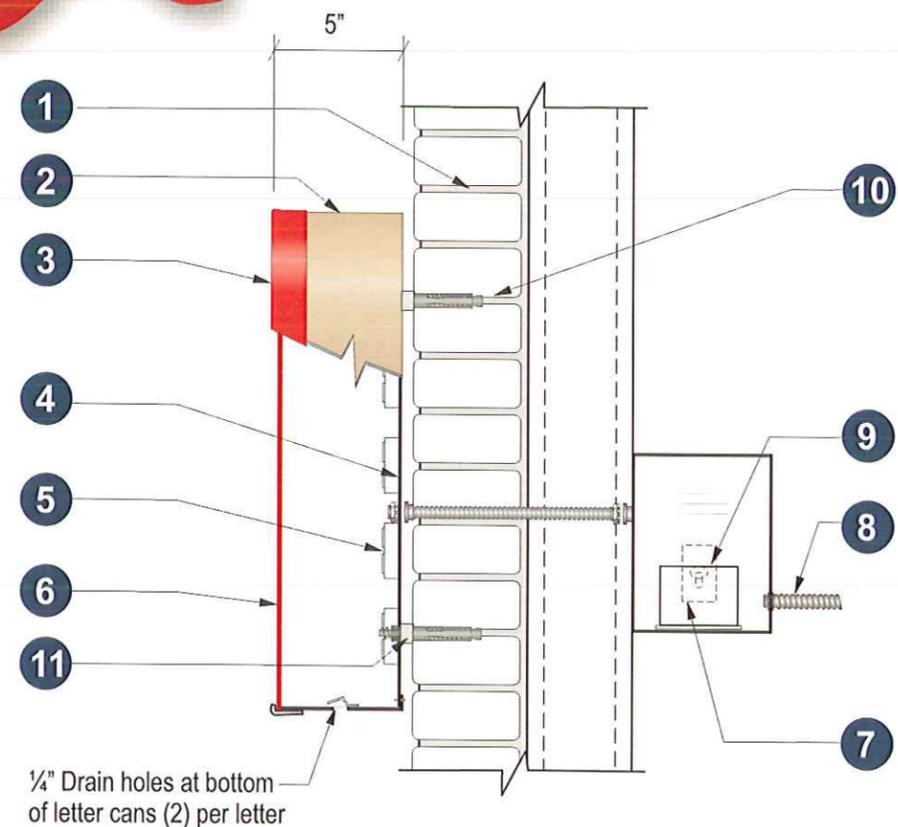
General Notes:

This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- 1) Grounded and bonded per NEC 600.7/NEC 250
- 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- 3) Sign is to be UL listed per NEC 600.3
- 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer*
*For multiple signs, a disconnect is permitted but not required for each section

Specifications: Channel Letters

1. Existing Facade: Brick
2. 0.040 Aluminum letter returns painted to match SW 6108 Latte
3. 0.125" x 1" trim cap to match red
4. 3mm Signabond Lite composite backs (interior of sign can painted white for maximum illumination)
5. Red LEDs
6. 3/16" Red Acrylic faces
7. Waterproof disconnect switch per NEC 600-6
8. Primary electrical feed
9. Transformers
10. Mounting Hardware - 3/8" Sleeve anchors
11. 3/8" Sleeve spacers



Section @ LED Channel Letter Front-Lit (Remote)
Scale: N.T.S.



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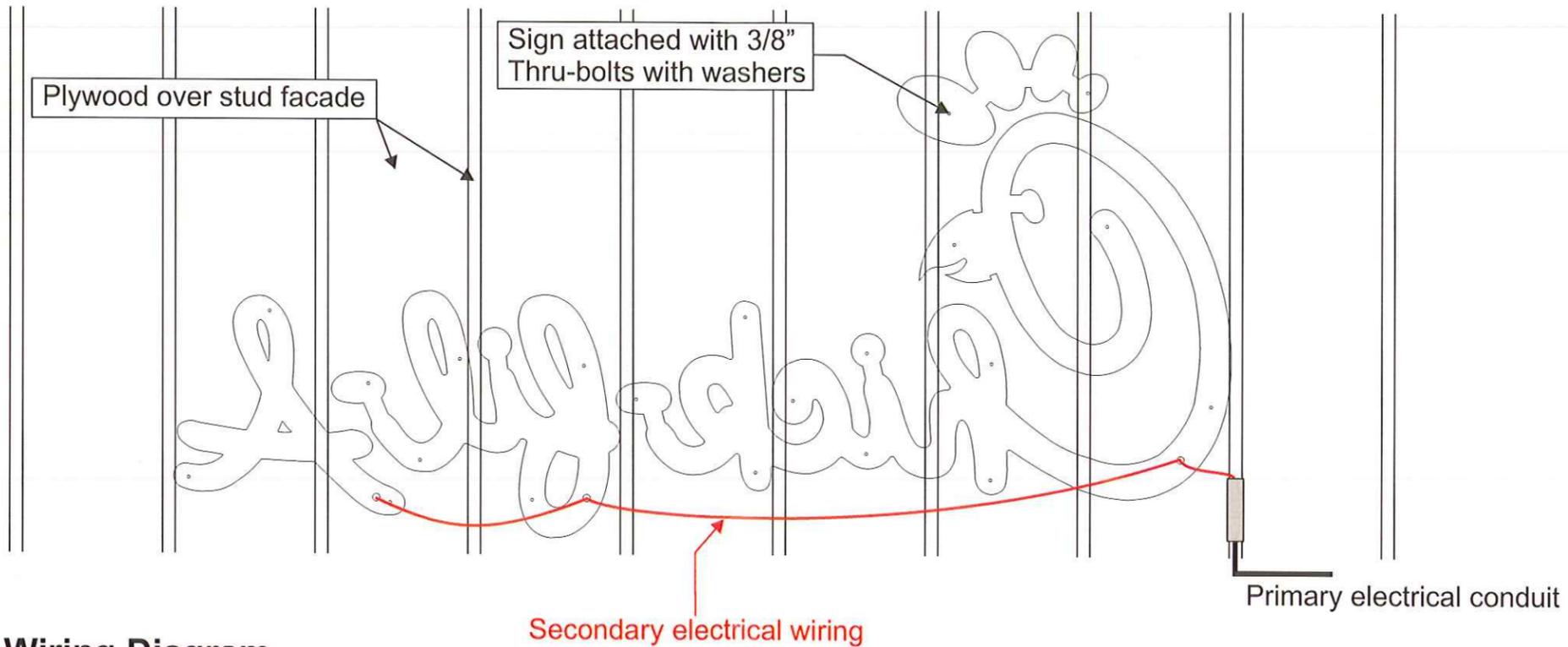
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SIGN B	42" Chick-fil-A
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	25.67
To Grade:	Top of sign to grade = 17'-9" Bottom of sign to grade = 14'-3"

SIGN B	42" Chick-fil-A
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	25.67
To Grade:	Top of sign to grade = 19'-10" Bottom of sign to grade = 16'-4"

42" Internally Illuminated Channel Letters



Wiring Diagram



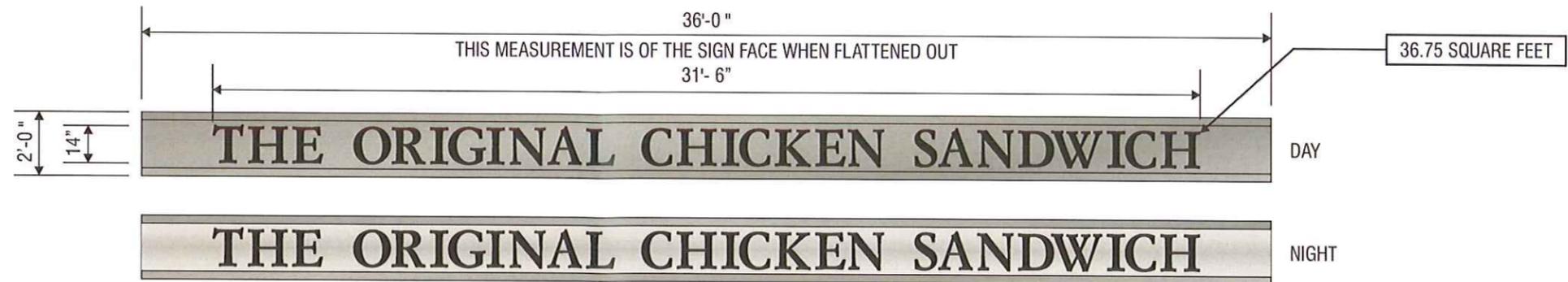
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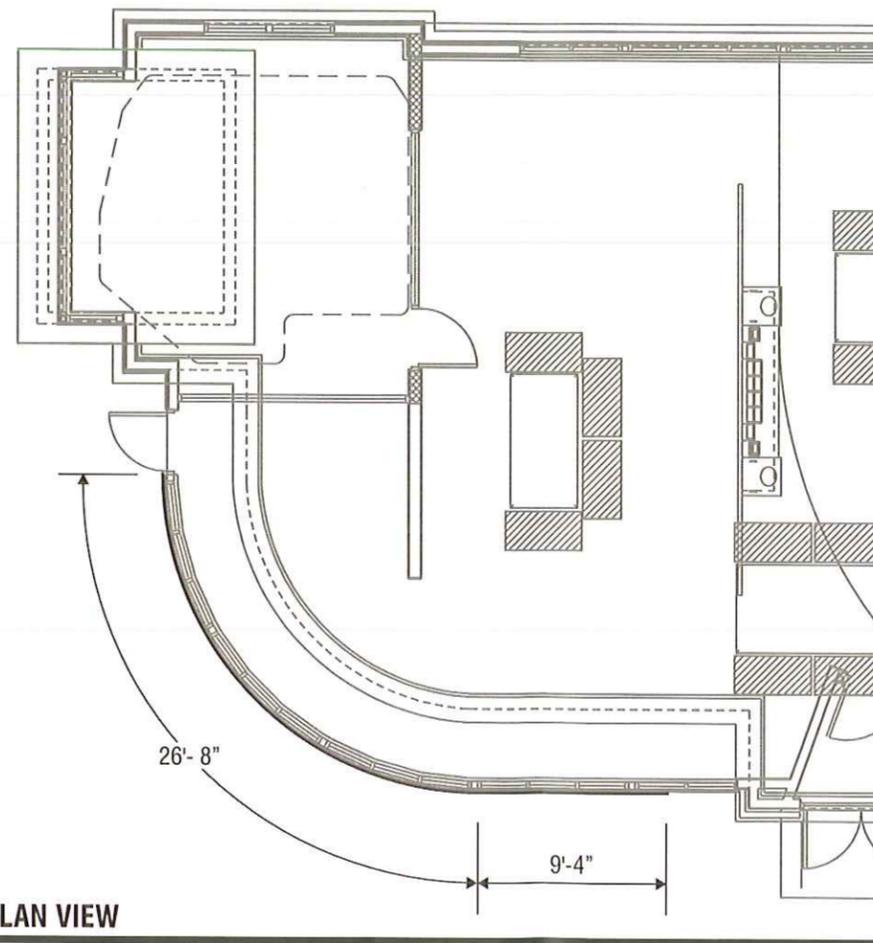
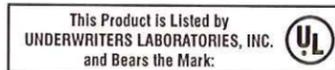
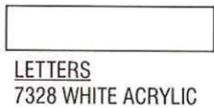
SIGN C	The Original Chicken Sandwich
Type:	Routed acrylic letters on a backer panel
Illumination:	Internally Illuminated LED
Square Footage:	36.75
To Grade:	Top of Sign To Grade = 18'-0" Bottom of Sign To Grade = 16'-0"



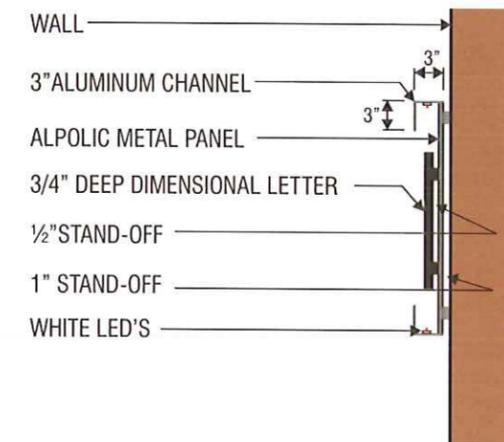
ELEVATION

SPECIFICATIONS

BACKGROUND PANEL
THE BACKGROUND PANEL IS ALPOLIC COMPOSITE MATERIAL SHAPED TO MATCH THE CURVE OF THE BUILDING.
GRAPHICS
3/4" DEEP DIMENSIONAL LETTERS MOUNTED ON BACKGROUND PANEL WITH 1/2" STAND-OFF



PLAN VIEW



END VIEW



Client: Chick-Fil-A
Site #: CF-2926
Address: 701 North Milwaukee Avenue, #360
Vernon Hills, IL 60061
Vernon Hills FSU

REVISION INFO	DATE	DESCRIPTION	BY
	05/31/2012	Original Rendering	DH
	06/06/2012	Revised site plan, added menu board	DH
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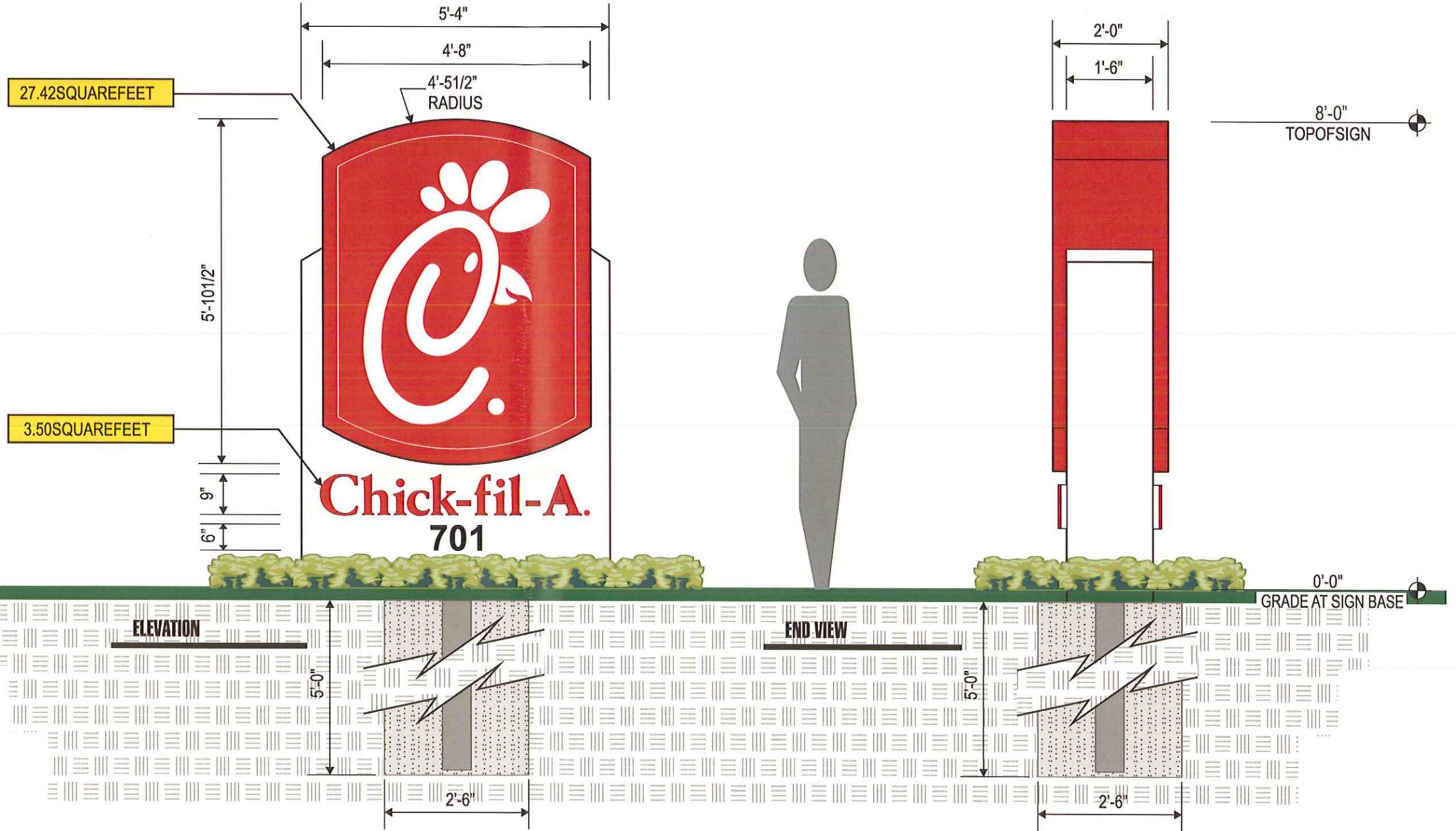
SPECIFICATIONS

CABINET
 ALUMINUM CABINET HAS STEEL FRAME WITH .090 ALUMINUM CLADDING, RETAINERS AND FILLER.
CHICK-FIL-A ICON
 ACRYLIC FACES DECORATED WITH TRANSLUCENT VINYL FILM ON SURFACE OF ACRYLIC FACES ARE BACKLIT BY HIGH OUTPUT FLUORESCENT LAMP SPACED EVENLY ON 12" CENTERS.
DECORATIVE SKIRT
 SKIRT HAS STEEL FRAME WITH .080 ALUMINUM CLADDING.
READER BOARD
 ALUMINUM CONSTRUCTION CABINET WITH ACRYLIC FACES BACKLIT BY HIGH OUTPUT FLUORESCENT LAMP SPACED EVENLY ON 12" CENTERS. TRACK ACCOMMODATES WAGNER ZIP LETTERS. LOCKING LEXAN DOOR.



ALUMINUM SURFACES
 GENESIS SINGLE STAGE (G2-SERIES)
 RED #48247
 FLEX FACES
 230-53 CARDINAL RED
 TRANSLUCENT VINYL FILM

ALUMINUM SURFACES
 SPRAY LAT MARK 1 (SATIN FINISH)
 ACRYLIC FACES
 7328 WHITE ACRYLIC



D Monument Sign Elevation



Client: Chick-Fil-A
 Site #: CF-2926
 Address: 701 North Milwaukee Avenue, #360
 Vernon Hills, IL 60061
 Vernon Hills FSU

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SPECIFICATIONS

CABINET

ALUMINUM CONSTRUCTION CABINET
.090 ALUMINUM CLADDING,
RETAINERS AND FILLER.

GRAPHICS

ACRYLIC FACES DECORATED
WITH TRANSLUCENT VINYL
FILM ON SURFACE OF ACRYLIC.
FACES ARE BACKLIT BY HIGH OUTPUT
FLUORESCENT LAMPS.

STEEL POLE

4" x 12" STEEL POLE

This Product is Listed by
UNDERWRITERS LABORATORIES, INC. 
and Bears the Mark:

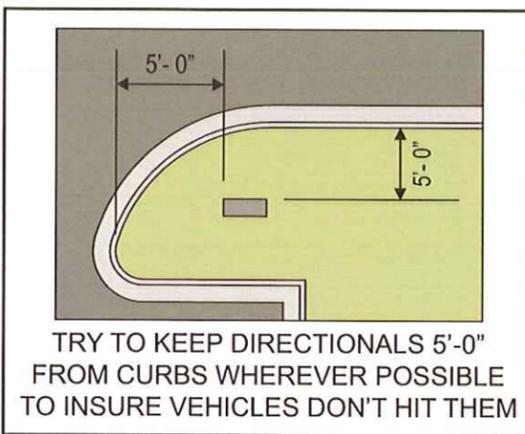


ALUMINUM SURFACES
GENESIS M SINGLE STAGE (G2-SERIES)
RED #482247

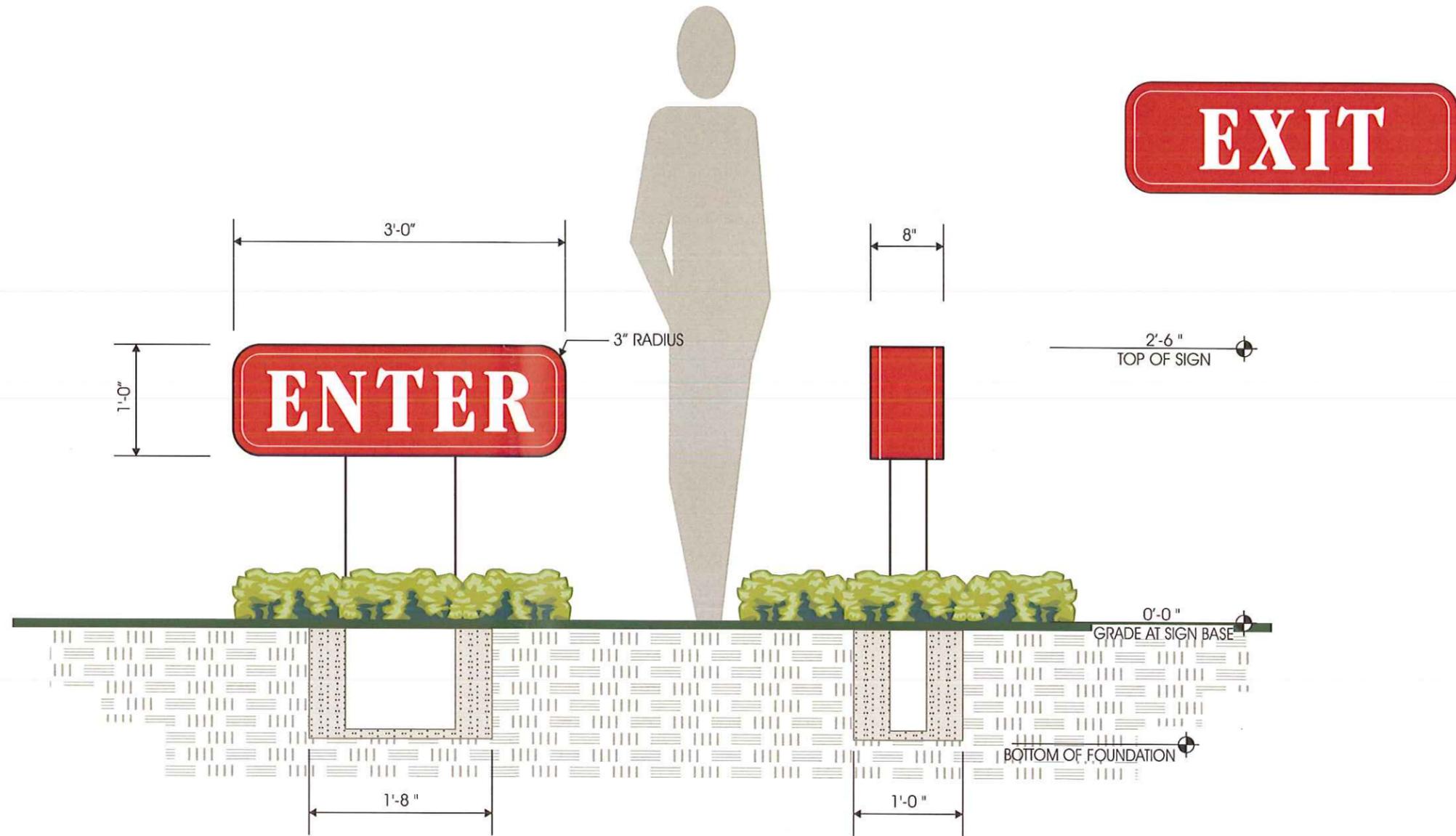
ACRYLIC FACES
230-53 CARDINAL RED
TRANSLUCENT VINYL FILM



ALUMINUM SURFACES
SPRAYLAT MARK 1 (SATIN WHITE)
ACRYLIC FACES
7328 WHITE ACRYLIC



E Directional Sign



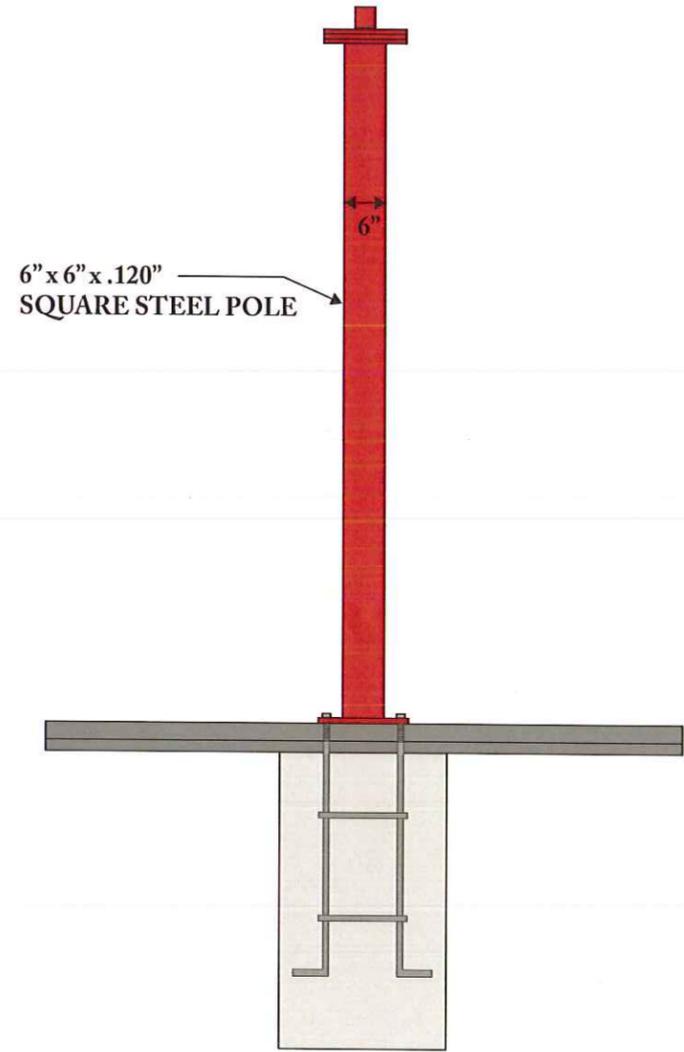
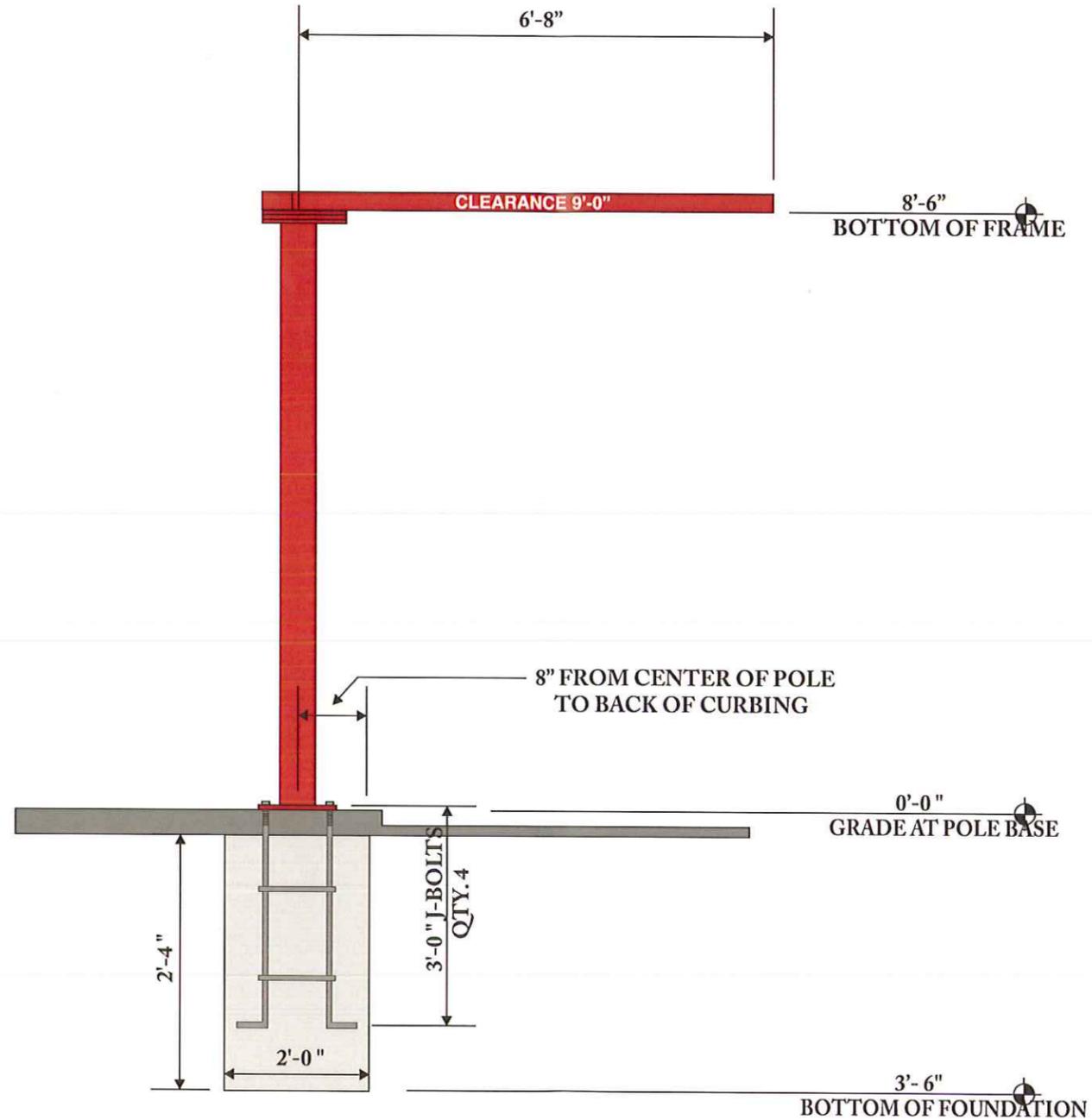
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Address: 701 North Milwaukee Avenue, #360
Vernon Hills, IL 60061
Vernon Hills FSU

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Specifications: Clearance Bar	
Support pole	Pole has 13" x 13" x 3/4" thick steel plate with four (4) 1" dia. Holes in each corner 2" from each end and four (4) anchor bolts
Metal Surfaces	<ul style="list-style-type: none"> Genesis M Single Stage (G-2 series) Red #48247
Graphics	<ul style="list-style-type: none"> White high performance Vinyl film graphics



Elevation

End view

F Clearance Bar



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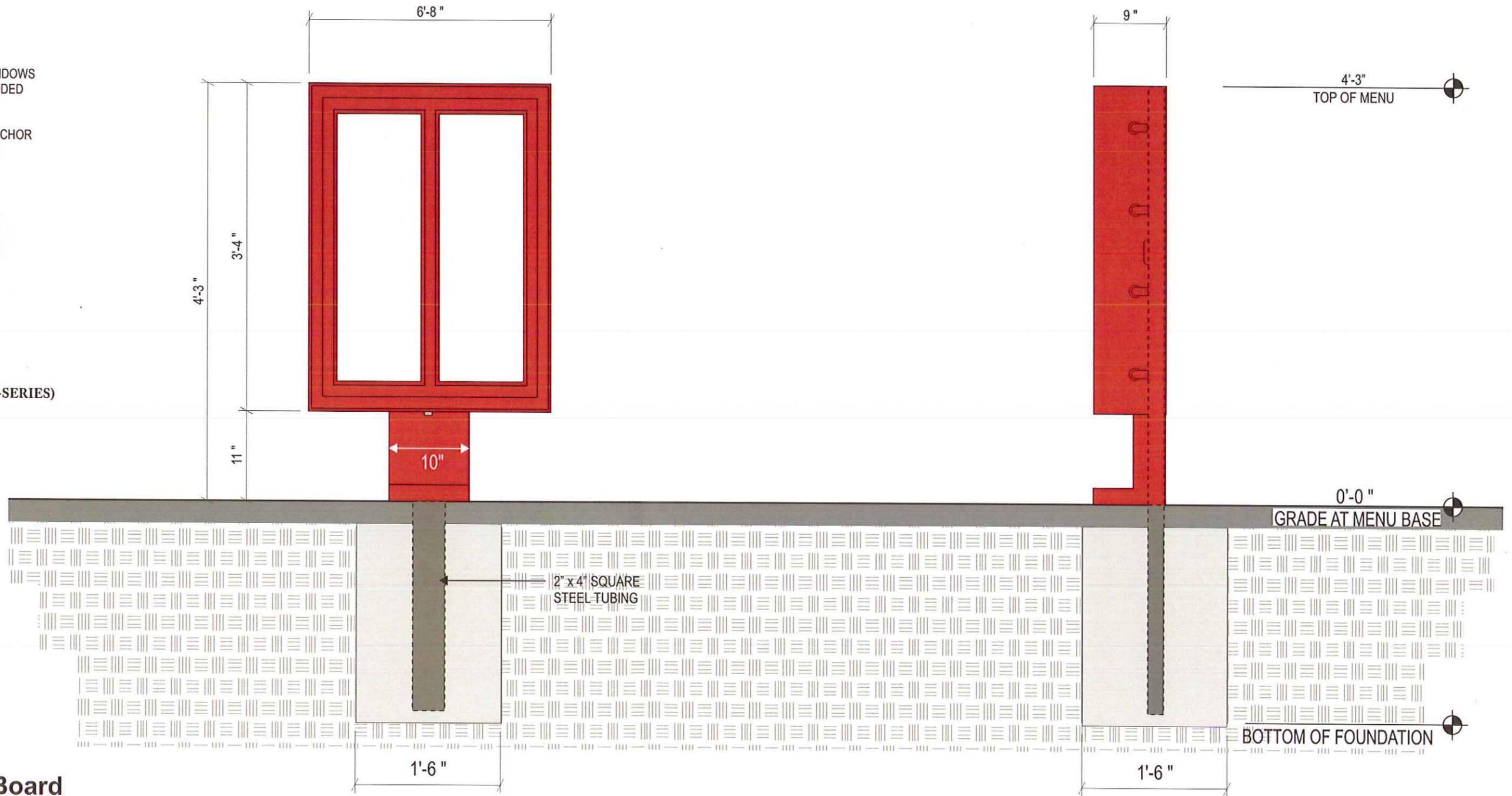


SPECIFICATIONS

CABINET
 ALUMINUM CONSTRUCTION CABINET
 WITH HINGED LEXAN COVERS
FACES
 FACES ARE ACRYLIC WITH CLEAR WINDOWS
 FOR COLOR TRANSPARENCIES PROVIDED
 BY OTHERS
FOUNDATION
 SIGN IS INSTALLED WITH FOUR (4) ANCHOR
 BOLTS INTO CONCRETE FOUNDATION



METAL SURFACES
 GENESIS M SINGLE STAGE (G2-SERIES)
 RED #482247



G Pre-Menu Board

SCALE - 3/4" = 1'-0"

SCALE - 3/4" = 1'-0"



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 Vernon Hills, IL 60061
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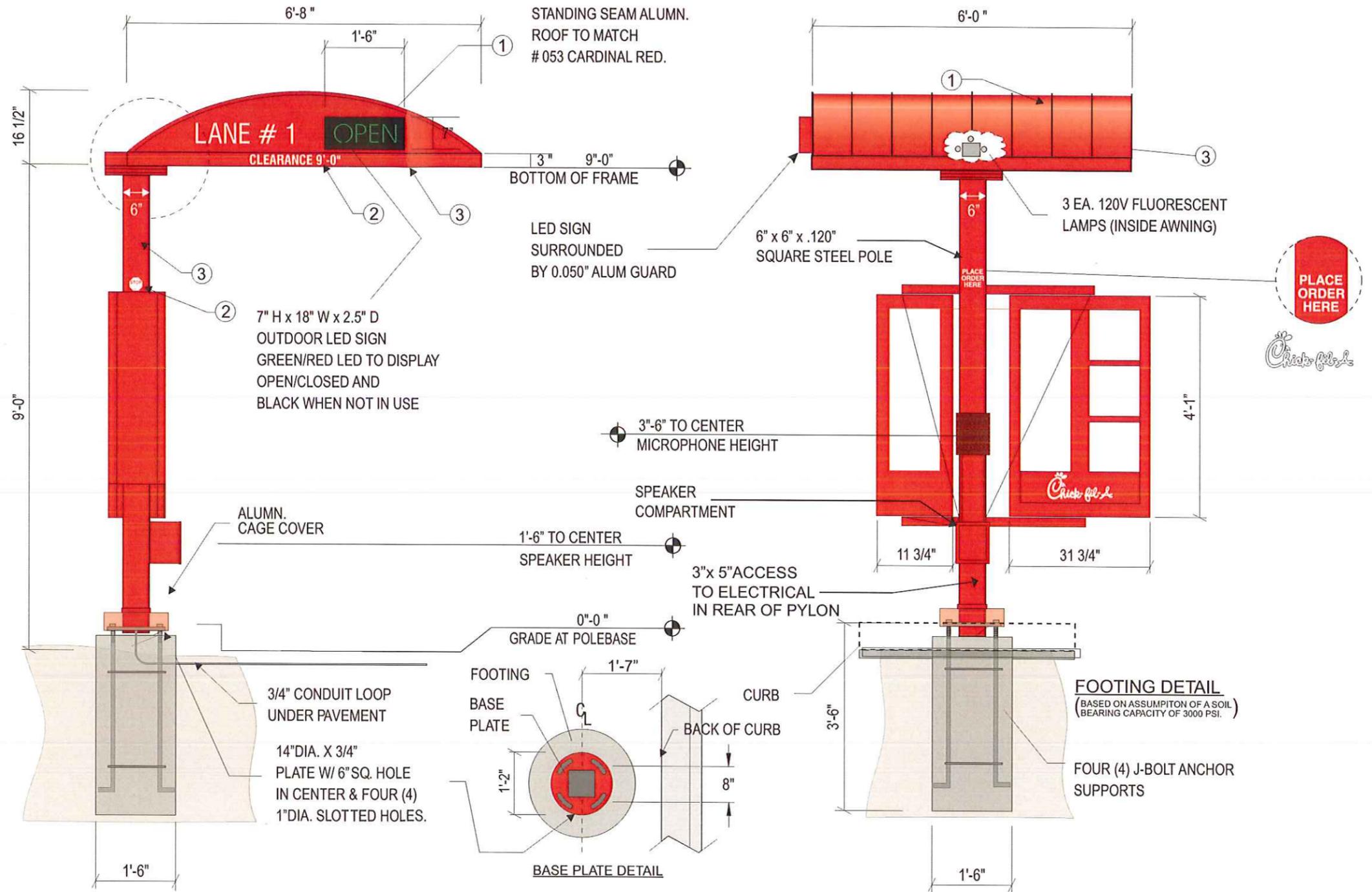
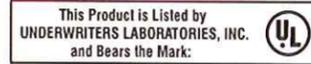


CANOPY SYSTEM #CP-2100

COLOR PLACEMENT :

1. Standing seam Kynar finish to match# Cardinal Red
2. 3M HP vinyl# Gloss White
3. To match # 053 Cardinal Red

All paint : Akzo-Nobel #Grip Guard
Acrylic polyurethane



H1 Speaker Canopy



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SPECIFICATIONS

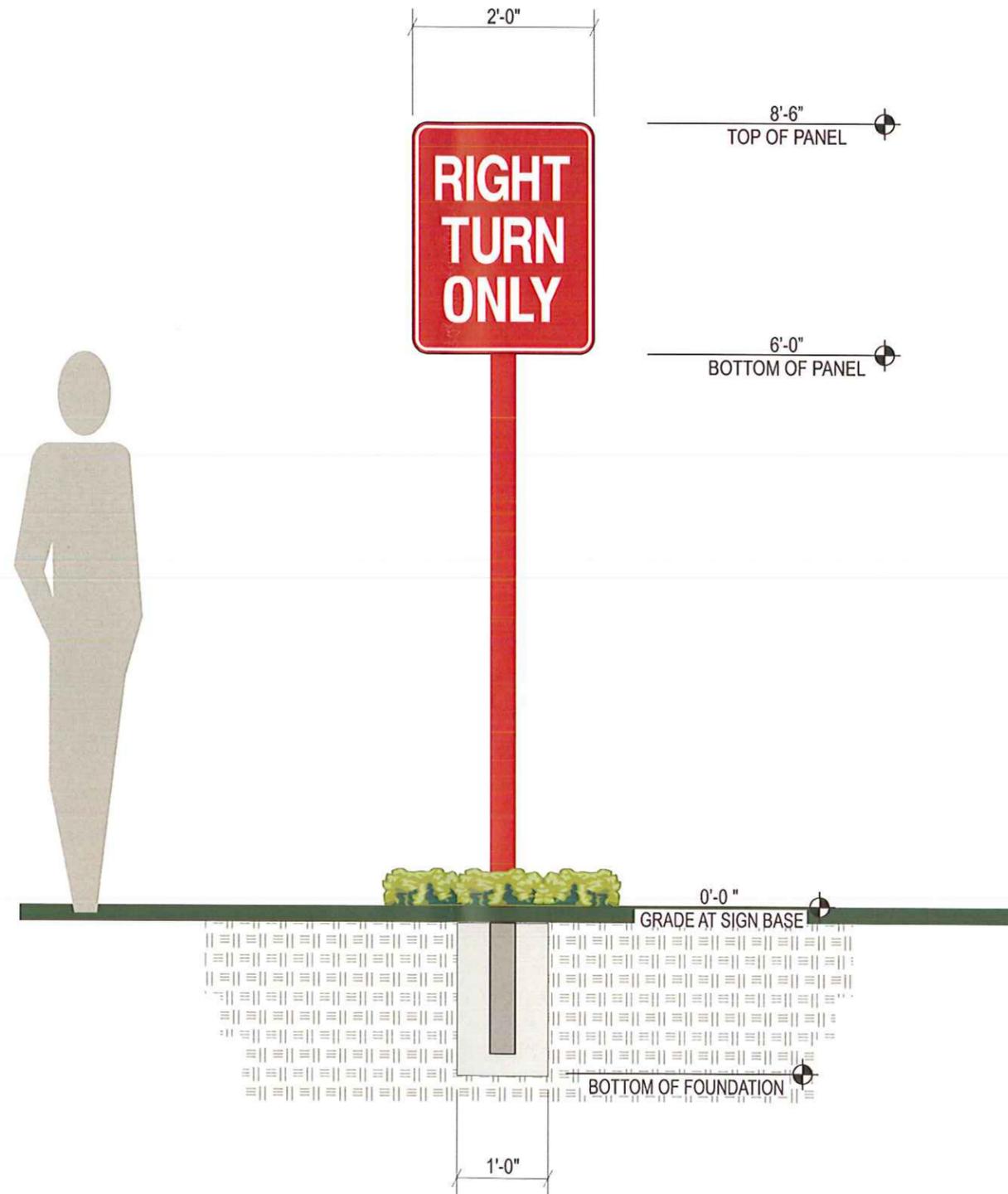
SIGN PANELS
 PANELS ARE .080 ALUMINUM
 WITH REFLECTIVE BACKGROUND
 AND GRAPHICS.
SIGN POSTS
 POSTS ARE 3" x 3" SQUARE
 ALUMINUM TUBING CAPPED ON TOP



SIGN PANEL
 RED REFLECTIVE
 SIGN POST
 GENESIS M SINGLE STAGE (G-2 SERIES)
 RED #48247



SIGN PANEL
 WHITE REFLECTIVE



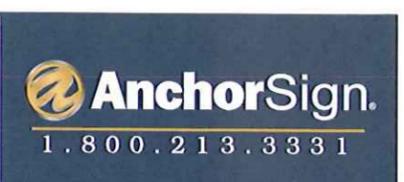
DOT Signage - Right Turn Only
 SCALE - 1/2" = 1'-0"



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 Vernon Hills FSU

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Specifications: D.O.T. Stop

SIGN PANELS

PANELS ARE .080 ALUMINUM WITH REFLECTIVE BACKGROUND AND GRAPHICS.

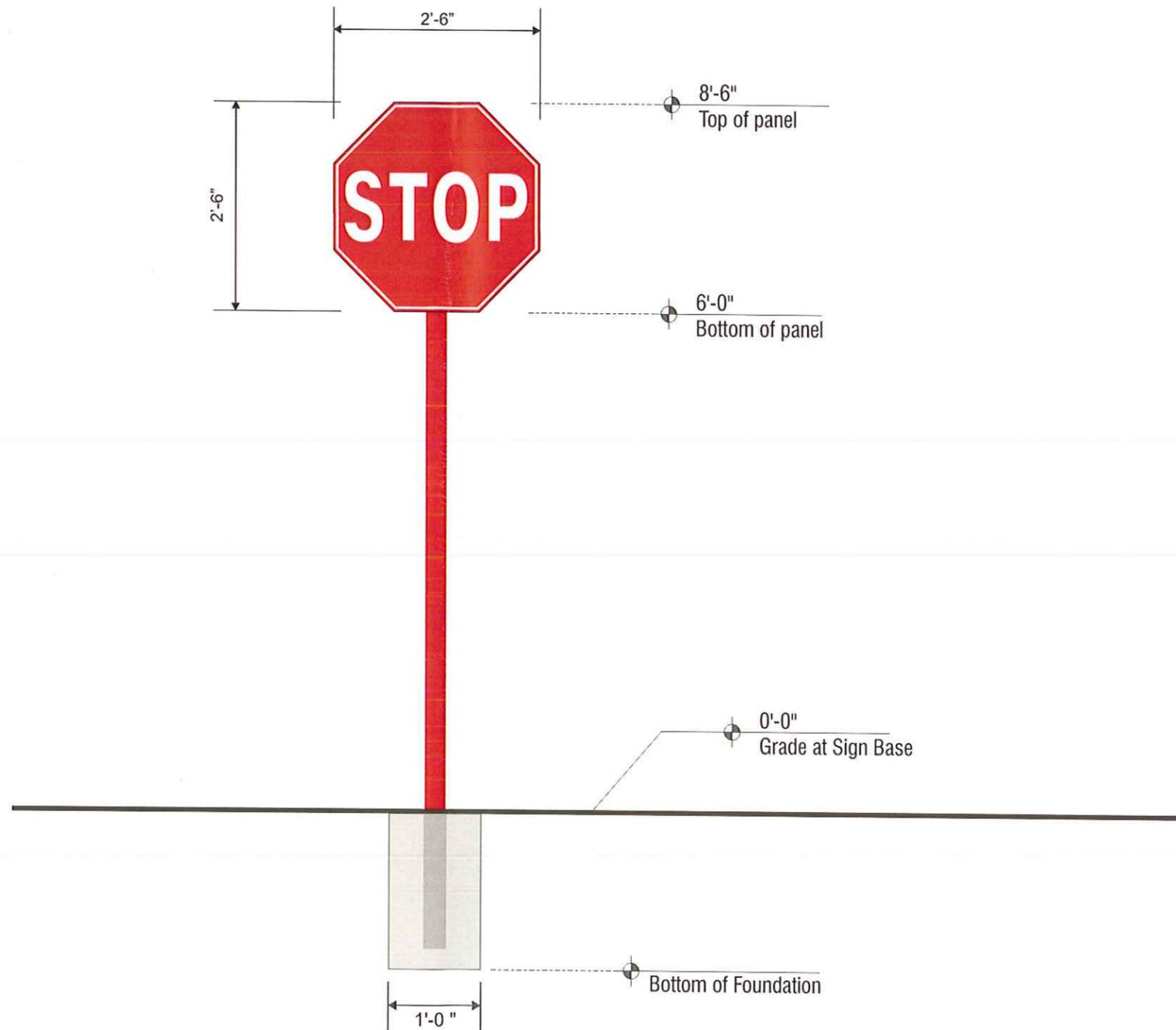
SIGN POSTS

POSTS ARE 3" x 3" SQUARE ALUMINUM TUBING CAPPED ON TOP

- Genesis M Single Stage (G-2 series) Red #48247

SIGN PANEL

- RED REFLECTIVE
- WHITE REFLECTIVE



J DOT Signage - Stop Sign



Client: Chick-Fil-A
 Site #: CF-2926
 Address: 701 North Milwaukee Avenue, #360
 Vernon Hills, IL 60061
 Vernon Hills FSU

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Specifications: D.O.T. Stop

SIGN PANELS

PANELS ARE .080 ALUMINUM WITH REFLECTIVE BACKGROUND AND GRAPHICS.

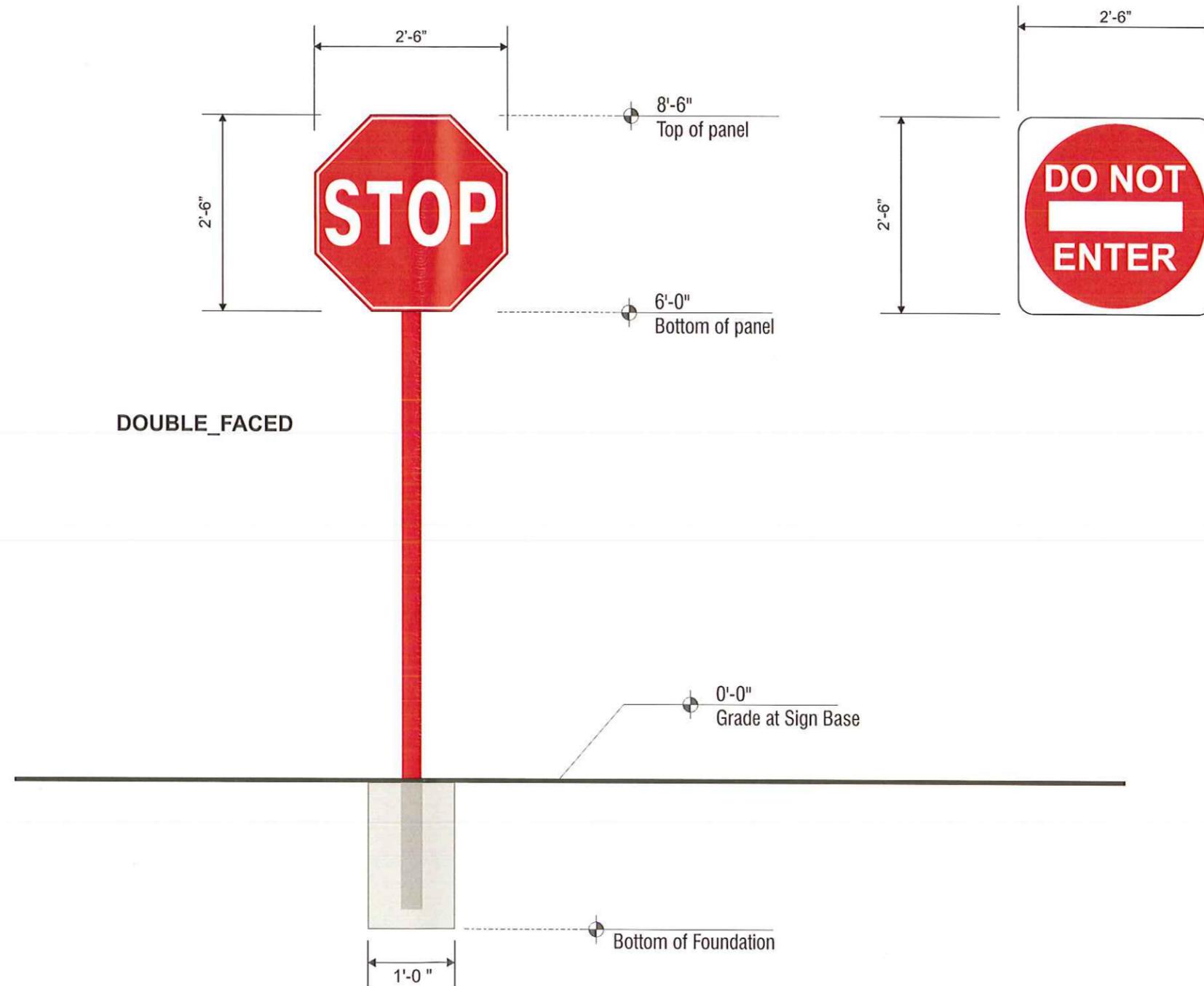
SIGN POSTS

POSTS ARE 3" x 3" SQUARE ALUMINUM TUBING CAPPED ON TOP

- Genesis M Single Stage (G-2 series) Red #48247

SIGN PANEL

- RED REFLECTIVE
- WHITE REFLECTIVE



K DOT Signage - Stop/Do Not Enter



Client: Chick-Fil-A
 Site #: CF-2926
 Address: 701 North Milwaukee Avenue, #360
 Vernon Hills, IL 60061
 Vernon Hills FSU

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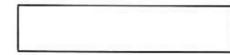
SPECIFICATIONS

SIGN PANELS

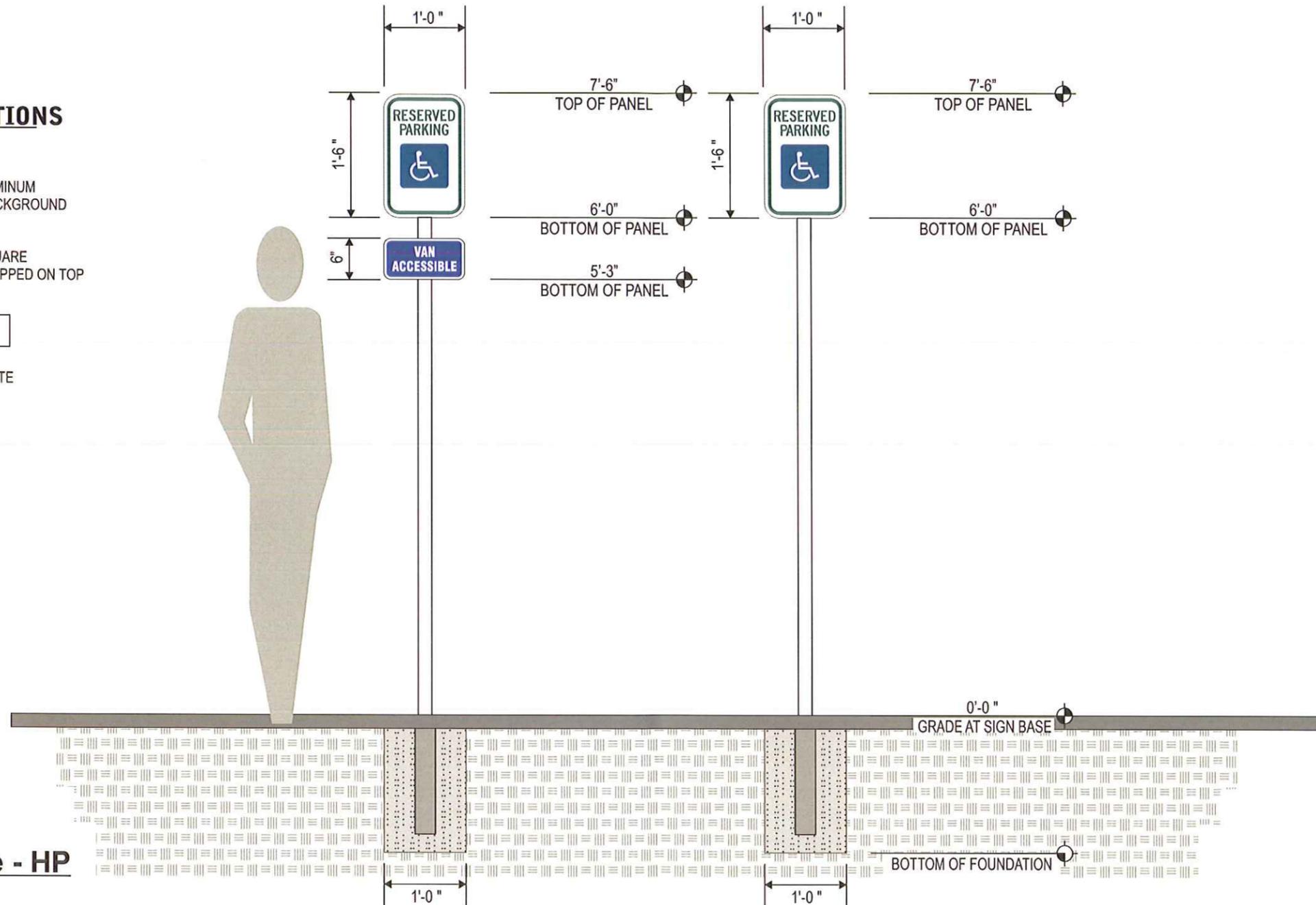
PANELS ARE .080 ALUMINUM WITH REFLECTIVE BACKGROUND AND GRAPHICS.

SIGN POSTS

POSTS ARE 2" x 2" SQUARE ALUMINUM TUBING CAPPED ON TOP



SIGN POST WHITE
SIGN PANEL PER STATE SPECIFICATIONS



DOT Signage - HP



Client: Chick-Fil-A
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Vernon Hills, IL 60061
Vernon Hills FSU

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SPECIFICATIONS

SIGN PANELS

PANELS ARE .080 ALUMINUM WITH REFLECTIVE BACKGROUND AND GRAPHICS.

SIGN POSTS

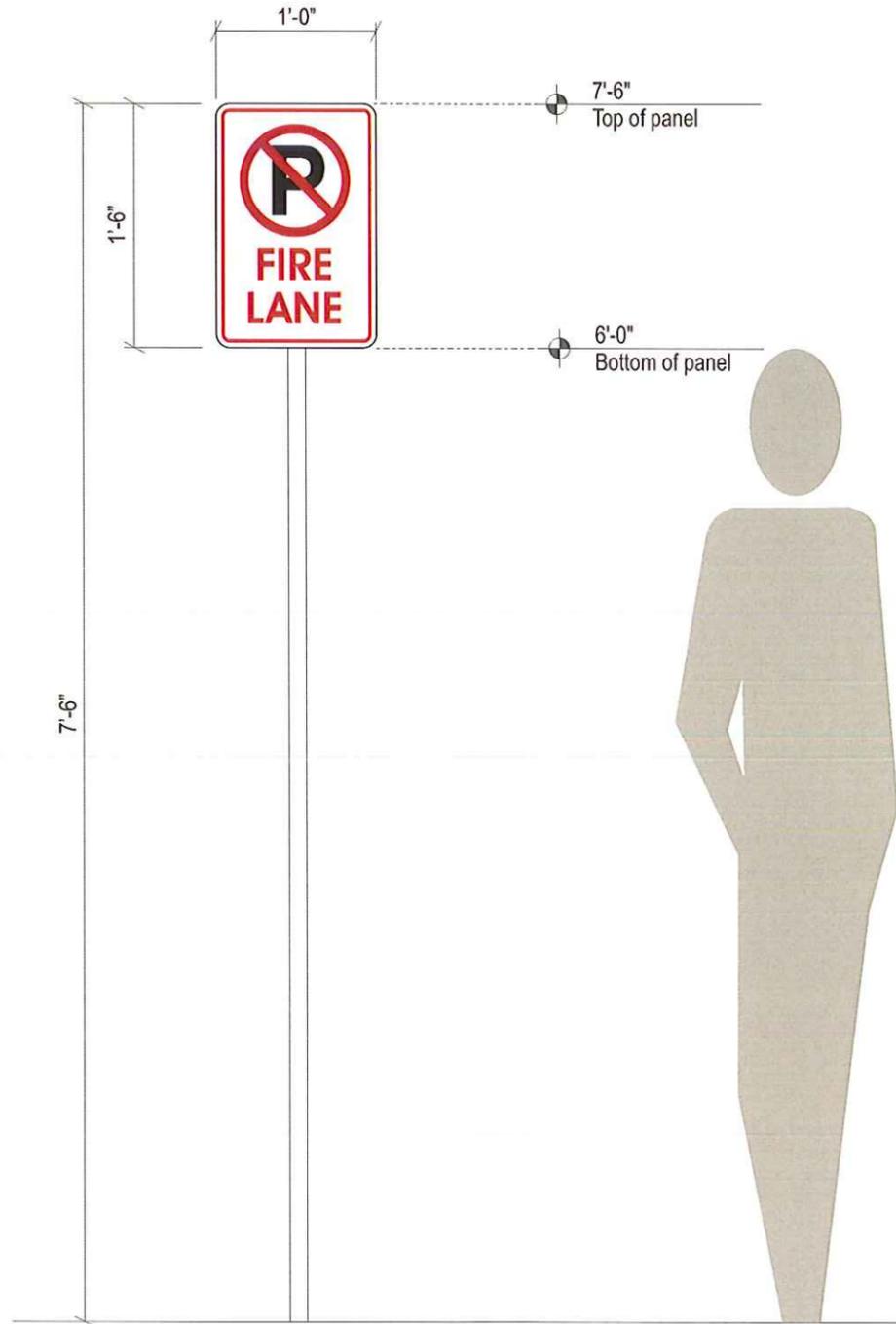
POSTS ARE 3" x 3" SQUARE ALUMINUM TUBING CAPPED ON TOP



SIGN PANEL
RED REFLECTIVE
SIGN POST
GENESIS M SINGLE STAGE (G-2 SERIES)
RED #48247



SIGN PANEL
WHITE REFLECTIVE



M DOT Signage - Fire Lane
SCALE - 3/4" = 1'-0"

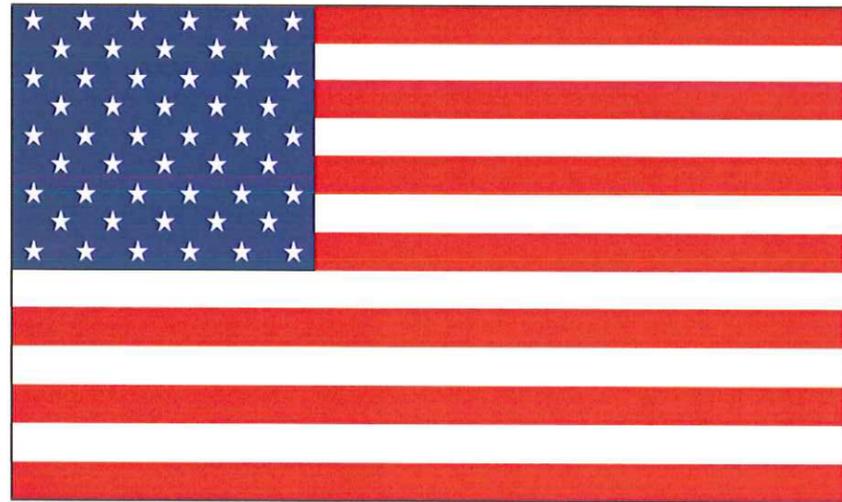


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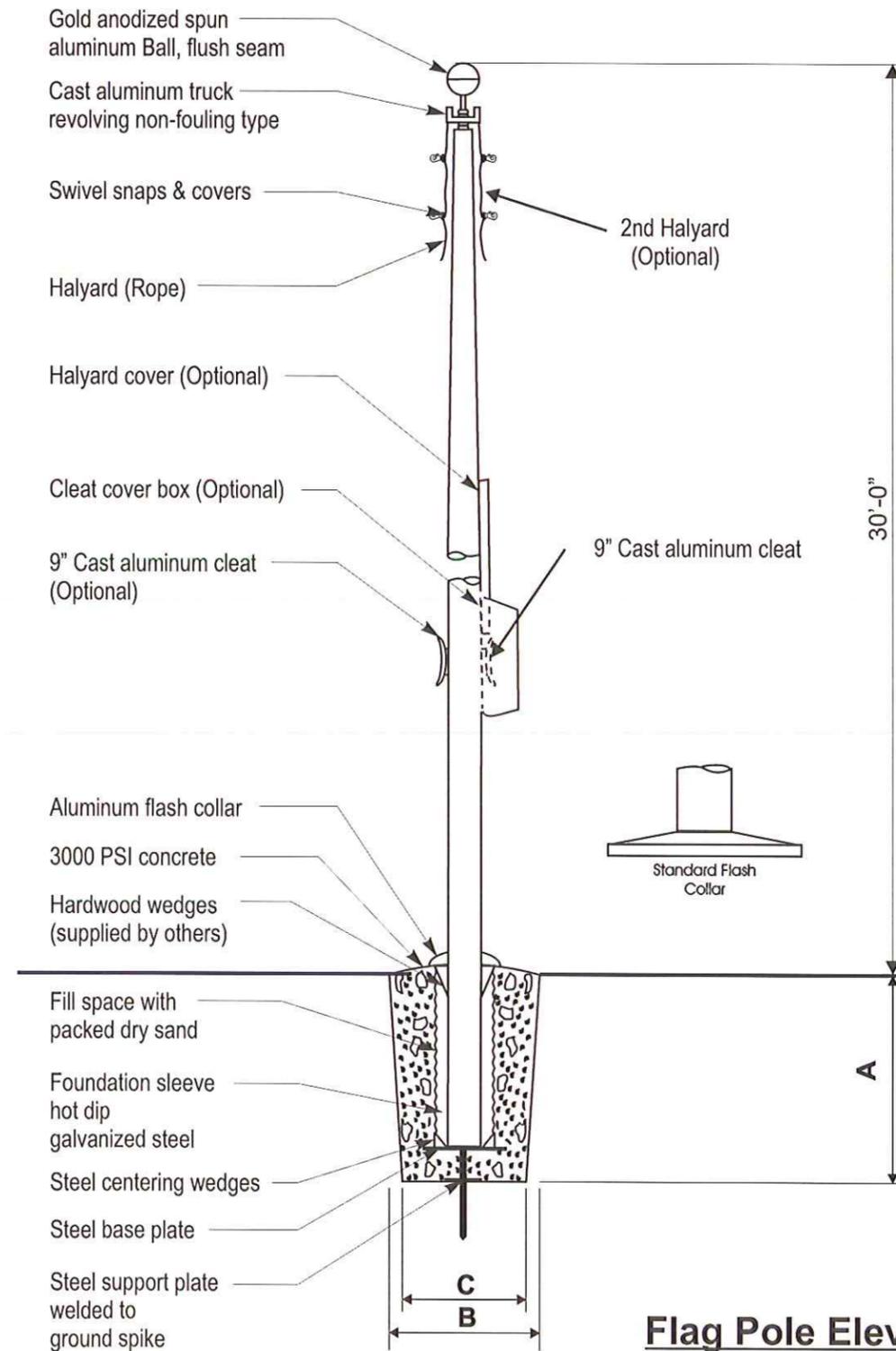
Flag

HEIGHT	A	B	C
20'	3'-6"	30"	24"
25'	3'-6"	30"	24"
30'	3'-6"	30"	24"
35'	4'-0"	36"	30"
40'	4'-6"	42"	36"
45'	5'-0"	48"	42"
50'	5'-6"	48"	42"

Size Chart

Ground sleeve and concrete installed by the general contractor

Pole installed on pre-installed ground sleeve by sign contractor



Flag Pole Elevation



Flag Pole

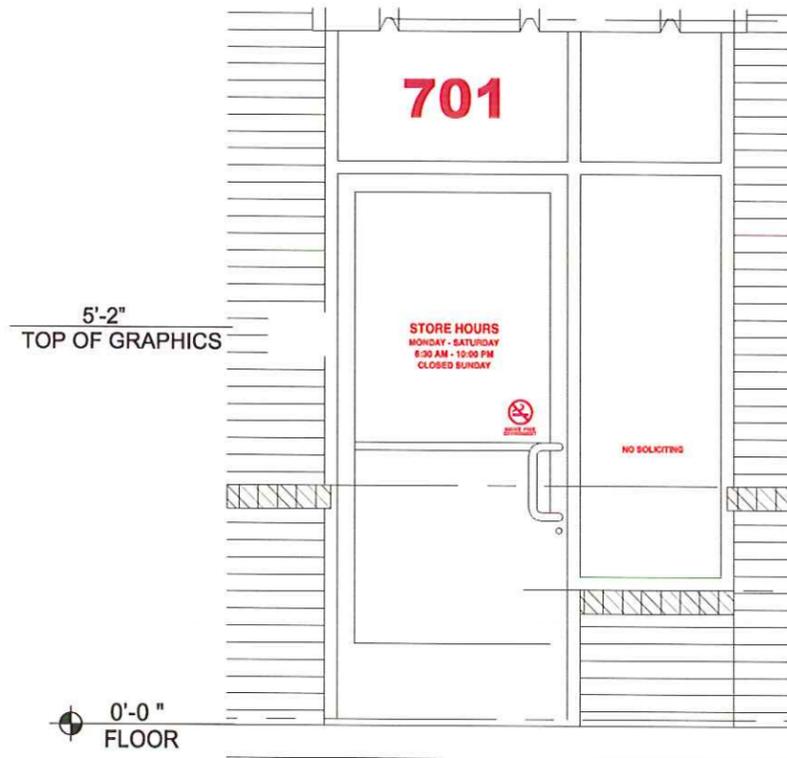


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STORE HOURS
MONDAY - SATURDAY
6:30 AM - 10:00 PM
CLOSED SUNDAY

1½" tall red letters
 high performance vinyl film

1" tall red letters
 high performance vinyl film

NO SOLICITING

1" tall "NO SOLICITING" red letters
 high performance vinyl film

701

8" tall address numbers
 red reflective vinyl film



5½"

Red high performance vinyl film



P-1 Window Vinyl



Client: Chick-Fil-A
 Site #: CF-2926
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 Vernon Hills, IL 60061
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STORE HOURS
MONDAY - SATURDAY
6:30 AM - 10:00 PM
CLOSED SUNDAY

NO SOLICITING

1½" tall red letters
high performance vinyl film

1" tall red letters
high performance vinyl film

1" tall "NO SOLICITING" red letters
high performance vinyl film

701

8" tall address numbers
red reflective vinyl film

5½"

SMOKE FREE ENVIRONMENT

Red high performance vinyl film



P-2 Window Vinyl

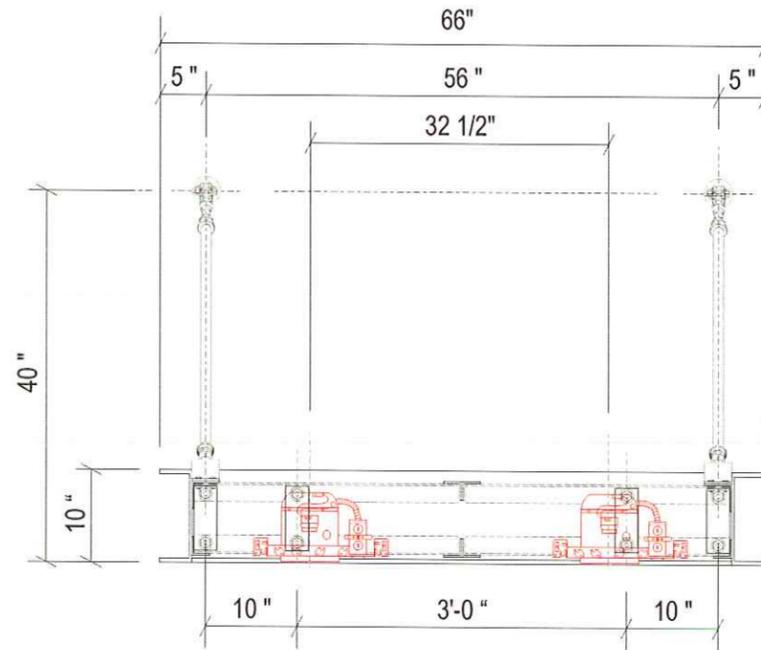


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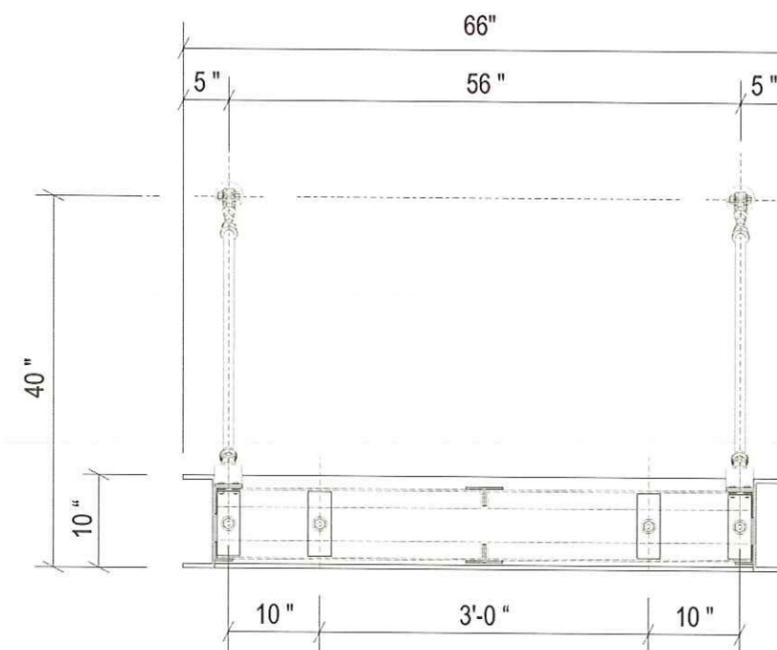
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 1.800.213.3331



A1 Typical Canopy - Front View
Solid Deck Scale: 1/2" = 1'-0"



A2 Typical Canopy - Front View
Louvered Scale: 1/2" = 1'-0"



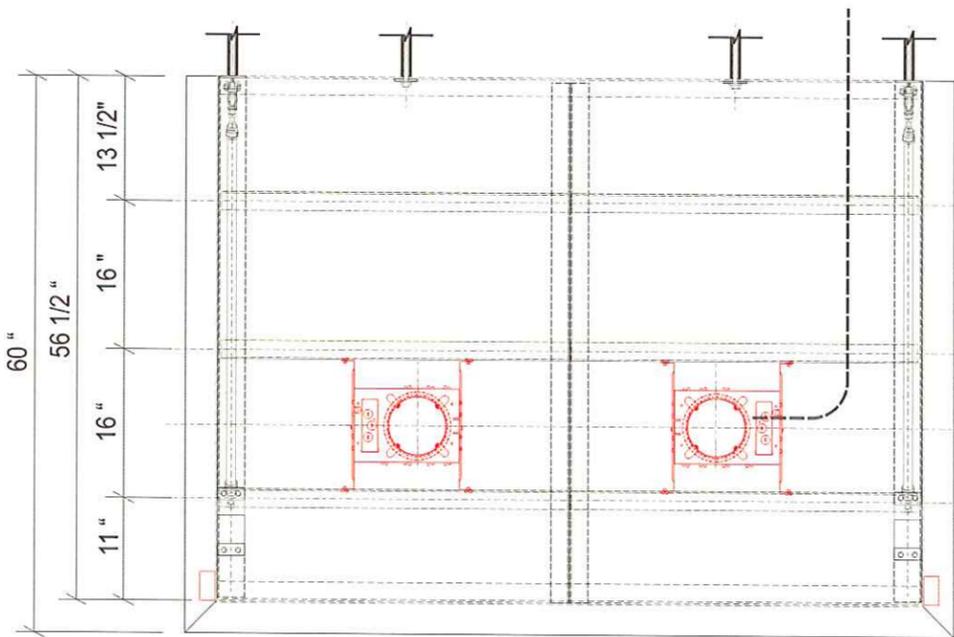
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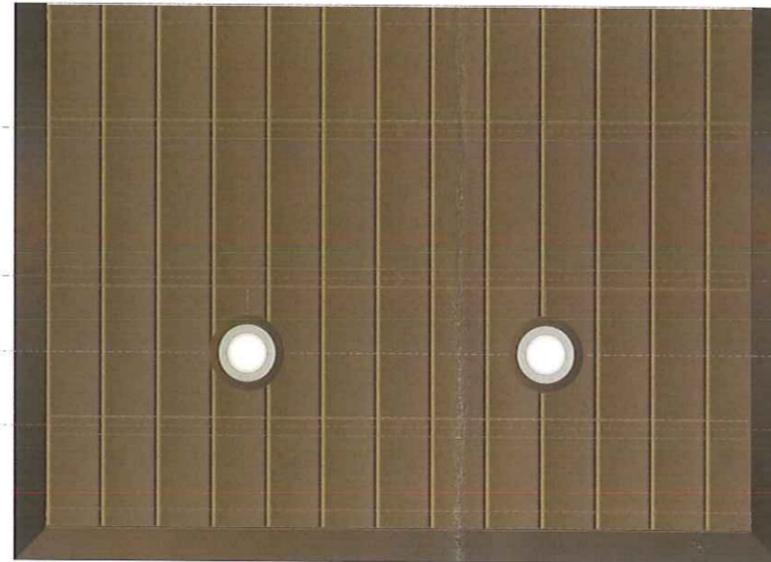
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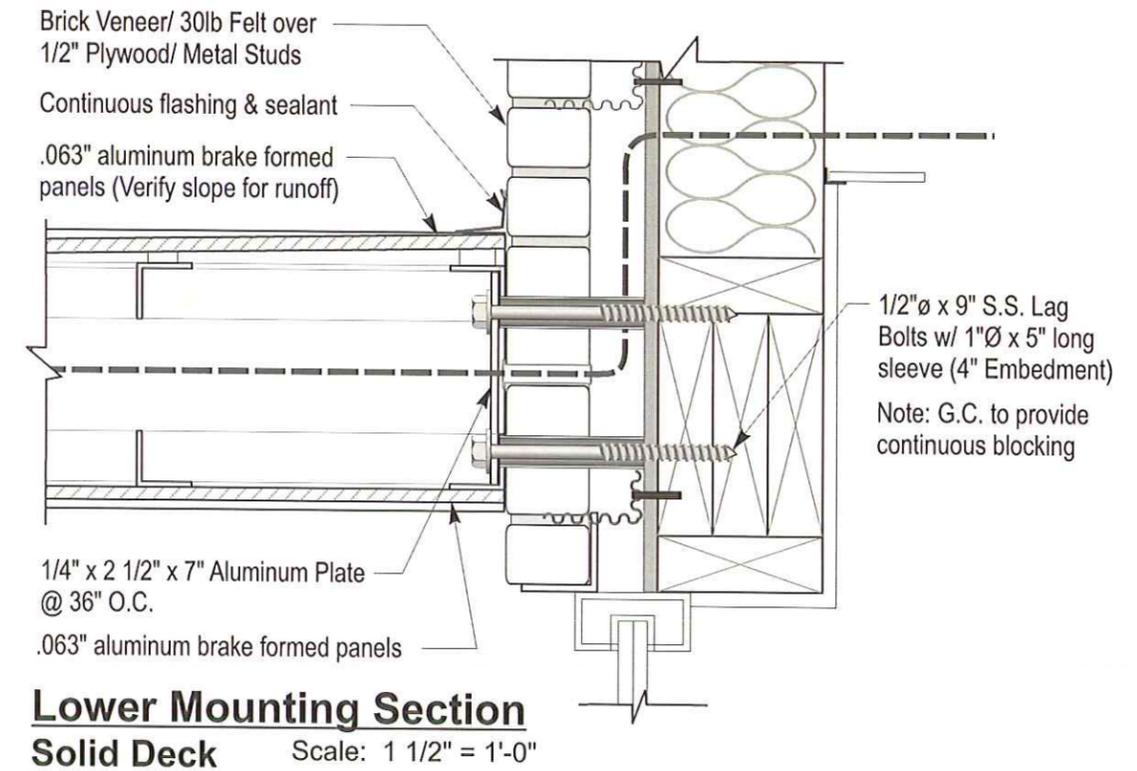
1.800.213.3331



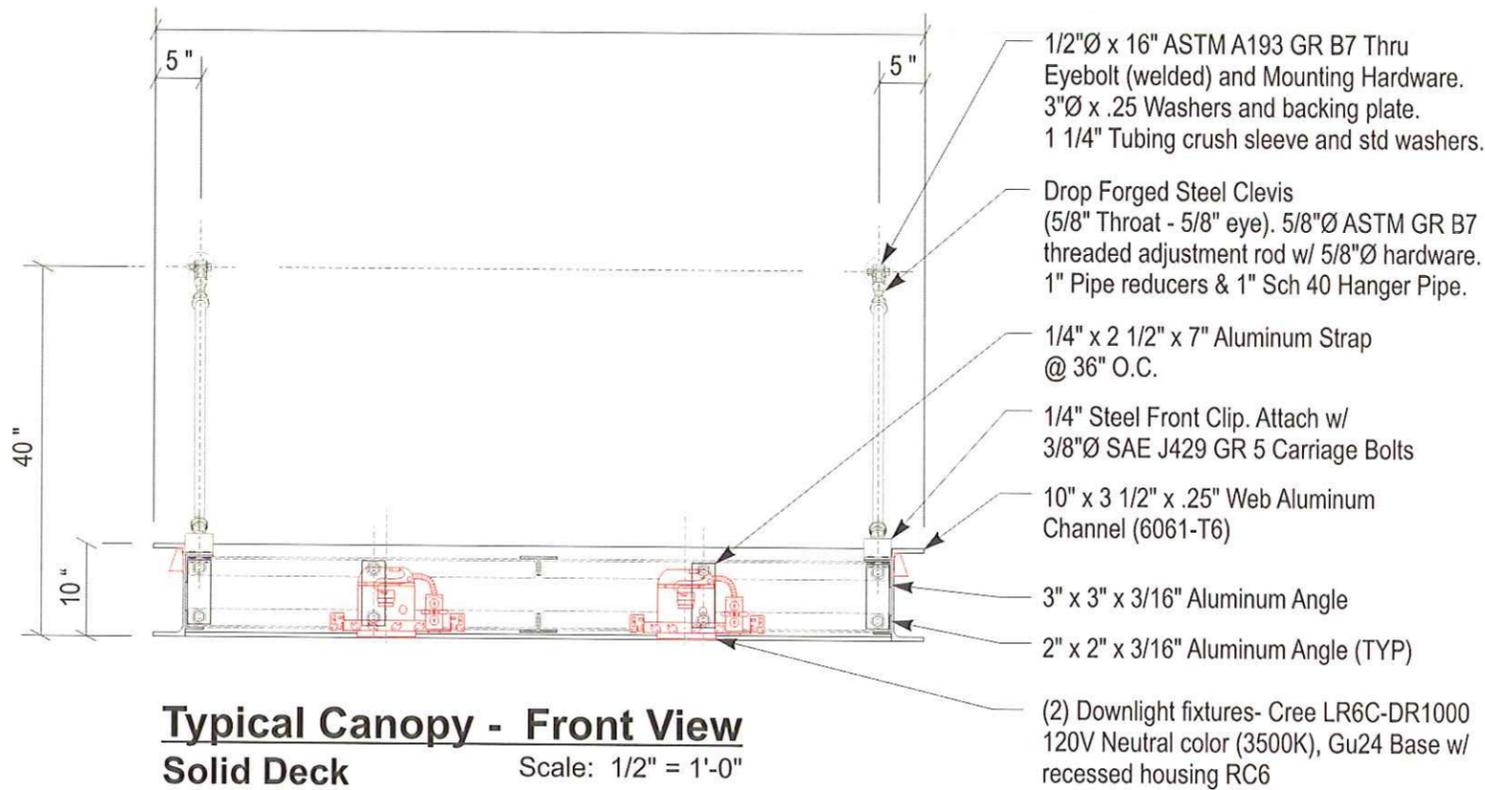
Typical Canopy - Plan View
Solid Deck Scale: 1/2" = 1'-0"



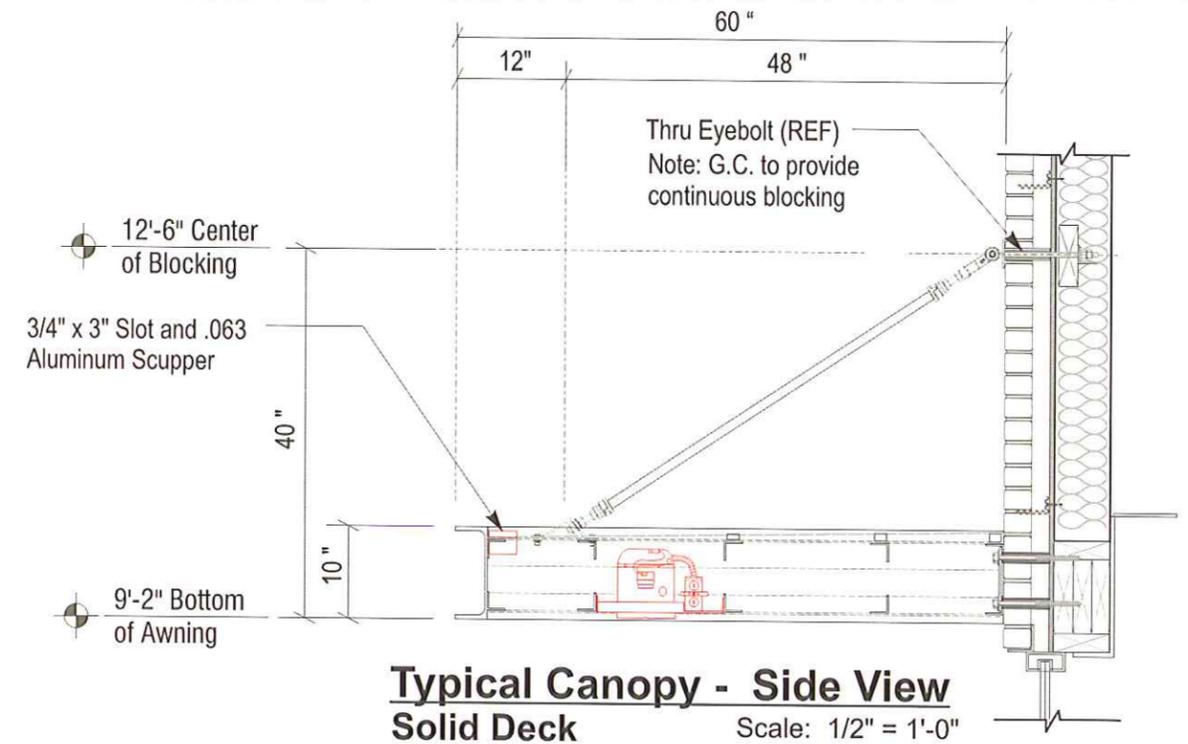
Reflected Plan View
Solid Deck Scale: 1/2" = 1'-0"



Lower Mounting Section
Solid Deck Scale: 1 1/2" = 1'-0"



Typical Canopy - Front View
Solid Deck Scale: 1/2" = 1'-0"



Typical Canopy - Side View
Solid Deck Scale: 1/2" = 1'-0"



Client: Chick-Fil-A
Site #: CF-2926
Address: 701 North Milwaukee Avenue, #360
Vernon Hills, IL 60061
Vernon Hills FSU

REVISION INFO

05/31/2012	Original Rendering
06/06/2012	Revised site plan, added menu board
07/26/2012	Update to site plan and elevations
07/27/2012	Added additional sign
08/01/2012	Added pre-menu board and revised site plan
08/23/2012	Added additional signs and revised site plan

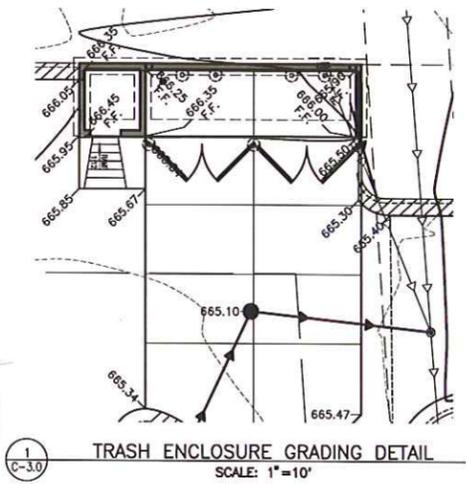
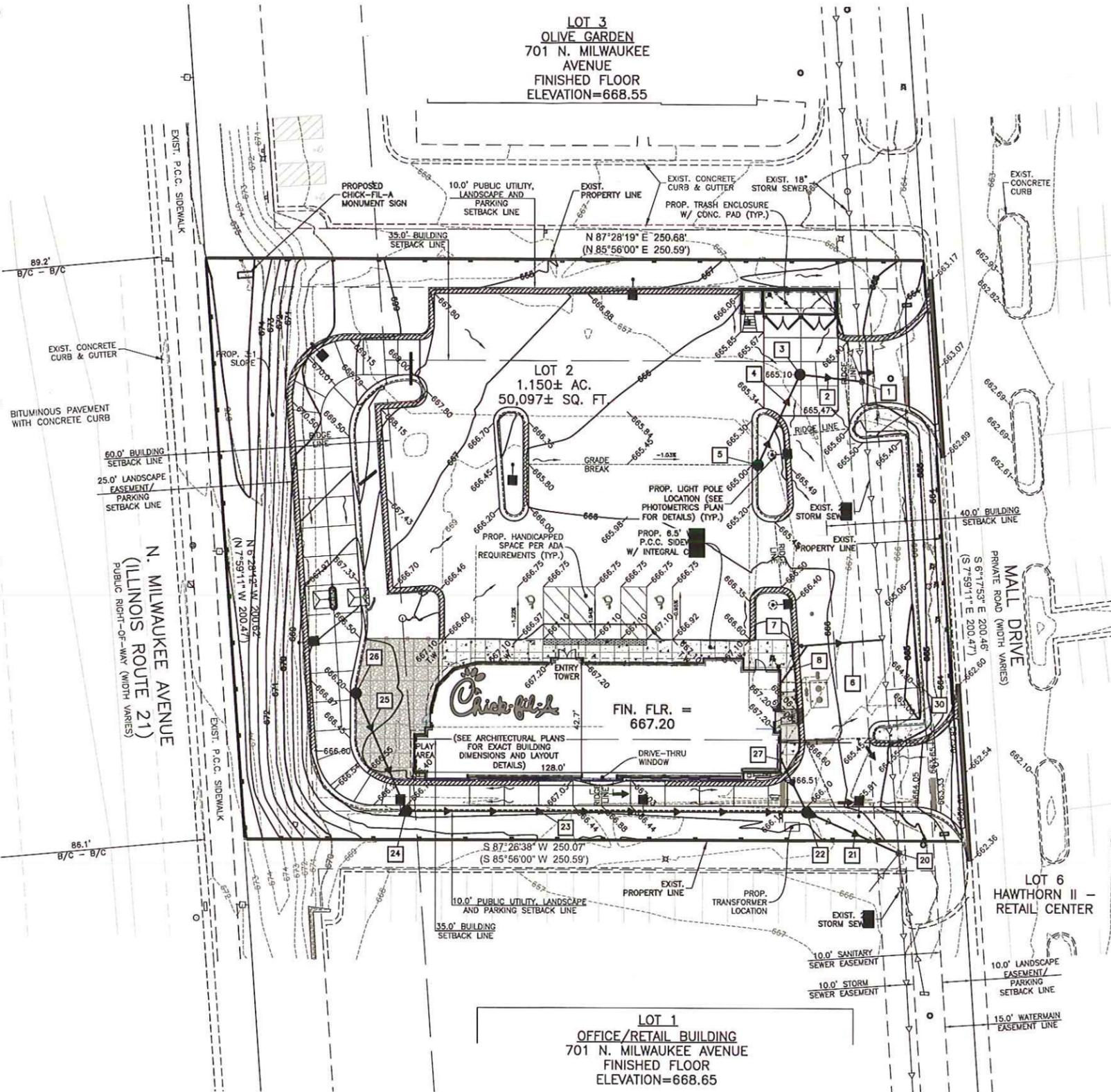
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GRADING & DRAINAGE NOTES

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR DRIVEWAYS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAYMENT SHALL BE SAU CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE ALONG ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% LONGITUDINAL GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- SEE EROSION CONTROL PLAN FOR EROSION CONTROL MEASURES AND NOTES.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. NO ON SITE BURNING WILL BE ALLOWED.
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- NO PART OF THE PROPOSED PROJECT IS LOCATED WITHIN A FLOOD HAZARD AREA.
- SPOT ELEVATIONS SHOWN ARE @ EDGE OF PAVEMENT UNLESS OTHERWISE NOTED ON PLAN.
- ALL CONCRETE CURB & GUTTER SHALL BE TYPE B-6.18 CURB UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL STORM SEWER JOINTS SHALL HAVE O-RING GASKETS.
- ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES OR OTHER STRUCTURES SHALL BE CONNECTED THROUGH THE USE OF RUBBER BOOTS.
- ELEVATIONS AND CONTOURS ARE VILLAGE OF VERNON HILLS VILLAGE PER NAVD DATUM.
- EXCAVATION SHALL BE IN ACCORDANCE WITH GEO TECHNICAL REPORT PREPARED FOR THIS PROJECT.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- BACKFILL TO THE TOP OF CURBS.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS
- ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 2%.
- DESIGNATED HANDICAP PARKING AREAS SHALL BE GRADED TO A MAXIMUM OF 2%
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING OF PAVEMENT.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAIL ROADS TO PREVENT THE SPREAD OF DUST.



STORM SEWER TAGS:

- EXISTING STORM MANHOLE
RIM=665.58 (OPEN) - ADJUSTMENT
RIM=665.10 - PROPOSED
INV=660.52 N 18" RCP
INV=660.33 S 24" RCP
INV=662.16 NW 12" RCP (TO BE REMOVED)
INV=661.00 SW 12" RCP PROPOSED COPE
- 19 LIN FT SS CL-A TY-2, 15"
@ 1.05%
- CB TC 2' DIA TIF OL (R-2504 OR EQUAL)
RIM = 665.10
INV = 661.30 SW 12" RCP
INV = 661.20 E 15" RCP
- 32 LIN FT SS CL-A TY-2, 12"
@ 0.63%
- CB TC 2' DIA R-3246 F&G
T/C = 665.33 (EP = 665.00)
INV = 661.50 NE 12" RCP
- 28 LIN FT SS PVC DR 35, 6"
@ 1.05% MIN. (INV @ MAIN = 661.50)
- CLEAN OUT (SEE DETAIL)
RIM = 667.10
INV = +/- 662.05
- 12 LIN FT SS PVC DR 35, 6"
@ 1.05% MIN. (INV @ BLDG. = 662.20)
- EXISTING STORM MANHOLE
RIM=666.10 (CLOSED)
INV=659.60 N 24" RCP
INV=659.60 S 24" RCP
INV=662.05 NW 12" RCP (TO BE REMOVED)
INV=661.50 NW 12" RCP PROPOSED COPE
INV=662.00 SE 10" RCP
- 32 LIN FT SS CL-A TY-2, 12"
@ 1.05%
- CB TA 4' DIA. TIF OL (R-2504 OR EQUAL)
T/C = 666.43 (EP = 666.10)
INV = 662.00 NW 6" PVC (DOWNSPOUT)
INV = 661.70 W 12" RCP
INV = 661.70 SE 12" RCP
- 136 LIN FT SS CL-A TY-2, 12"
@ 0.59%
- CB TC 2' DIA R-3246 F&G
T/C = 666.43 (EP = 666.10)
INV = 662.50 NW 12" RCP
INV = 662.50 E 12" RCP
- 42 LIN FT SS CL-A TY-2, 12"
@ 0.83%
- CB TC 2' DIA R-3246 F&G
T/C = 666.53 (EP = 666.20)
INV = 662.85 SW 12" RCP
- 18 LIN FT SS PVC DR 35, 6"
@ 1.05% MIN. (INV @ BLDG. = 662.20)
- EXISTING STORM INLET (FIELD VERIFY)
RIM=665.33 - EXISTING
T/C = 665.13 (EP = 664.80) - PROPOSED
INV = 662.07 W 10" RCP - EXISTING

LEGEND:

- [Symbol] DENOTES AREA OF DEPRESSED SIDEWALK
- [Symbol] DENOTES AREA OF DEPRESSED CURB WITH LENGTH NOTED ON PLANS.
- [Symbol] DENOTES AREA OF REVERSE (SPILLING) CONCRETE CURB AND GUTTER.
- XXXXX DENOTES EXISTING AND OR PROPOSED SPOT ELEVATIONS.
- [Symbol] DENOTES PROPOSED DRAINAGE DIRECTION ARROW.
- [Symbol] DENOTES PROPOSED OVERFLOW DIRECTION ARROW.

SITE BENCHMARKS:

NORTH AMERICAN VERTICAL DATUM OF 1988

SOURCE BENCHMARK:
NGS MONUMENT DESIGNATION IS LAK21 1B. THE STATION IS LOCATED 37 FEET WEST FROM THE BACK OF CURB OF ILLINOIS ROUTE 21, 218 FEET SOUTH OF A SANITARY MANHOLE, 121.5 FEET NORTHWEST OF A SANITARY MANHOLE, 29 FEET SOUTHWEST OF A TCI CABLE BOX, AND 3.5 FEET WEST OF CONCRETE SIDEWALK.
ELEVATION = 668.03 (NAVD 88)

SITE BENCHMARK #1:
ARROW BOLT ON FIRE HYDRANT LOCATED ON THE EAST SIDE OF OF SUBJECT PROPERTY.
ELEVATION = 667.37 (NAVD 88)

SITE BENCHMARK #2:
CUT SQUARE ON SOUTH SIDE OF CONCRETE LIGHT POLE BASE LOCATED AT THE NORTHEAST CORNER OF SUBJECT PROPERTY.
ELEVATION = 666.09 FEET (NAVD 88)

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REVISIONS

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1	11/09/24/12	DWS	TECHNICAL REVIEW #1-RESUBMITTAL

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SHEET TITLE
**GRADING
PLAN**

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Job No. : 86100160
Store : #2926
Date : 07/13/12
Drawn By :
Checked By :
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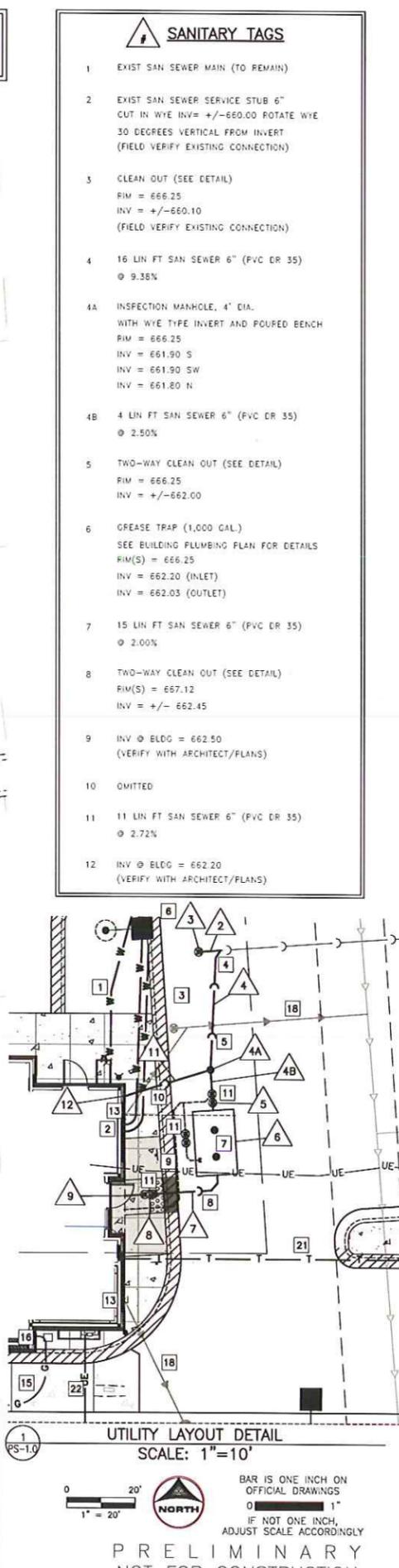
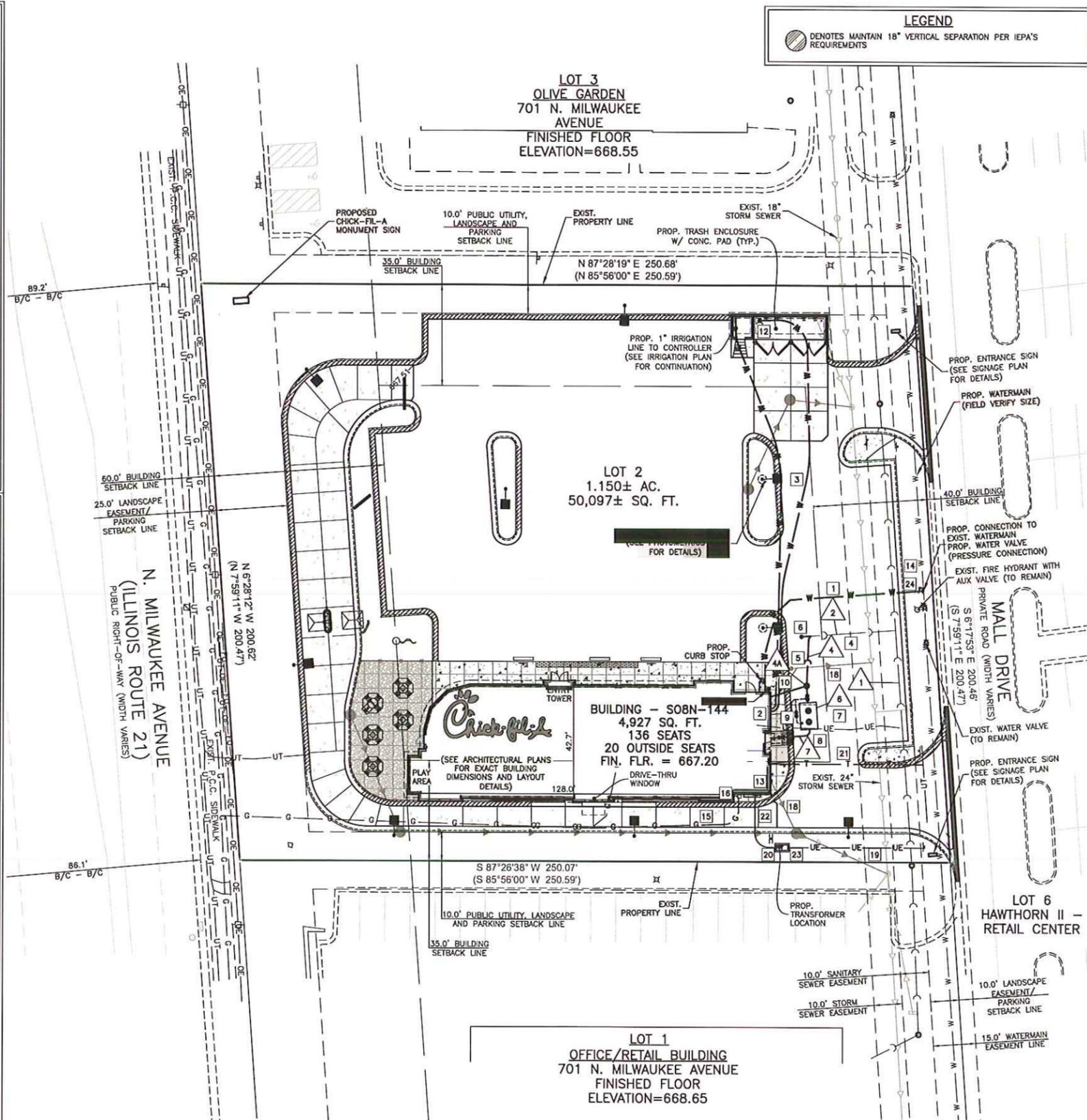
LAYOUT NOTES

- PAY CONNECTION FEES FOR 6" DOMESTIC WATER SERVICE AND METER.
- 1" IRRIGATION LINE TO HAVE SEPARATE METER LOCATION ADJACENT TO DOMESTIC WATER METER INTERIOR TO THE BUILDING
- 3/4" CW TO DUMPSTER POST HYDRANT
- INSTALL 6" WASTEWATER SERVICE LATERAL. CONTRACTOR TO LOCATE EXISTING SERVICE PRIOR TO TRENCHING AND MAKE CONNECTION.
- 6" SDR 26 WASTEWATER SERVICE LINE AT 1.0% (MIN.) SLOPE.
- CLEAN OUT (SEE DETAIL). CLEANOUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.
- PRECAST 1,000 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE AND MATCH SIDEWALK/PAVEMENT GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS VILLAGE/COUNTY SPECIFICATIONS PRIOR TO INSTALLATION. REFER TO PLUMBING PLAN, SHEET P-1.1.
- 6" KITCHEN WASTE LINE (INV = 4.70' BELOW FINISHED FLOOR ELEVATION)
- 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR (SEE SHEET P1 FOR LOCATION).
- 6" RESTROOM WASTE LINE (INV = 5.00' BELOW FINISHED FLOOR ELEVATION)
- 6" OR 4" TWO-WAY CLEAN OUT (REFER TO PLUMBING PLANS)
- DUMPSTER POST HYDRANT REFER TO THE FIXTURE CONNECTION SCHEDULE (P-31) DEPICTED ON THE PROJECT PLUMBING PLANS
- DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS)
- EX. WATER LINE
- PROPOSED GAS SERVICE (SEE NOTE 19)
- COORDINATE GAS METER INSTALLATION WITH GAS COMPANY.
- 4" SCHEDULE 40 PVC IRRIGATION SLEEVE (REFER TO IRRIGATION PLANS)
- 6" PVC DR 35 ROOF DRAIN PIPE SYSTEM (CONNECT TO SITE STORM DRAIN)
- UNDERGROUND PRIMARY ELECTRIC SERVICE. (SEE NOTE 21)
- PROPOSED PAD MOUNTED TRANSFORMER PER ELECTRIC COMPANY STANDARDS. SEE SERVICE UTILITY NOTES, THIS SHEET.
- UNDERGROUND PRIMARY TELEPHONE SERVICE. (SEE NOTE 20)
- UNDERGROUND SECONDARY ELECTRIC SERVICE TO BUILDING. (SEE NOTE 21)
- INSTALL TRANSFORMER PAD (SEE NOTE 21)
- CFA SERVICE, CONNECT TO EX. WATER LINE - 8" X 6" TAPPING SLEEVE & VALVE. & VAULT (FIELD VERIFY EXISTING WATER MAIN SIZE)
- PROPOSED GAS SERVICE CONTRACTOR SHALL COORDINATE INSTALLATION TO INSURE THE APPROPRIATE BENDS ARE INCORPORATED TO MAINTAIN MINIMUM OF 1'0" CLEARANCE BELOW ALL STORM SEWER, WATER AND WASTEWATER LINES OR SERVICES WHEN CROSSING. CONTRACTOR TO COORDINATE WITH GAS COMPANY. (SEE NOTE 19)

UTILITY NOTES:

- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR DUTY SERVICE SIZES AND EXACT LOCATIONS. CONTRACTOR TO CONFIRM SIZES OF ALL SERVICES PRIOR TO INSTALLATION. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- MAINTAIN A MINIMUM OF 6.0' COVER OVER ALL WATER MAINS.
- ADJUST ALL MANHOLES AND FRAMES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE VILLAGE OF VERNON HILLS PLUMBING CODE.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY/STORM SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND PUBLIC WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY CALL JULIE AT 1-800-892-0123 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- LOCATION OF SITE UTILITIES SHALL BE VERIFIED WITH PROPER UTILITY COMPANY PROVIDING SERVICE.
- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
- SEE SITE SPECIFICATIONS "SITE UTILITIES" FOR BACKFILLING AND COMPACTION REQUIREMENTS.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM ROAD RIGHT-OF-WAY TO TRANSFORMER LOCATION. ASSOCIATED COST BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL FURNISH (2) - 4" CONDUIT(S) AS SHOWN ON PLAN FOR PHONE AND ELECTRIC SERVICE LINES, AND (1) 4" CONDUIT FOR GAS SERVICE LINES. VERIFY LOCATION OF TIE IN AT TELEPHONE COMPANIES SERVICE LINE. PROVIDE NYLON PULL CORD INSIDE CONDUIT.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN
- MATERIAL PERMITTED FOR USE AS SANITARY SEWER PIPES IS PVC DR 26 FOR 6".
- NGCOR GAS WILL FURNISH AND INSTALL THE GAS MAINS AND GAS SERVICE UP TO AND INCLUDING THE METER. IF PAVING IS COMPLETE PRIOR TO GAS SERVICE INSTALLATION, CONTRACTOR TO PROVIDE (1) 4" SCHEDULE 40 PVC CONDUIT UNDER PAVED AREAS.
- CONTRACTOR TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS FOR TELEPHONE SERVICE FROM AT&T MAIN TO BUILDING. AT&T TO SUPPLY, PROVIDE AND INSTALL PRIMARY TELEPHONE SERVICE.
- CONTRACTOR TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS WITH FULL WIRE FOR PRIMARY ELECTRIC SERVICE. COMMONWEALTH EDISON (COMED) TO PROVIDE AND INSTALL PRIMARY ELECTRIC SERVICE. CONTRACTOR TO PROVIDE AND INSTALL TRANSFORMER PAD AND SECONDARY SERVICE IN ACCORDANCE WITH (COMED) SPECIFICATIONS AND REQUIREMENTS.
- ALL SANITARY SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE VILLAGE OF VERNON HILLS.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE VILLAGE OF VERNON HILLS.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
- ALL PROPOSED PIPE CONNECTIONS TO EXISTING OR PROPOSED MANHOLES SHALL CONFORM TO ASTM-C923.

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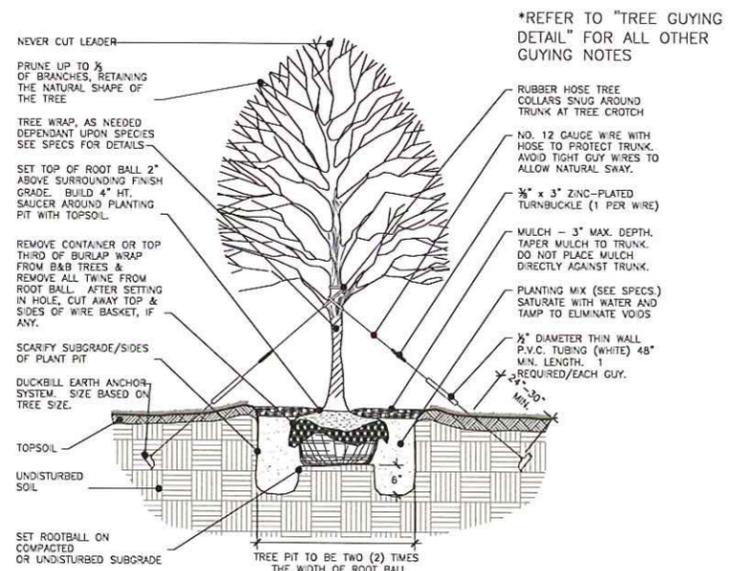
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VERNON HILLS, IL
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SHEET TITLE
**PLUMBING
SITE PLAN**

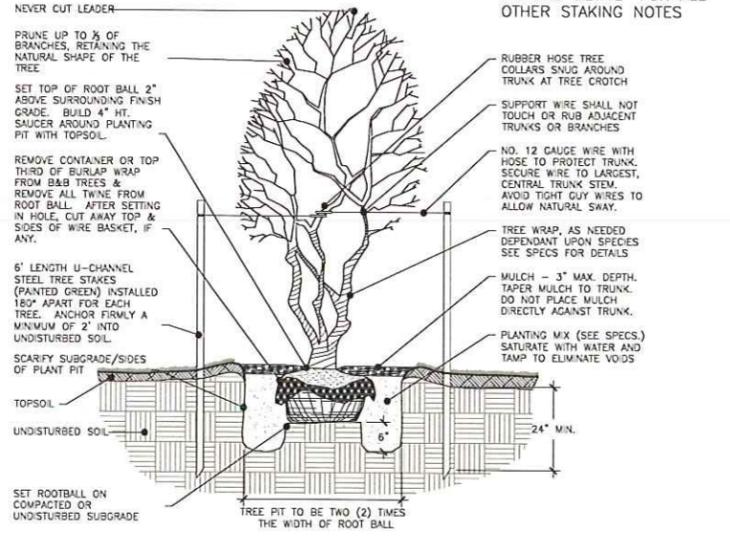
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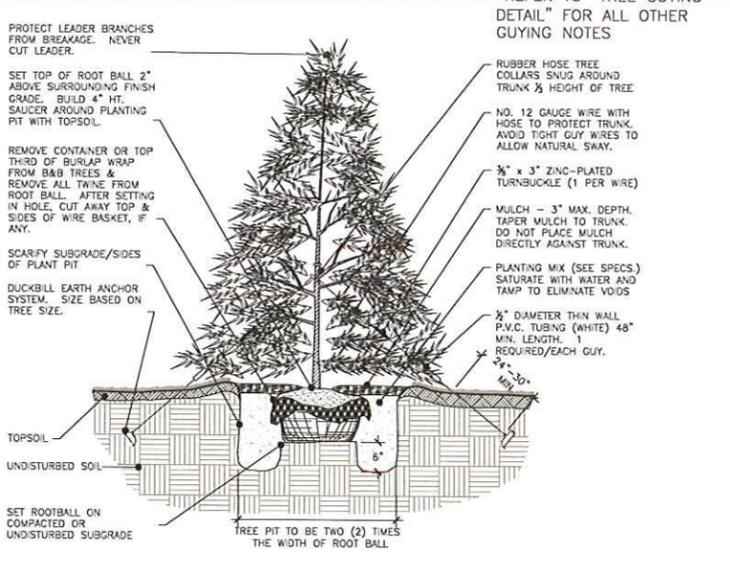
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SCALE: NTS



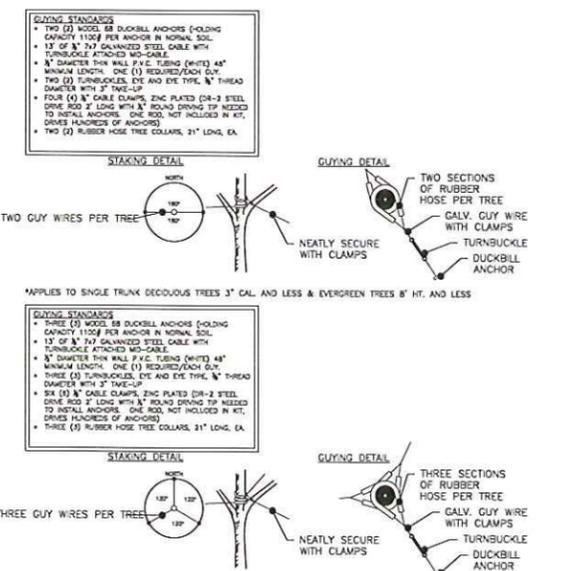
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SCALE: NTS



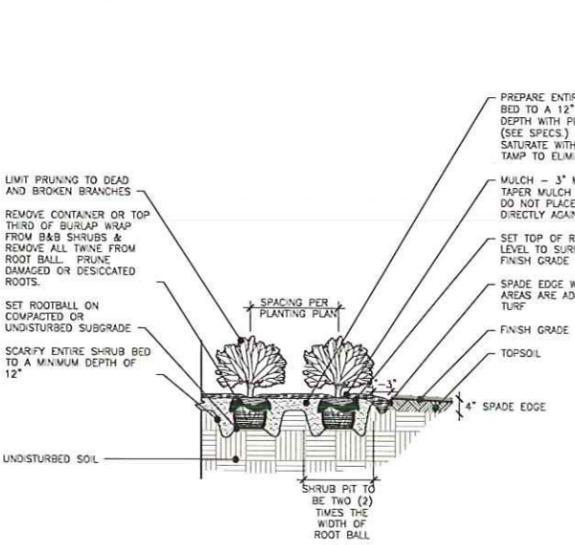
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SCALE: NTS



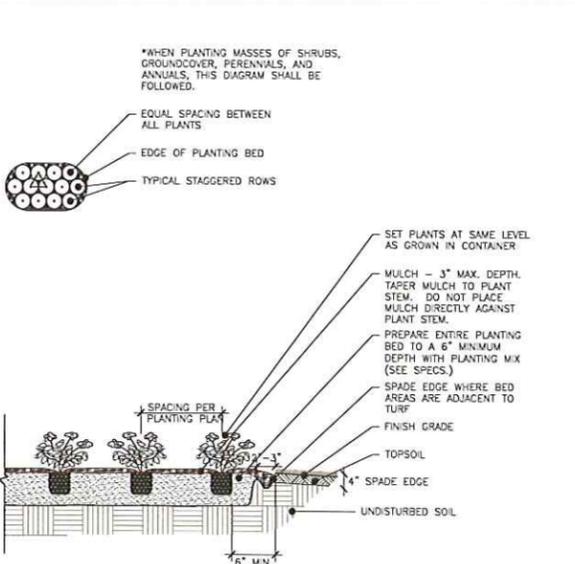
4 TYP. GUYING DETAIL

SCALE: NTS



5 TYP. SHRUB PLANTING DETAIL

SCALE: NTS



6 TYP. PERENNIAL PLANTING DETAIL

SCALE: NTS

GENERAL NOTES

- BASE MAP INFORMATION IS ACCURATE AS OF THE DATE PRINTED ON THIS PACKAGE.
- THE LANDSCAPE PLANS CONTAINED HEREIN ILLUSTRATE APPROXIMATE LOCATIONS OF ALL SITE CONDITIONS. REFER TO SURVEY, ARCHITECTURAL, CIVIL ENGINEERING, STRUCTURAL, ELECTRICAL, IRRIGATION AND ALL OTHER DRAWINGS, IF AVAILABLE, FOR ADDITIONAL DETAILED INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF AND FIELD VERIFYING ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING J.U.L.I.E., THE COUNTY PUBLIC WORKS DEPARTMENT, THE MUNICIPALITY AND ANY OTHER PUBLIC OR PRIVATE AGENCIES NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF APPARENT CONFLICTS WITH CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. IF FIELD ADJUSTMENTS ARE NECESSARY DUE TO EXISTING UTILITY LOCATIONS THEY MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COSTS OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS. THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS APPARENT THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR CLARIFICATION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL LIABILITIES, INCLUDING NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDSCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
- ALL SURFACE DRAINAGE SHALL BE DIVERTED AWAY FROM STRUCTURES AND NOTED SITE FEATURES IN ALL AREAS AT A MINIMUM OF 2% SLOPE AS SHOWN ON THE CIVIL ENGINEERING PLANS.
- THE CONTRACTOR SHALL STAKE ALL TREE/SHRUB PLANT PIT LOCATIONS AND THE PERIMETER OF SHRUB/PERENNIAL BEDS PRIOR TO INSTALLATION AND CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL. FINAL LOCATION AND STAKING OF ALL PLANT MATERIALS SHALL BE ACCEPTED BY THE OWNER'S REPRESENTATIVE IN ADVANCE OF PLANTING.
- IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO INSTALLATION.
- WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN THE PLANT LIST ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKE-OFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS. IN CASE OF ANY DISCREPANCIES, PLANS TAKE PRECEDENCE OVER CALL-OUTS AND/OR THE PLANT LIST(S).
- ALL PLANTS SHALL BE NURSERY GROWN PLANTS MEETING AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-2004). PLANTS ARE TO BE TYPICAL IN SHAPE AND SIZE FOR SPECIES. PLANTS SHALL NOT BE ROOT-BOUND OR LOOSE IN THEIR CONTAINERS. HANDLE ALL PLANTS WITH CARE IN TRANSPORTING, PLANTING AND MAINTENANCE UNTIL INSPECTION AND FINAL ACCEPTANCE. FIELD COLLECTED MATERIAL SHALL NOT BE USED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- SHREDDED HARDWOOD MULCH, FERTILIZING, AS SPECIFIED, STAKING, WATERING AND ONE (1) YEAR PLANT WARRANTY FOR INSTALLED PLANT MATERIAL, SHALL BE CONSIDERED INCIDENTAL TO THE PLANT ITEMS.
- ALL PARKING LOT ISLAND AREAS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH 24" OF TOPSOIL MEASURED FROM TOP OF SUBGRADE TO TOP OF CURB LINE.
- MUSHROOM COMPOST SHALL BE FINELY SCREENED, HOMOGENOUS, DECOMPOSED ORGANIC MATERIAL SUITABLE FOR HORTICULTURAL USE AS AVAILABLE FROM MIDWEST TRADING CO. ST. CHARLES, IL 60174 (847) 742-7840 OR APPROVED EQUAL. MIX THOROUGHLY IN PLANT BED BEFORE INSTALLING PLANTS.
- WARRANTY: ONE (1) YEAR REPLACEMENT WARRANTY FOR ALL PLANT MATERIALS SHALL BE CONSIDERED INCIDENTAL TO THIS PROJECT. WARRANTY SHALL COVER PLANTS WHICH HAVE DIED OR PARTIALLY DIED (THEREBY RUINING THEIR NATURAL SHAPE), BUT SHALL NOT INCLUDE DAMAGE BY VANDALISM, BROWSING, HAIL, ABNORMAL FREEZES, DROUGHT OR NEGLIGENCE BY THE OWNER. THE WARRANTY IS INTENDED TO COVER CONTRACTOR NEGLIGENCE, INFESTATIONS, DISEASE AND DAMAGE OR SHOCK TO PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND WATERING THE PLANT MATERIAL AS NECESSARY, TO ENSURE GROWTH AND ESTABLISHMENT DURING THE 1-YEAR WARRANTY PERIOD. ANY PLANTS THAT ARE NOT IN A LIVE, HEALTHY, GROWING CONDITION AT THE END OF THE 1-YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. PLANTS REPLACED UNDER WARRANTY WILL BE WARRANTED FOR ONE (1) YEAR FOLLOWING REPLACEMENT.

GENERAL NOTES - SPECIAL REQUIREMENTS- WARRANTY AND MAINTENANCE OF SODDED AND SEEDED AREAS

- MOWING, TRIMMING AND REMOVAL OF GRASS CLIPPINGS IN TURF AREAS, DURING INITIAL 60 DAYS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DURING THIS TIME, CONTRACTOR SHALL MOW TURF AREAS AT REGULAR INTERVALS TO MAINTAIN AT A MAXIMUM HEIGHT OF 2-1/2 INCHES. DO NOT CUT MORE THAN 1/3 OF GRASS BLADE AT ANY ONE MOWING. CONTRACTOR SHALL ALSO NEATLY TRIM EDGES WHERE NECESSARY AND REMOVE CLIPPINGS AFTER MOWING AND TRIMMING.
- WARRANTY:
 - WARRANTY OF SEEDDED AND SODDED AREAS SHALL BE CONSIDERED INCIDENTAL TO THE BID ITEM.
 - THE WARRANTY IS TO GUARANTEE COMPLETED SEED/SOD AREAS FOR A PERIOD OF 1 YEAR AFTER INITIAL ACCEPTANCE HAS BEEN DOCUMENTED.
 - REPLACEMENT COSTS ARE THE CONTRACTOR'S RESPONSIBILITY, EXCEPT FOR THOSE RESULTING FROM LOSS OR DAMAGE DUE TO VANDALISM, CIVIL DISOBEDIENCE, ACTS OF NEGLIGENCE ON THE PART OF OTHERS, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, FIRE, OR LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITY, OR BY "ACTS OF GOD."
- MAINTENANCE:
 - CONTRACTOR SHALL COORDINATE MAINTENANCE OPERATIONS AND ACTIVITIES WITH THE OWNER DURING THE WARRANTY PERIOD.
 - MAINTENANCE OF SEED/SOD AREAS SHALL BE PERFORMED BY TRAINED PERSONNEL SKILLED IN IDENTIFYING DESIRED AND UNDESIRABLE PLANT MATERIAL. CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF SEEDDED AND SOD AREAS DURING THE 1 YEAR WARRANTY PERIOD WITH THE EXCEPTION OF ROUTINE MOWING OF TURF AREAS. ROUTINE MOWING OF TURF AREAS, DURING THE 1 YEAR WARRANTY PERIOD, WILL BE THE RESPONSIBILITY OF THE OWNER ONCE INITIAL ACCEPTANCE HAS BEEN DOCUMENTED.
 - MAINTENANCE OF SEEDDED AND SOD AREAS SHALL INCLUDE:
 - WATERING TO PREVENT GRASS AND SOIL FROM DRYING OUT.
 - ROLLING THE SURFACE TO REMOVE MINOR DEPRESSIONS OR IRREGULARITIES.
 - CONTROLLING GROWTH OF WEEDS. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMEDY DAMAGE RESULTING FROM IMPROPER USE OF HERBICIDES.
 - PROTECTING SEEDDED/SOD AREAS WITH WARNING SIGNS DURING MAINTENANCE AND WARRANTY PERIOD AS DEEMED NECESSARY.
 - IN THE SPRING OF EACH YEAR DURING THE 1 YEAR WARRANTY PERIOD, THE CONTRACTOR SHALL CORRECT AND RESEED AS ORIGINALLY SPECIFIED, ANY DEFECTS IN THE SEEDDED/SOD AREAS AND GRASS STAND, SUCH AS WEEDY AREAS, ERODED AREAS, AND BARE SPOTS, UNTIL AFFECTED AREAS ARE ACCEPTABLE TO THE OWNER'S REPRESENTATIVE.
 - IN THE SPRING DURING THE 1 YEAR WARRANTY PERIOD, THE CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION, ALL DAMAGES TO PROPERTY RESULTING FROM THE SEEDING/SODDING OPERATION OR FROM THE REMEDIATING OF DEFECTS, AT THE CONTRACTOR'S EXPENSE.

SPECIAL REQUIREMENTS - MAINTENANCE

- BEGIN MAINTENANCE IMMEDIATELY FOLLOWING INSTALLATION OF SOD AND CONTINUE FOR A PERIOD UNTIL SODDED AREAS ARE ESTABLISHED WITH SOD ROOTED IN PLACE. MAINTENANCE PERIOD SHALL BE A MINIMUM OF 14 DAYS.
- MAINTENANCE OF SODDED AREAS SHALL INCLUDE WATERING, WEEDING, MOWING TO A 2 - 2 1/2 INCH HEIGHT AFTER HEIGHT HAS EXCEEDED 3 INCHES AND PRIOR TO 4 INCHES, AND REPLACEMENT AND INSTALLATION OF SOD AS ORIGINALLY SPECIFIED FOR SODDED AREAS FAILING TO SURVIVE. CLIPPINGS FROM MOWING WHICH MAT ON THE GRASS, ARE TO BE REMOVED.

SPECIAL REQUIREMENTS - WARRANTY

- A WARRANTY IS REQUIRED TO GUARANTEE COMPLETED SODDING OPERATIONS PROVIDING A UNIFORMLY DENSE, LIVE, AND HEALTHY STAND OF GRASS, FREE OF WEEDS AND UNDESIRABLE GRASSES, DEBRIS, AND FREE OF ERODED AREAS, BARE SPOTS, DISEASES, AND INSECTS AT THE END OF ONE YEAR'S FOLLOWING THE MINIMUM MAINTENANCE PERIOD OR PROJECT ACCEPTANCE, WHICHEVER IS MORE RECENT.
- CONTRACTOR TO REPLACE AS ORIGINALLY SPECIFIED AREAS THAT HAVE FAILED TO SURVIVE, AS OFTEN AS REQUIRED, TO ESTABLISH THE SODDED LAWN AREA UNTIL ACCEPTED; AT NO ADDITIONAL COMPENSATION.
- REPAIR AND REPLACE TO ORIGINAL CONDITION ALL DAMAGES TO PROPERTY RESULTANT FROM THE SODDING OPERATION AND ALL DAMAGES AS A RESULT FROM THE REMEDIATING OF THESE DEFECTS, WITHOUT ADDITIONAL COMPENSATION.

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 Camp: C:\Users\jld\Documents\Projects\2012\04\01\2012-04-12-Concept-M-w-Tables.rvt
 Layout: Tab_03_DETAILS



Know what's below. Call before you dig. PRELIMINARY NOT FOR CONSTRUCTION



Chick-fil-e

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

NO.	DATE	BY	DESCRIPTION
1	08/24/12	DWS	TECHNICAL REVIEW #1 - SUBMITTAL
2			
3			
4			
5			
6			
7			

ILLINOIS PROFESSIONAL DESIGN FIRM # 184-001322
 420 N. FRONT STREET, SUITE 10
 MCHEERY, ILLINOIS 60050
 PHONE: 815.385.1778
 TOLL FREE: 800.728.7805
 FAX: 815.385.1781 | HRGreen.com



STORE #2926
VERNON HILLS
FSR 508N-144

VERNON HILLS, IL
60061

SHEET TITLE
LANDSCAPE
DETAILS

DWG EDITION PRE-FINAL
REVISION

Job No. : 86100160
Store : #2926
Date : 07/13/12
Drawn By : MAC
Checked By : DLR

Sheet

L-03



- A - Modular size brick #1 - Red Velour by Cunningham Brick
- B - Modular size brick #2 - Tan by Cunningham Brick
- C - Prefinished metal roof - Color: Cardinal Red
- D - Prefinished metal coping- Dark Bronze
- E - Prefinished metal canopy to match metal roof
- F - Aluminum storefront

NORTH ELEVATION

Vernon Hills, IL- #2926

Technical Review #1- Resubmittal
October 2, 2012





- A - Modular size brick #1 - Red Velour by Cunningham Brick
- B - Modular size brick #2 - Tan by Cunningham Brick
- C - Prefinished metal roof - Color: Cardinal Red
- D - Prefinished metal coping - Dark Bronze
- E - Prefinished metal canopy to match metal roof
- F - Aluminum storefront

SOUTH ELEVATION

Vernon Hills, IL- #2926

Technical Review #1- Resubmittal
October 2, 2012





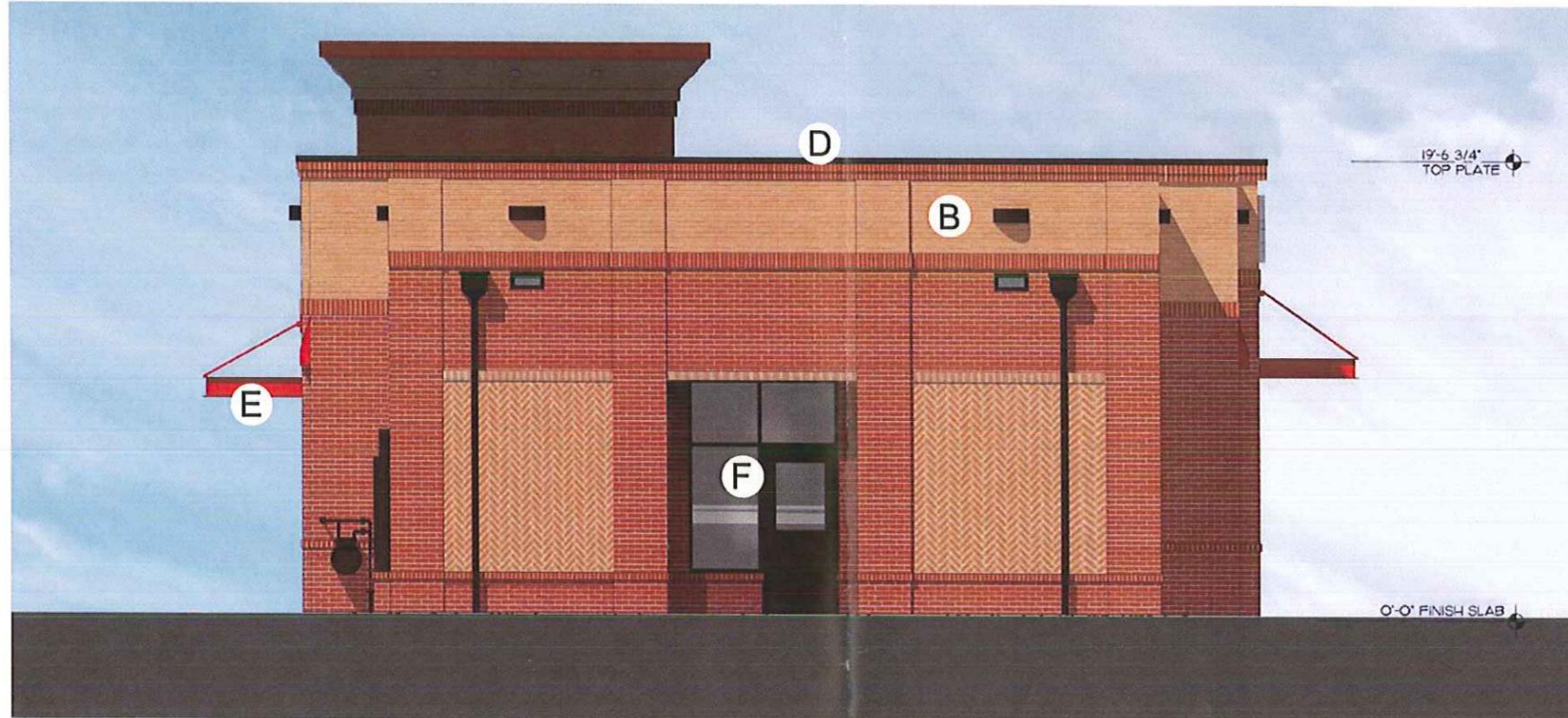
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- B - Modular size brick #2 - Tan by Cunningham Brick
- C - Prefinished metal roof - Color: Cardinal Red
- D - Prefinished metal coping - Dark Bronze
- E - Prefinished metal canopy to match metal roof
- F - Aluminum storefront

WEST ELEVATION

Vernon Hills, IL- #2926

Technical Review #1- Resubmittal
 October 2, 2012





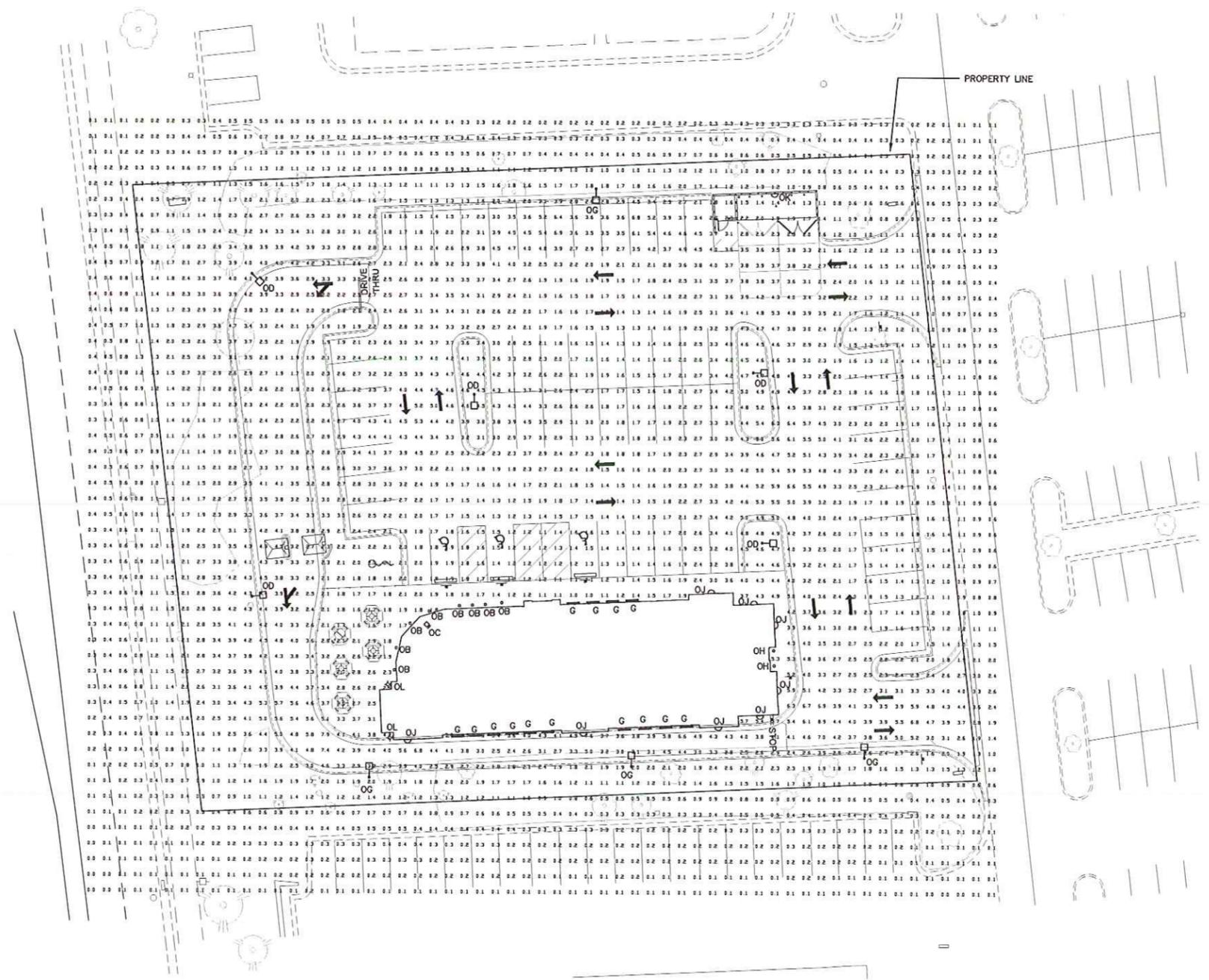
- A - Modular size brick #1 - Red Velour by Cunningham Brick
- B - Modular size brick #2 - Tan by Cunningham Brick
- C - Prefinished metal roof - Color: Cardinal Red
- D - Prefinished metal coping - Dark Bronze
- E - Prefinished metal canopy to match metal roof
- F - Aluminum storefront

EAST ELEVATION

Vernon Hills, IL- #2926

Technical Review #1-Resubmittal
 October 2, 2012





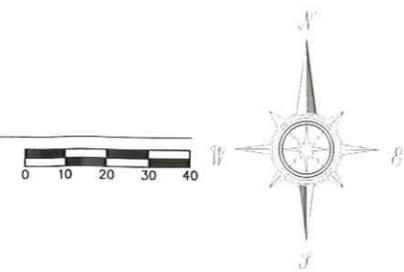
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 □ Lithonia KSF2
 Type IV WIDE 400W MH
 Mounting Height= 25.5 feet.
 From Pole to Photometric Center= 0.75 feet.
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 Initial Lumens per Lamp= 36000.
 Light Loss Factor (LLF) = 0.7
 Number Poles this type = 5
- OG
 □ Lithonia KSF2
 Type III 400W MH
 Mounting Height= 25.5 feet.
 From Pole to Photometric Center= 0.75 feet.
 IES Candela File: H:\12009.09\PHOTO\KSF2R3HS.IES
 Initial Lumens per Lamp= 36000.
 Light Loss Factor (LLF) = 0.7
 Number Poles this type = 4

ILLUMINANCE IS IN HORIZONTAL FOOTCANDLES.
 TARGET PLANE AT Z = 0 FEET.

Summary

# POINTS	1304
AVERAGE	2.9
MAXIMUM	8.8
MINIMUM	1.0
AVG/MIN	2.96
MAX/MIN	9.02
STD DEV	1.24
CDEF VAR	0.43

1 PHOTOMETRIC PLAN
 SCALE: 1"=20'-0"



Revisions:

Mark	Date	By
△	08.01.12	TECHNICAL REVIEW
△	08.24.12	TECHNICAL REVIEW #1 RESUBMITTAL
△		

Seal

ChipmanDesign
 Architecture Inc.
 200 South River Road, Suite 100
 Vernon Hills, IL 60061
 T 847.292.4944 F 847.292.4944

DICKERSON ENGINEERING, INC.
 Professional Electrical Engineers
 1000 W. Lake Avenue
 Niles, Illinois 60714
 TEL: (847) 966-0290
 FAX: (847) 966-0294

STORE #2926
 VERNON HILLS FSU

701 N MILWAUKEE AVENUE #360
 VERNON HILLS, IL

SHEET TITLE
 PHOTOMETRIC PLAN

VERSION: 7
 ISSUE DATE: 10-2011

Job No. : -
 Store : 2926
 Date : 08.01.12
 Drawn By : EU
 Checked By : -

Sheet
 ES2.1

**PRELIMINARY
 NOT FOR CONSTRUCTION**



Chipman Design
 Architecture Inc.
 5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
△		
△		
△		
△		
△		

(SEE A0.1 FOR ADDITIONAL SUBMITTALS & REVISIONS)

Seal

ChipmanDesign
 Architecture Inc.
 5200 Buffington Rd.
 Atlanta Georgia, 30349-2998
 770.487.2998

STORE
 2926
 FSU S08

Vernon Hills, IL
 60061

SHEET TITLE
 REFUSE
 ENCLOSURE

VERSION: 7
 ISSUE DATE: 10-2011

Job No. : 11-4275
 Store : 2926
 Date :
 Drawn By : SRA
 Checked By : MSL

Sheet

A-3.6

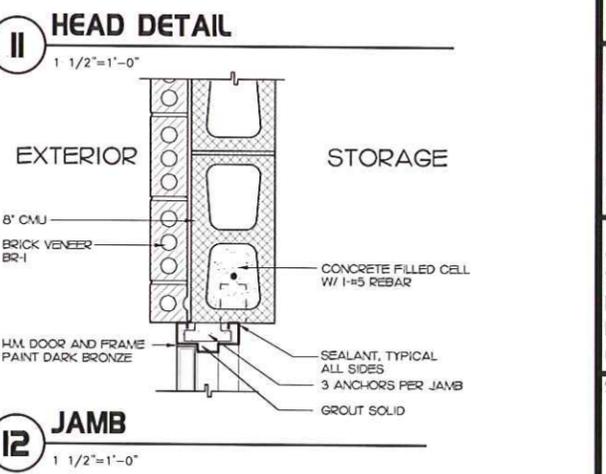
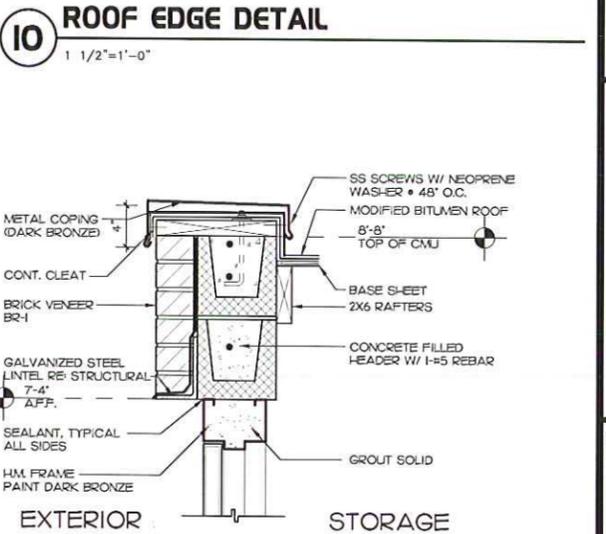
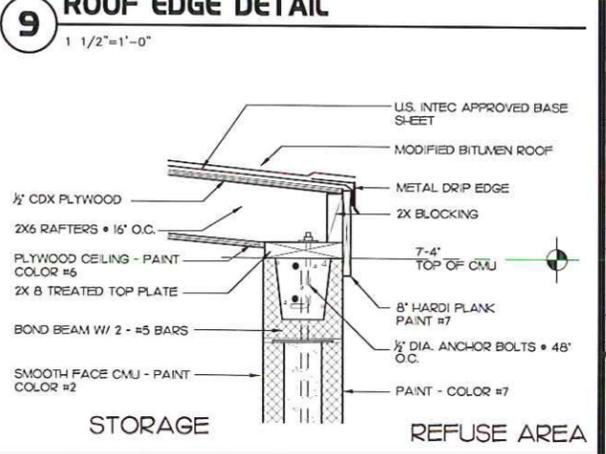
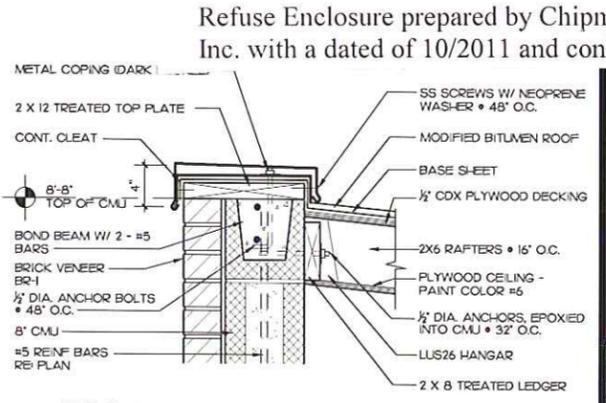
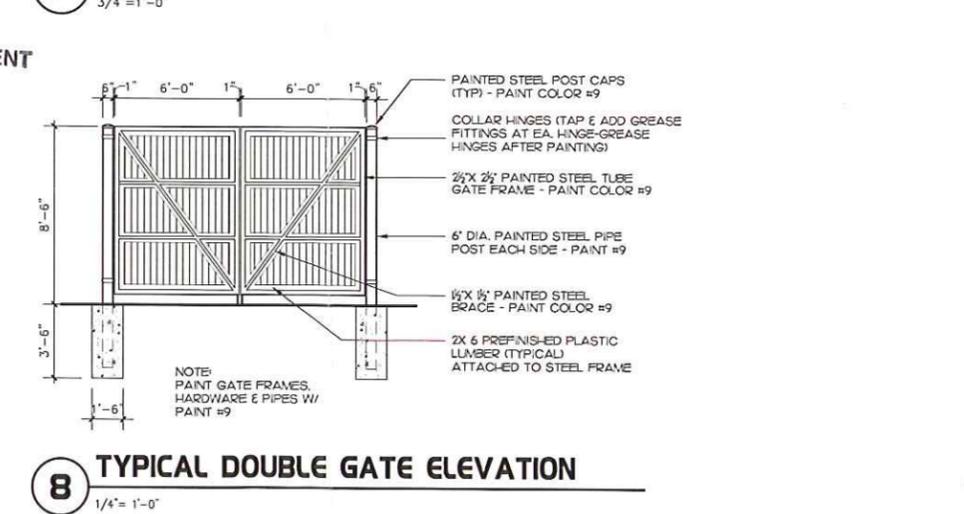
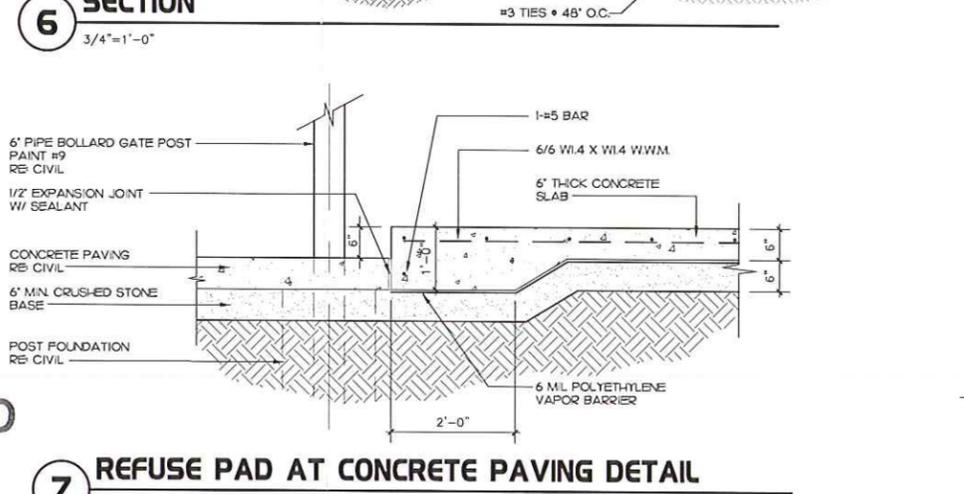
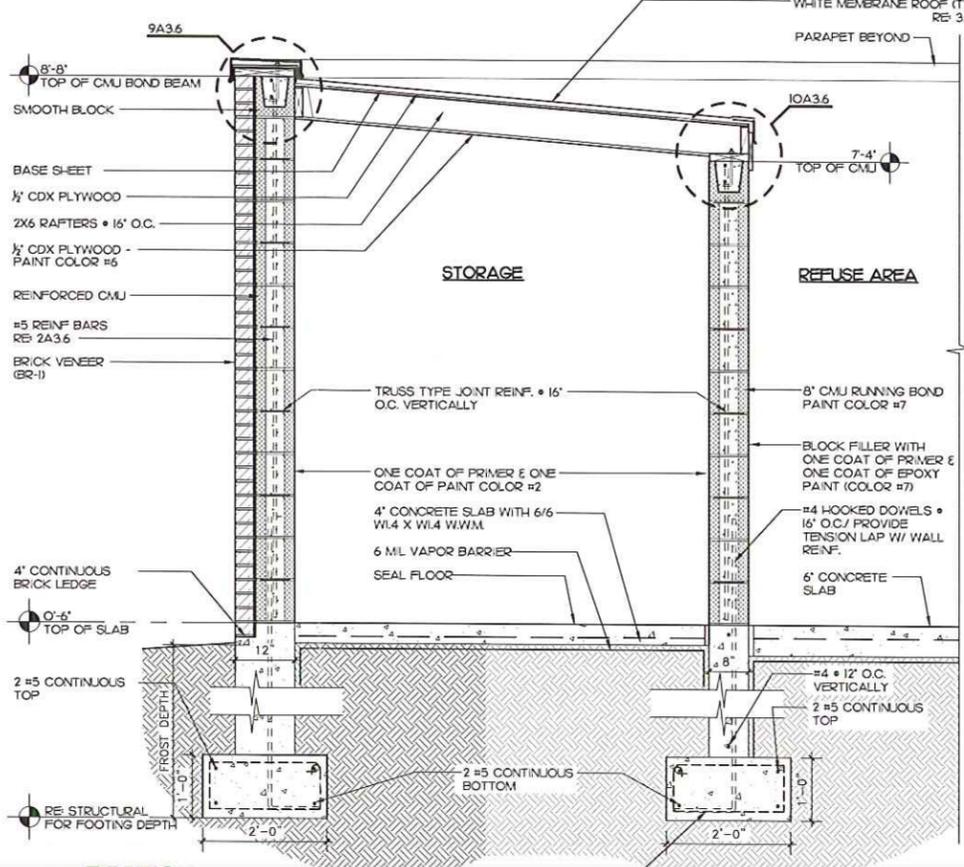
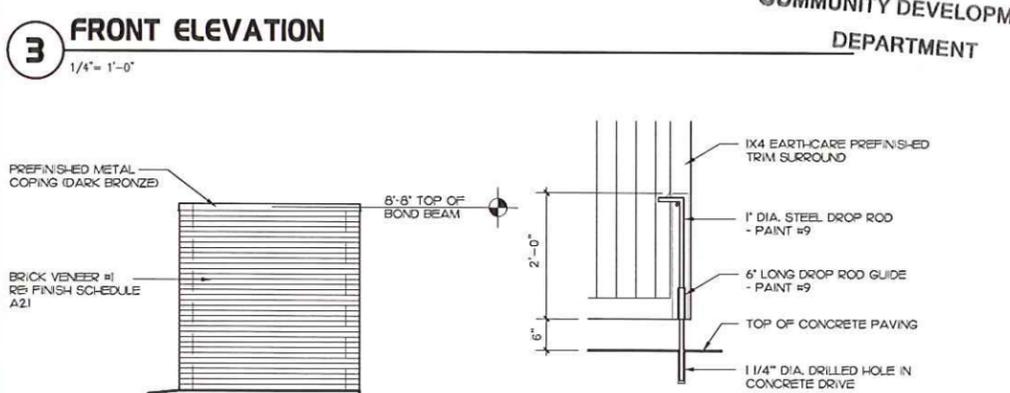
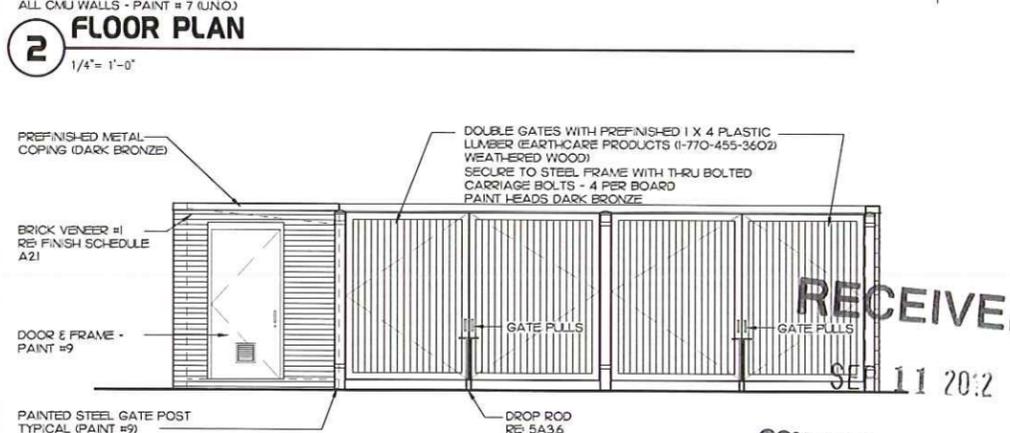
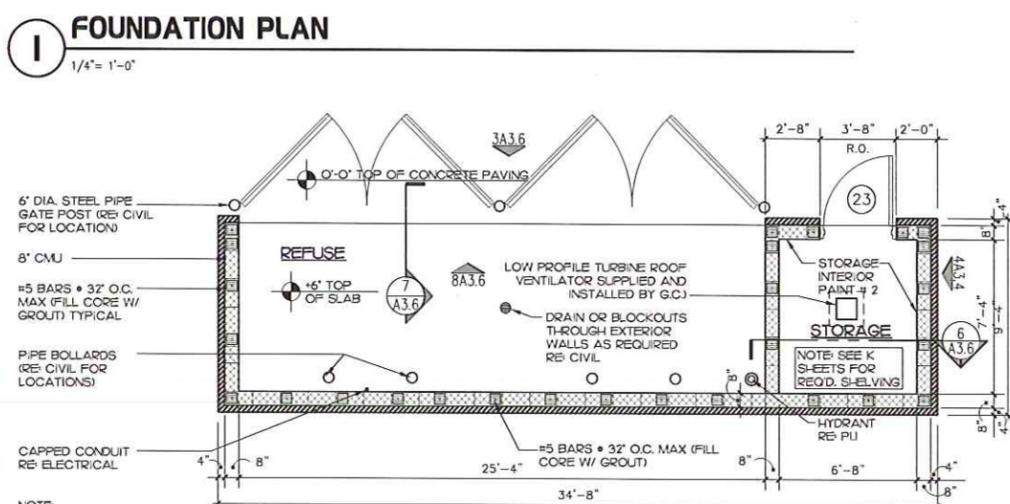
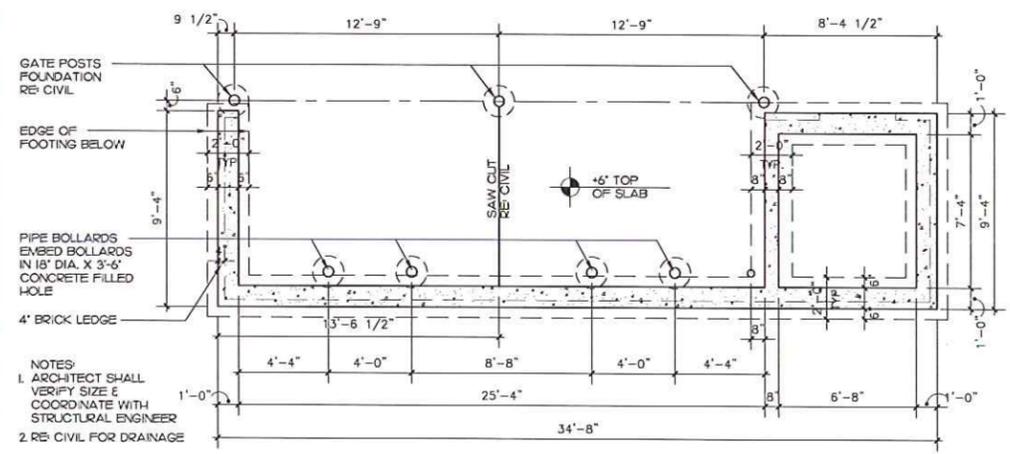


Exhibit C
Terms and Conditions of Approval

List of Approved Variations from Section 13.6 of the Zoning Ordinance

1. **Side Yard Setback for the Building (South Side)** - Reduction of the side yard setback area to 20.4 feet as measured from the south property line to the building.
2. **Rear Yard Setback for Trash Enclosure** - Reduction of the rear yard setback to 30 feet for the Trash Enclosure.
3. **Signage (being Chapter 19 of the Village Code)**

North Elevation Wall Signs:

- A total size of 62.42 square feet for the two proposed wall signs on this elevation. This calculation included the "Original Chicken Sandwich".
- Two wall signs are permitted on the north elevation.

Monument Sign

- The logo on the monument sign may exceed 4 square feet as set forth in the Sign Plans listed above.

Menu Board Signs

- A total of three menu boards is allowed as proposed (H1 & H2 – Speaker Canopy and the G Pre-Menu Board).

Conditions of Approval for the Site:

1. Final approval of plans by the Village Engineer and Landscape Architect.
2. All signage shall comply with the Village's sign ordinance, being Chapter 19 of the Code of Ordinances, except as otherwise provide herein.
3. Roof top equipment may be required to be screened from all sides to match the full height of the mechanical equipment. Due to durability concerns, the screening walls shall be metal. Details on the screen shall be provided as a part of the building permit review process.
4. Compliance with all ordinance and standards of the Village except as otherwise noted.
5. Additional landscape plant materials shall be added to the southwest corner of the property adjacent to the property line to increase the landscape screening between the properties.
6. Within the outdoor eating area, a three (3) foot landscape buffer shall be added the full length of the eating area adjacent to the drive thru lanes.
7. The proposed east elevation of the building shall be changed and shall incorporate brick articulation and colors similar to the infill areas near the windows on the north & south elevations. (Completed as shown in the attached October 2, 2012 plans)
8. The metal coping shall be added along the top of the parapet wall and shall be red or complimentary color to the rest of the building.
9. The petitioner shall review with the staff and owners of the Rivertree Shopping Center the need for additional parking and an agreement to allow employee parking within the Rivertree parking lot to the east of the petitioner's property.

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

CERTIFICATE

I, MICHAEL S. ALLISON, CERTIFY THAT I AM THE DULY APPOINTED VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS. I FURTHER CERTIFY THAT ON OCTOBER 16, 2012, THE CORPORATE AUTHORITIES OF SUCH MUNICIPALITY PASSED AND APPROVED ORDINANCE 2012-055, AN ORDINANCE GRANTING APPROVAL OF A SPECIAL USE PERMIT AND CERTAIN OTHER APPROVALS TO ALLOW CHICK-FIL-A TO LOCATE A RESTAURANT WITH DRIVE - THRU SERVICE AT 701 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE PAMPHLET FOR ORDINANCE NO. 2012-055, INCLUDING THE ORDINANCE AND A COVER SHEET THEREOF WAS PREPARED, AND A COPY OF SUCH ORDINANCE WAS POSTED IN THE VILLAGE HALL, COMMENCING OCTOBER 18, 2012 AND CONTINUING FOR AT LEAST TEN DAYS THEREAFTER. COPIES OF SUCH ORDINANCE WERE ALSO AVAILABLE FOR PUBLIC INSPECTION UPON REQUEST IN THE OFFICE OF THE VILLAGE CLERK.

DATED IN VERNON HILLS, ILLINOIS, THIS 18th DAY OF OCTOBER, 2012



MICHAEL S. ALLISON, VILLAGE CLERK

SEAL



AFFIDAVIT OF SERVICE

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, MICHAEL S. ALLISON, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2012-055, AN ORDINANCE GRANTING APPROVAL OF A SPECIAL USE PERMIT AND CERTAIN OTHER APPROVALS TO ALLOW CHICK-FIL-A TO LOCATE A RESTAURANT WITH DRIVE – THRU SERVICE AT 701 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY, TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM OCTOBER 18, 2012 TO OCTOBER 29, 2012.



MICHAEL S. ALLISON, VILLAGE CLERK

SUBSCRIBED AND SWORN to Before
THIS 18th DAY OF OCTOBER, 2012



Notary Public

