

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2009-060

AN ORDINANCE APPROVING A SPECIAL USE PERMIT AND GRANTING FINAL SITE AND LANDSCAPING PLAN AND BUILDING ELEVATION APPROVALS TO ALLOW A RESTAURANT AND RETAIL USE ON PROPERTY LOCATED AT 700 EAST TOWNLINE ROAD, IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS.

THE 1ST DAY OF DECEMBER 2009

Published in pamphlet form by the
Authority of the President and Board
Of Trustees of the Village of Vernon
Hills, Lake County, Illinois, this 2nd
Day of December 2009

ORDINANCE NO. 2009-060

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WHEREAS, Jason Smith, representing Circle H Vernon Hills, LLC, owner of the property, in regard to property legally described in Exhibit A, has petitioned the Village of Vernon Hills for the following:

1. Approval of a Special Use Permit to allow a fast food, carry-out style restaurant serving alcoholic beverages, known as Qdoba Mexican Grill on the legally describe property.
2. Final approvals for the amended site and landscaping plans and building elevations.

WHEREAS, said approval of the special use permit will allow for the operation of a Qdoba Mexican Grill which is a fast food, carry-out style restaurant that will serve alcoholic beverages; and

WHEREAS, said approvals will further allow renovation of the existing building, dividing it into two spaces, expansion of the existing parking lot, and improvement of the existing landscaping throughout the site; and

WHEREAS, due to the restaurant use and the lack of cross-parking opportunities with the Mall, the lot will be expanded from the current 26 spaces to 56 spaces from which the retail space will require a total of 20 spaces while the restaurant will require 36 spaces to accommodate the 8 employees and 65 seats.

WHEREAS, upon due notice and after public hearing held November 11, 2009 and continued from time to time by the Planning and Zoning Commission of the Village of Vernon Hills, pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition to approve a special use permit to allow a fast food, carry-out style restaurant serving alcoholic beverages, known as Qdoba Mexican Grill and final approvals for the amended site and landscaping plans and building elevations on the legally describe property; and

WHEREAS, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that addresses the conditions in Section 18.3.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the special use permit to allow a fast food, carry-out style restaurant serving alcoholic beverages, known as

Qdoba Mexican Grill is hereby approved subject to the conditions as listed in Section II below. Said parcel is legally described in Exhibit A.

SECTION II. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the amendments to the final site and landscaping plans and building elevations to allow restaurant and additional retail space are hereby approved subject to the following conditions:

- a) Receipt of a liquor license from the Liquor and License Committee.
- b) Receipt of all required licenses from the Village and Lake County Health Department prior to issuance of a final certificate of occupancy.
- c) Final approval by the Village Engineer and Landscape Architect prior to issuance of a building permit.
- d) Compliance with the plans prepared by Pugsley & La Haie LTD with revised date 10/21/09 and consisting of 2 pages.
- e) Compliance with the plans prepared by Reitan Architects, LLC with a revised date of 11/2/09 and consisting of pages ST1 and A1 thru 3.
- f) Compliance with the plans prepared by CEMCON Ltd (Parking Lot and Drainage Improvements) with a revised date of 10/29/09 and consisting of 10 pages with (1 thru 9A)
- g) Compliance with the Village Sign Ordinance.
- h) Adequate outdoor storage of trash and food waste shall be provided for the use to include a west and eastern access to the trash enclosure.
- i) Paint and/or upgrade the utility boxes located at the northwest corner of the property.
- j) Compliance with all ordinances and standards of the Village except as may otherwise be provided.

Said plans are attached as Exhibits B.

SECTION III. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION IV. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION V. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION VI. ORDINANCE NUMBER. This ordinance shall be known as Ordinance Number 2009-060.

Adopted by roll call vote as follows:

AYES: 4-Marquardt, Williams, Hebda, Koch

NAYS: 0-None

ABSENT AND NOT VOTING: 2-Schultz, Schwartz



Roger L. Byrne
Village President

PASSED: 12/01/2009
APPROVED: 12/01/2009
PUBLISHED IN PAMPHLET FORM: 12/02/2009

ATTEST:



Linda Pelletier
Village Clerk



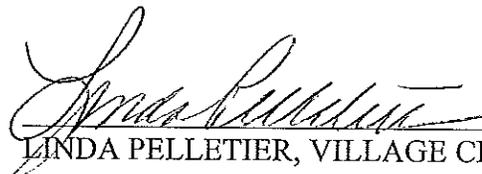
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

CERTIFICATE

I, LINDA PELLETIER, CERTIFY THAT I AM THE DULY APPOINTED AND ACTING VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS. I FURTHER CERTIFY THAT ON DECEMBER 1, 2009, THE CORPORATE AUTHORITIES OF SUCH MUNICIPALITY PASSED AND APPROVED ORDINANCE 2009-060, AN ORDINANCE APPROVING A SPECIAL USE PERMIT AND GRANTING FINAL SITE AND LANDSCAPING PLAN AND BUILDING ELEVATION APPROVALS TO ALLOW A RESTAURANT AND RETAIL USE ON PROPERTY LOCATED AT 700 EAST TOWNLINE ROAD, IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS.

THE PAMPHLET FOR ORDINANCE NO. 2009-060, INCLUDING THE ORDINANCE AND A COVER SHEET THEREOF WAS PREPARED, AND A COPY OF SUCH ORDINANCE WAS POSTED IN THE VILLAGE HALL, COMMENCING DECEMBER 2, 2009 AND CONTINUING FOR AT LEAST TEN DAYS THEREAFTER. COPIES OF SUCH ORDINANCE WERE ALSO AVAILABLE FOR PUBLIC INSPECTION UPON REQUEST IN THE OFFICE OF THE VILLAGE CLERK.

DATED IN VERNON HILLS, ILLINOIS, THIS 2ND DAY OF DECEMBER 2009.


LINDA PELLETIER, VILLAGE CLERK



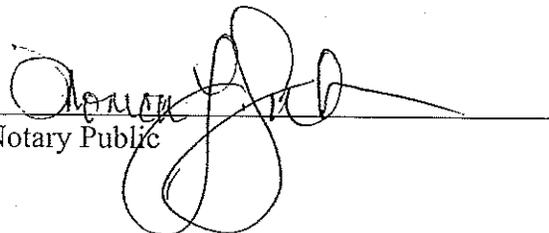
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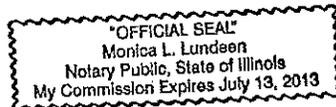
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

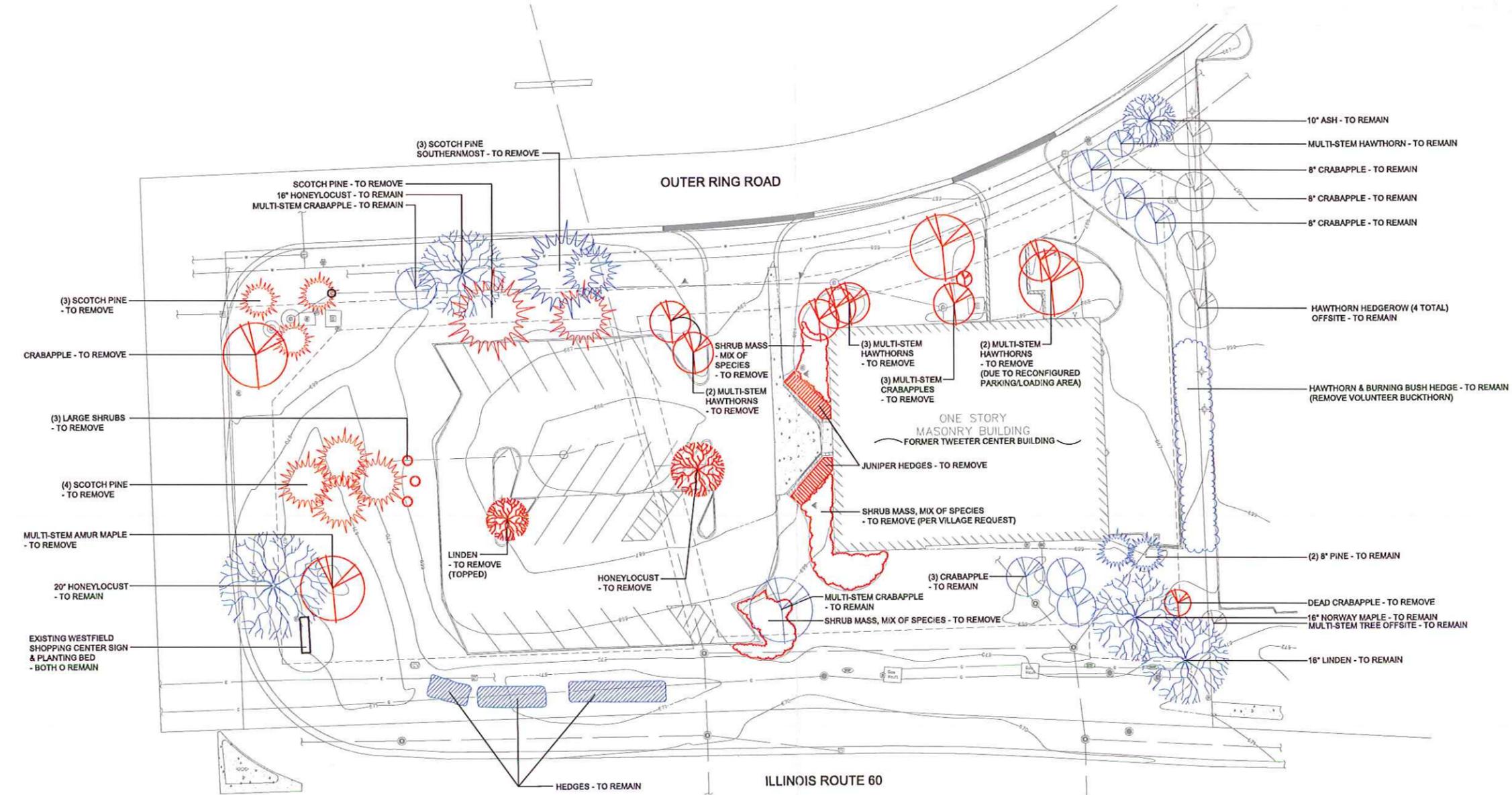
I, LINDA PELLETIER, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, SHE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2009-060, AN ORDINANCE APPROVING A SPECIAL USE PERMIT AND GRANTING FINAL SITE AND LANDSCAPING PLAN AND BUILDING ELEVATION APPROVALS TO ALLOW A RESTAURANT AND RETAIL USE ON PROPERTY LOCATED AT 700 EAST TOWNLINE ROAD, IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS.


LINDA PELLETIER, VILLAGE CLERK

SUBSCRIBED AND SWORN to Before
Me this 14 day of December, 2009


Notary Public





EXISTING LANDSCAPE CONDITIONS
SCALE: 1" = 20'-0"

NOTE! ALL PLANT MATERIAL PROPOSED FOR REMOVAL IS IN POOR CONDITION &/OR IMPEDING STORE/SIGNAGE VISIBILITY.

PLANT MATERIAL LIST - TO REMOVE

	Size	Botanic Name	Common Name
Canopy Trees	1	7" caliper Gleditsia var.	Honeylocust
	1	8" caliper Tilia var.	Linden
Evergreen Trees	1	24" Pinus var.	Pine var.
	2	18" Pinus var.	Pine var.
	1	16" Pinus var.	Pine var.
	1	15" Pinus var.	Pine var.
	1	14" Pinus var.	Pine var.
Ornamental Trees	3	12" Pinus var.	Pine var.
	1	clump (approx. 24' spread) Acer campestre	Hedge Maple
	1	clump (approx. 24' spread) Crataegus var.	Hawthorn var.
Shrubs	2	approx. 20' long x 3' high Juniperus var. (hedge rows)	Juniper var.
	3	approx. 5' high Shrub var.	Shrub var.
	-	1,000 S.F. Shrub var. (masses)	Shrub var. (masses)
	1	clump (approx. 17' spread) Crataegus var.	Hawthorn var.
	3	clump (approx. 15' spread) Crataegus var.	Hawthorn var.
	1	clump (approx. 12' spread) Crataegus var.	Hawthorn var.
	2	clump (approx. 24' spread) Malus var.	Crabapple var.
	1	clump (approx. 20' spread) Malus var.	Crabapple var.
	1	clump (approx. 6' spread) Malus var.	Crabapple var.
	1	Dead Malus var.	Crabapple var.

NOTES

- All new planting beds and tree rings shall receive (brown) shredded hardwood mulch at a depth of 3". All existing planting beds and tree rings shall receive (brown) shredded hardwood mulch, as needed.
- All new and existing planting beds and tree rings shall maintain a spaded edge.
- Turf areas disturbed by construction shall be restored.
- Plants shall be allowed to grow and be maintained in their natural form.
- All landscaping shall be maintained in good condition at all times. All dead, diseased, or damaged plant material shall be replaced promptly with live material in good condition and in quantities and sizes that meet the requirements of the Village.
- Locate all underground utilities prior to digging.
- Plant material shown in:
 - Blue/Greyscale Indicates existing plant material to be preserved
 - Red Indicates existing plant material to remove
 - Black, bold lines indicate new material proposed to be installed
- Per the Village of Vernon Hills:
 - The existing irrigation system will be repaired and relocated as necessary. The system shall be operational prior to final landscape inspection.
 - A minimum of twenty-four inches (24") of topsoil shall be required for each landscaped, parking lot island, measured from top of subgrade to top of curb line.
 - Existing turf grass shall be amended to eliminate weeds and settled areas. Settled areas along curbs, drainage structures, etc., shall have topsoil added to encourage positive drainage and seeded and blanketed to establish turf grass once again.

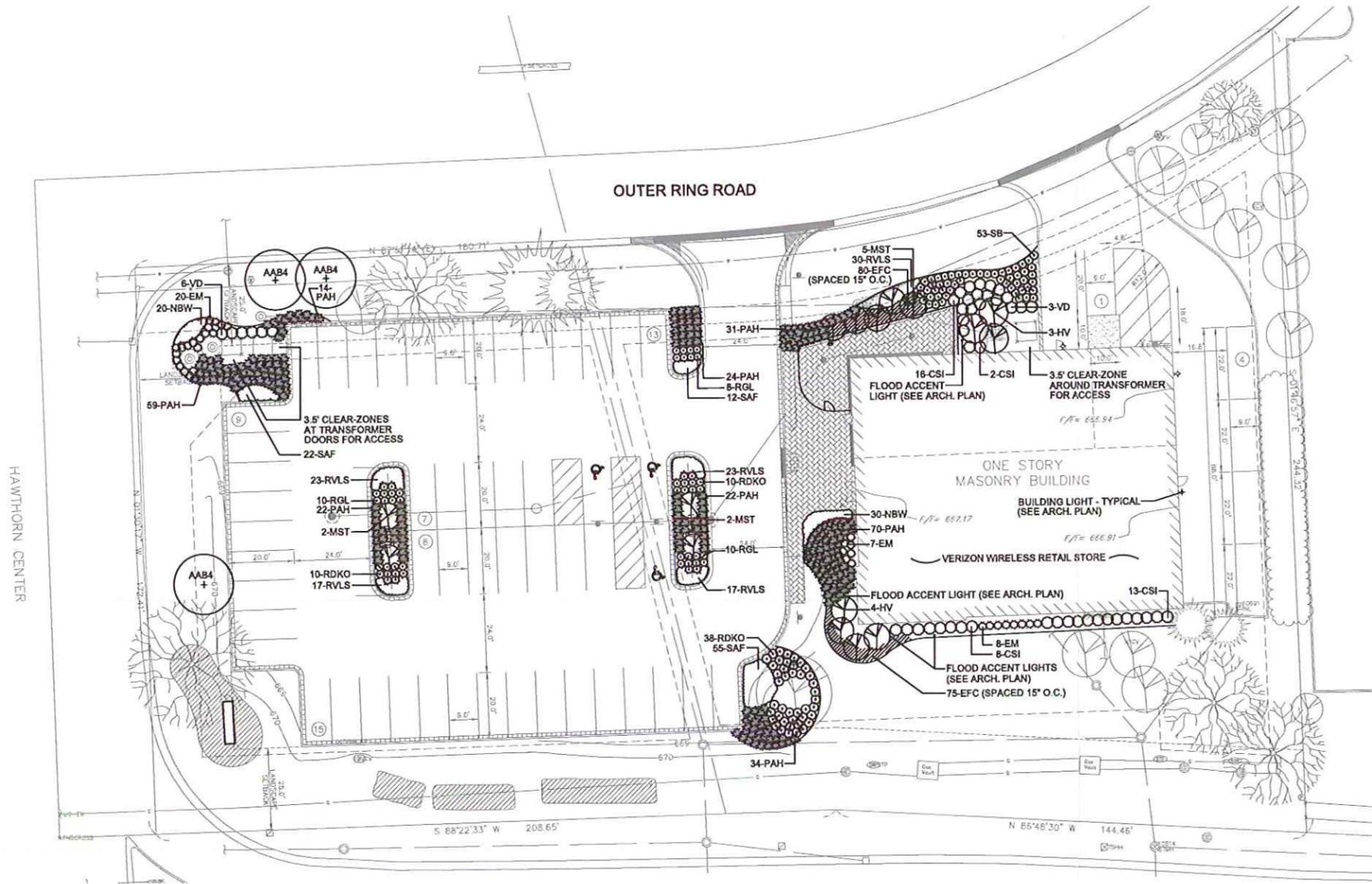
RECEIVED
OCT 27 2009
 COMMUNITY DEVELOPMENT
 DEPARTMENT

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF PUGSLEY & LAHAIE.

PUGSLEY & LAHAIE
 LANDSCAPE ARCHITECTS AND CONTRACTORS
 24414 N. Old McHenry Rd. Lake Zurich, Illinois 60047-8904
 Ph: 847.438.0013 Fax: 847.438.0004 e-mail: general@pugsley.com

VERIZON WIRELESS STORE
 700 East Town Line Road (Westfield Shopping Center) - Vernon Hills, IL
 Renovation Landscape Plan
 Circle H Vernon Hills, LLC
 Lake Forest, IL

Date: 08/07/09
 Sheet: 1 of 2
 Job no. 094007

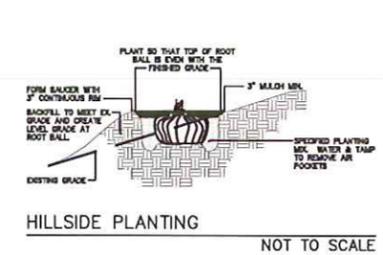
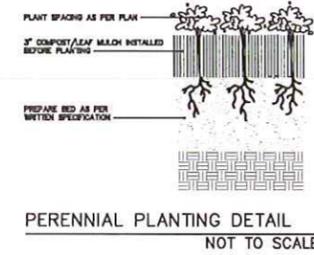
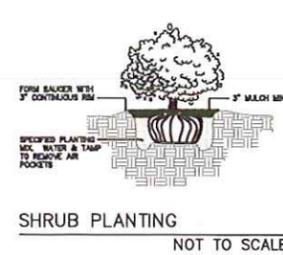
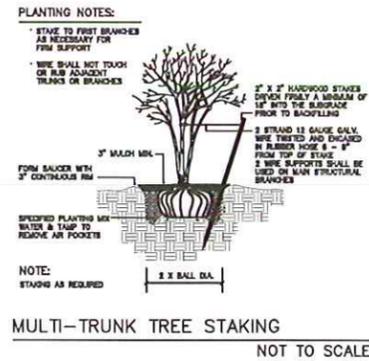
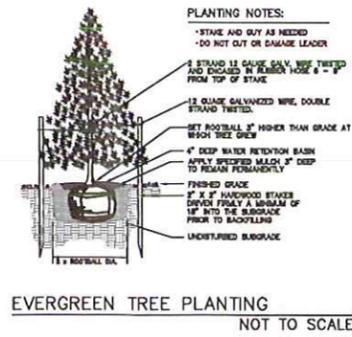
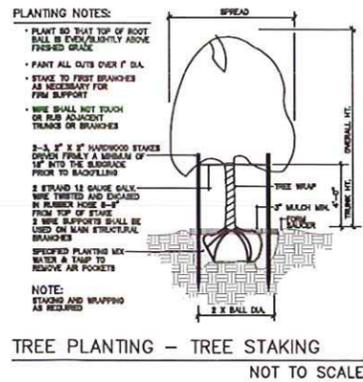


PLANT MATERIAL LIST - TO INSTALL

Code	Qty.	Size	Botanic Name	Common Name
Canopy Trees				
AAB4	3	4" caliper	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple
Ornamental Trees				
HV	8	6'	Hamamelis vernalis	Vernal Witchhazel
MST	9	1.5" (single-stem)	Malus sargentii 'Tina'	Tina Sargent Crabapple
Evergreen Shrubs				
EM	35	24"	Euonymus fortunei 'Moonshadow'	Moonshadow Euonymus
Medium, Deciduous Shrubs				
CSI	39	36"	Cornus sericea 'Isanti Redtwig'	Isanti Redtwig Dogwood
VD	9	36"	Viburnum dentatum	Arrowwood Viburnum
Small, Deciduous Shrubs				
RDKO	58	24"	Rosa x 'Double Knock-Out'	Double Knock-Out Rose
RGL	25	24"	Rhus aromatica 'Gro-Low'	Gro Low Sumac
SB	53	24"	Spiraea betulifolia 'Tor'	Birchleaf Spiraea
Ornamental Grasses				
PAH	262	1 Gal.	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass
Perennials				
NBW	50	1 Gal.	Nepeta faassenii 'Blue Wonder'	Blue Wonder Catmint
RVLS	110	1 Gal.	Rudbeckia var. fulgida 'Vietle's Little Suzy'	Vietle's Little Suzy Catmint
SAF	89	1 Gal.	Sedum x 'Autumn Fire'	Autumn Fire Sedum
Groundcover				
EFC	155	3" Pot	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper
	4	C.Y.		Shredded Hardwood Mulch (exist. plant material)
	28	C.Y.		Shredded Hardwood Mulch (new plant material)
	11	C.Y.		Garden Mx (new plant material)

EXISTING LANDSCAPE CONDITIONS
SCALE: 1" = 20'-0"

NOTE! ALL PLANT MATERIAL PROPOSED FOR REMOVAL IS IN POOR CONDITION &/OR IMPEDING STORE/SIGNAGE VISIBILITY.



PLANTING DETAILS

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PUGSLEY & LAHAIE LTD.
 LANDSCAPE ARCHITECTS AND CONTRACTORS
 24414 N. Old McHenry Rd. Lake Zurich, Illinois 60047-8804
 PH: 847.438.0013 FAX: 847.438.0084 e-mail: general@pugsley.com

Revision: 08/24/09
 For Village Comments: 08/24/09
 For Landscape Review: 08/20/09
 For Village Technical Review: 08/20/09
 For Village Comments: 10/21/09

AS SHOWN

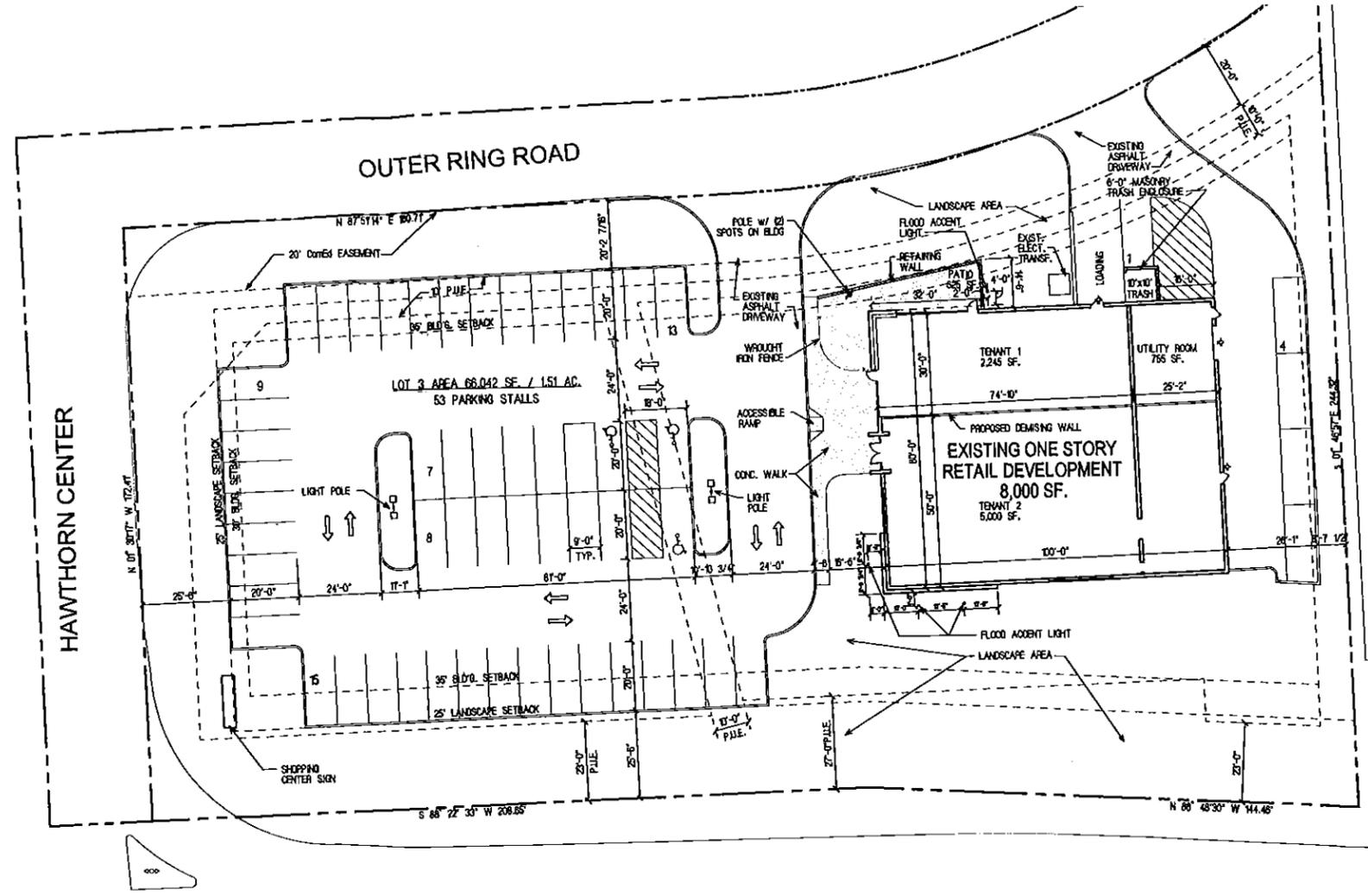
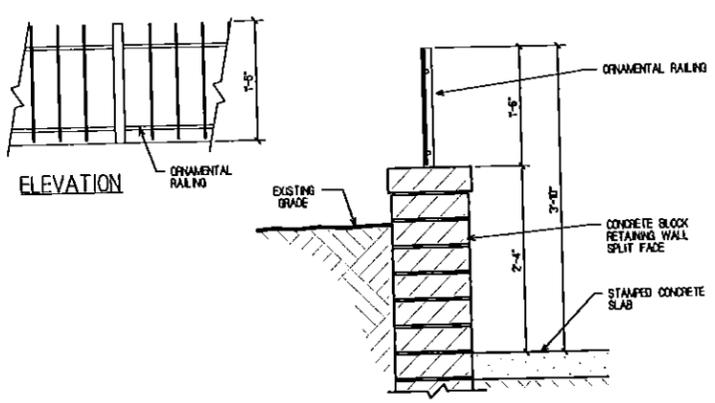
VERIZON WIRELESS STORE
 700 East Town Line Road (Verified Shopping Center) - Vernon Hills, IL
 Renovation Landscape Plan
 Circle H Vernon Hills, LLC
 Lake Forest, IL

DATE: 08/07/09
 SHEET: 2 of 2
 JOB NO. 094007

DATE	JUNE 28, 2009
REVISIONS	OCT. 05, 2009 NOV. 02, 2009

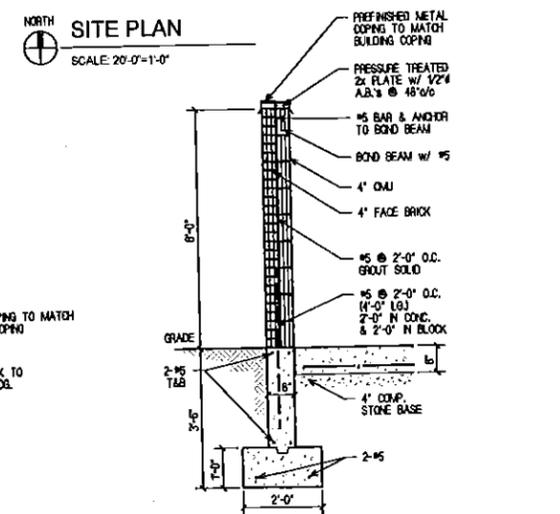
PROPOSED RENOVATIONS
EXISTING ONE STORY BUILDING
LOCATION
700 EAST TOWN LINE ROAD
VERNON HILL, ILLINOIS

Reitan Architects, LLC.
1325 Willey Road - Suite 166 - Schaumburg, Illinois 60173
PH. 847-593-7277 - FAX 847-593-0347
Assumed Name No. 304-004083

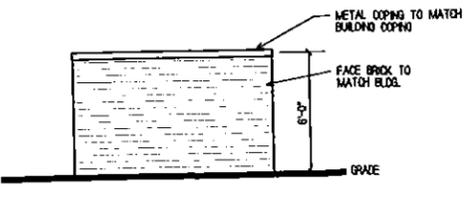
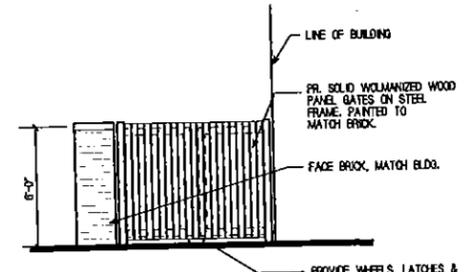
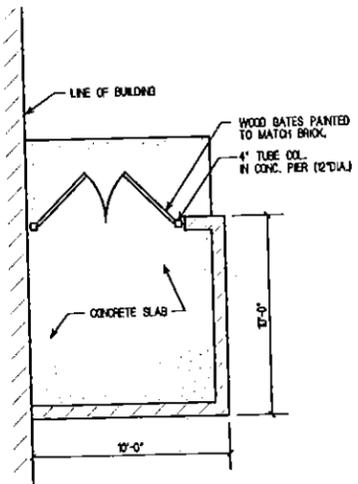


AREA DATA
ZONING: B-1
LOT AREA: 68,042 SF. / 1.51 ACRES
EXISTING BUILDING AREA: 8,000 SF.
PROPOSED TWO TENANTS:
TENANT 1: 2,246 SF. (RESTAURANT)
TENANT 2: 5,000 SF. (RETAIL)

SITE PLAN
SCALE: 20'-0"=1'-0"



PARKING & LOADING REQUIREMENTS:
RETAIL: 1 SPACE / 200 SQ. FT.
RESTAURANT: 1 SPACE / 2 EMPLOYEES PLUS 1 SPACE EQUAL TO 50% OF SEATING CAPACITY.
LOADING: 1 (100%) LOADING BERTH FOR 5,000 TO 10,000 SF.
PARKING FOR TENANT 1 (RESTAURANT) APPROX. 60 SEATS = 6 EMPLOYEES PATIO SEATING APPROX. 22 SEATS PARKING REQUIRED: 40 SPACES
PARKING FOR TENANT 2 (RETAIL) 25 SPACES REQUIRED.
TOTAL PARKING SPACES REQUIRED: 66 SPACES
ACTUAL PARKING ON SITE: 57 SPACES
1 - 100% LOADING BERTH PROVIDED.



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NOV 02 2009
COMMUNITY DEVELOPMENT DEPARTMENT

SHEET NAME	SITE PLAN
SHEET	ST1
OF 2	
PROJECT NO.	0901

DATE	JUNE 29, 2009
REVISIONS	
SEPT. 24, 2009	
JULY 24, 2009	
AUG. 4, 2009	
SEPT. 1, 2009	
SEPT. 15, 2009	
SEPT. 18, 2009	

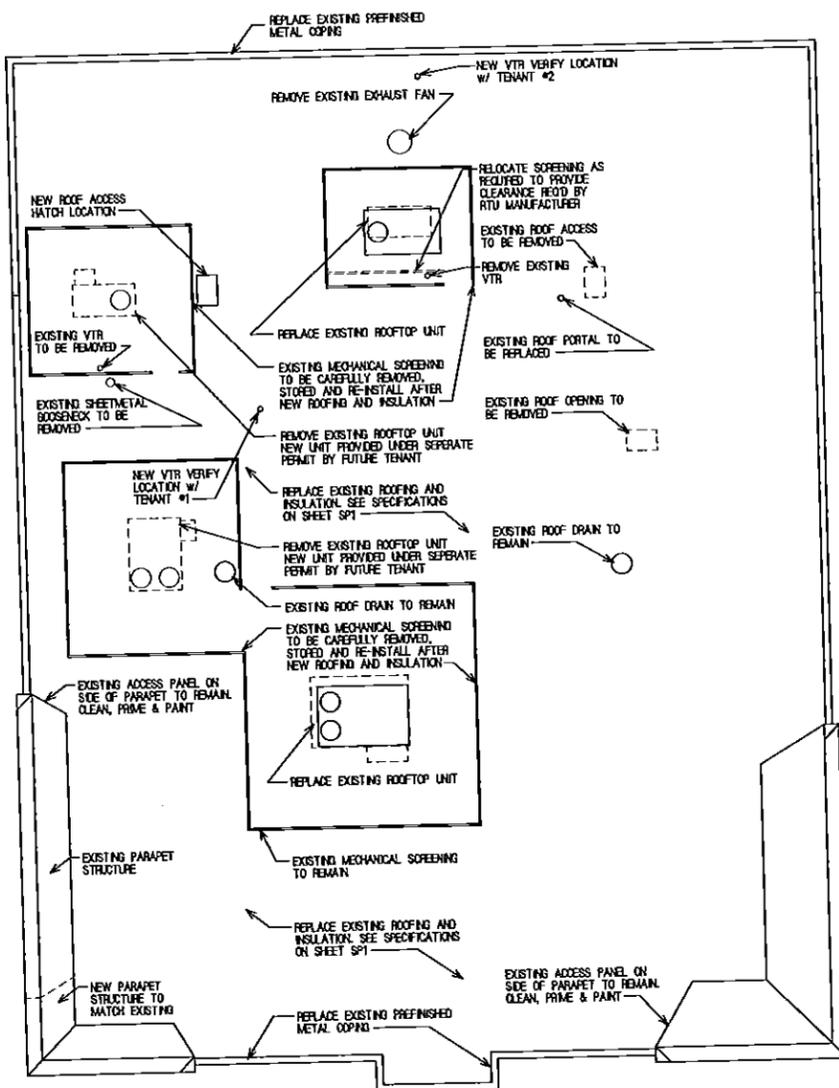
PROPOSED RENOVATIONS
 EXISTING ONE STORY BUILDING
 LOCATION
 700 EAST TOWN LINE ROAD
 VERNON HILL, ILLINOIS

Reitan Architects, LLC.
 1625 Willey Road - Suite 80 - Schaumburg, Illinois 60173
 PH. 847-519-2227 - FAX 847-519-2047
 Assumed Name No. 84-004083

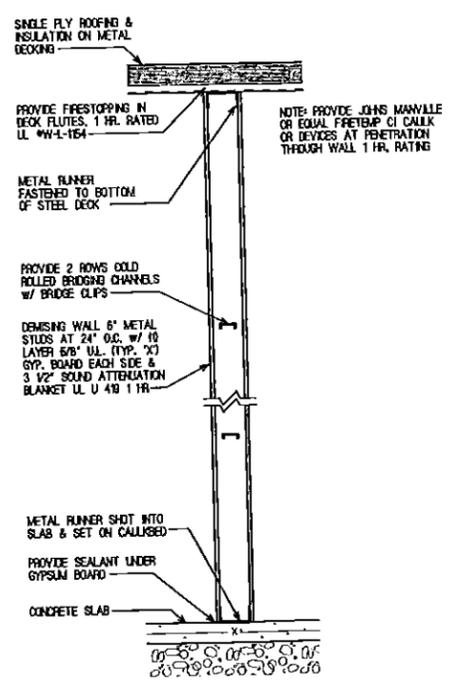
SHEET NAME
 FLOOR PLAN,
 ROOF PLAN,
 SCHEDULES

SHEET
A1
 OF 3

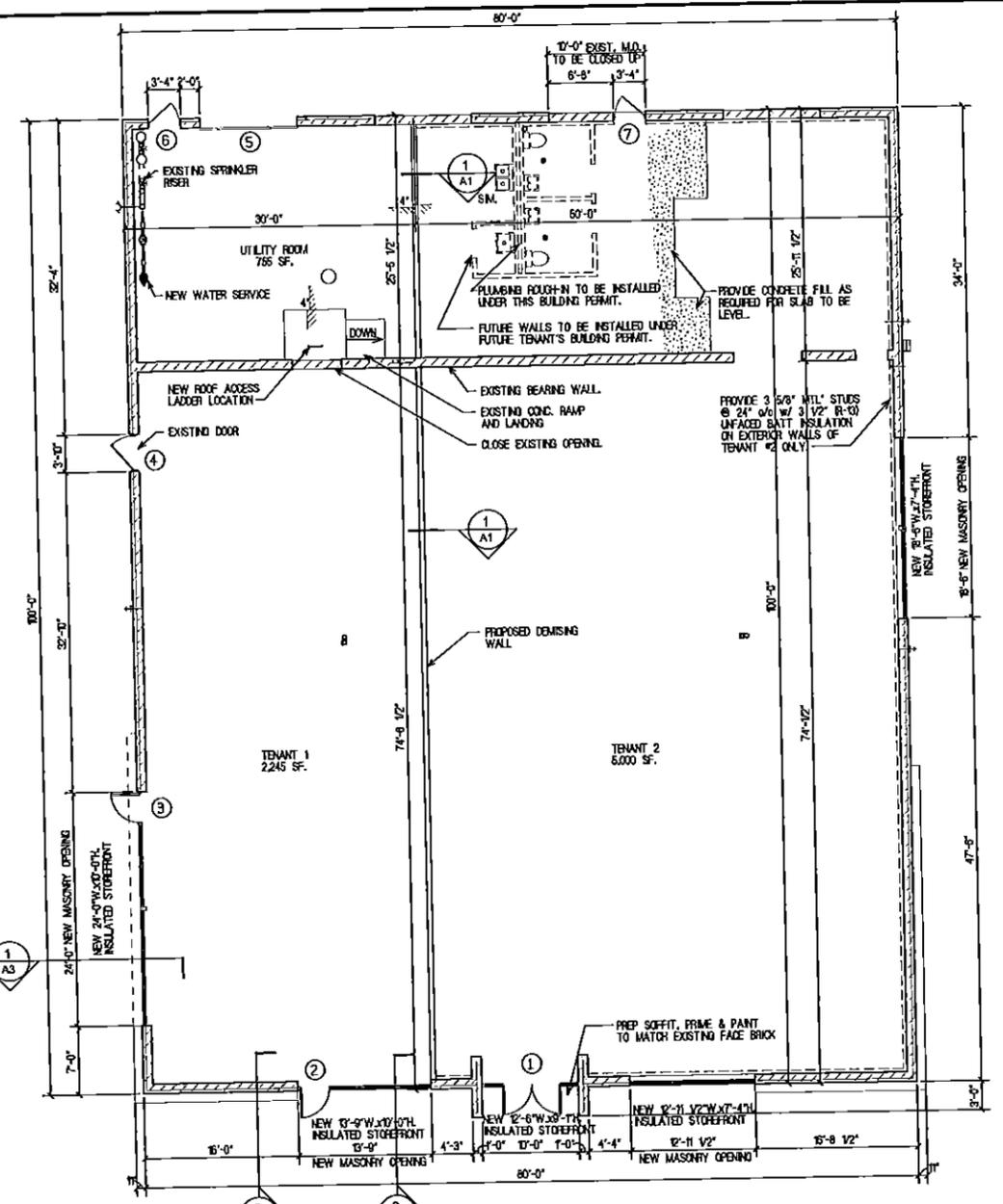
PROJECT NO.
 0901



ROOF PLAN
 NORTH SCALE: 1/8"=1'-0"



1 DEMISING WALL SECTION
 A1 SCALE: 3/4"=1'-0"



FLOOR PLAN
 NORTH SCALE: 1/8"=1'-0"

DOOR AND FRAME SCHEDULE																	
MARK	DOOR				FRAME				FIRE RATING LABEL	HDMR GFF.							
	WD	HGT	THK	GA	ELEV	CORE	GLAZING	LOUVER			FACE FINISH	ELEV	HEAD	JAMB	SILL	GA.	DEPTH
1	20	3'-0"	7'-0"	-	-	C	-	TEMPERED	-	ALUMNL.	-	-	-	-	4 1/2"	-	HW3
2	3	3'-0"	7'-0"	-	-	B	-	TEMPERED	-	ALUMNL.	-	-	-	4 1/2"	-	HW1	
3	3	3'-0"	7'-0"	-	-	B	-	TEMPERED	-	ALUMNL.	-	-	-	4 1/2"	-	HW1	
4	3	3'-0"	7'-0"	EXISTING	-	-	-	EXISTING	-	EXISTING	-	-	-	EXISTING	-	EXISTING	
5	10	10'-0"	10'-0"	EXISTING	-	-	-	EXISTING	-	EXISTING	-	-	-	EXISTING	-	EXISTING	
6	3	3'-0"	7'-0"	1 3/4"	H	A	NSUL.	-	-	GALV. HM	1	4"	-	B	5 3/4"	-	HW2
7	3	3'-0"	7'-0"	1 3/4"	H	A	NSUL.	-	-	GALV. HM	1	4"	-	B	5 3/4"	-	HW2

DOOR AND FRAME GENERAL NOTES

ALL INTERIOR FINISHES TO BE CLASS II OR BETTER.
 ALL DOOR HARDWARE TO BE LEVER TYPE WITH KEY FREE EXIT HARDWARE (THUMB TYPE)
 ALL EXIT DOORS TO BE KEYLESS IN DIRECTION OF EGRESS.
 TENANT TO PROVIDE FIRE EXTINGUISHER AS REQUIRED PER LOCAL CODES.
 PROVIDE ADDRESS NUMBERS FOR TENANTS. SIZE OF NUMBERS TO BE A MINIMUM OF 6" HIGH FOR REAR DOORS. VERIFY THE COLOR (WHITE) & LOCATION WITH THE FIRE DEPARTMENT.

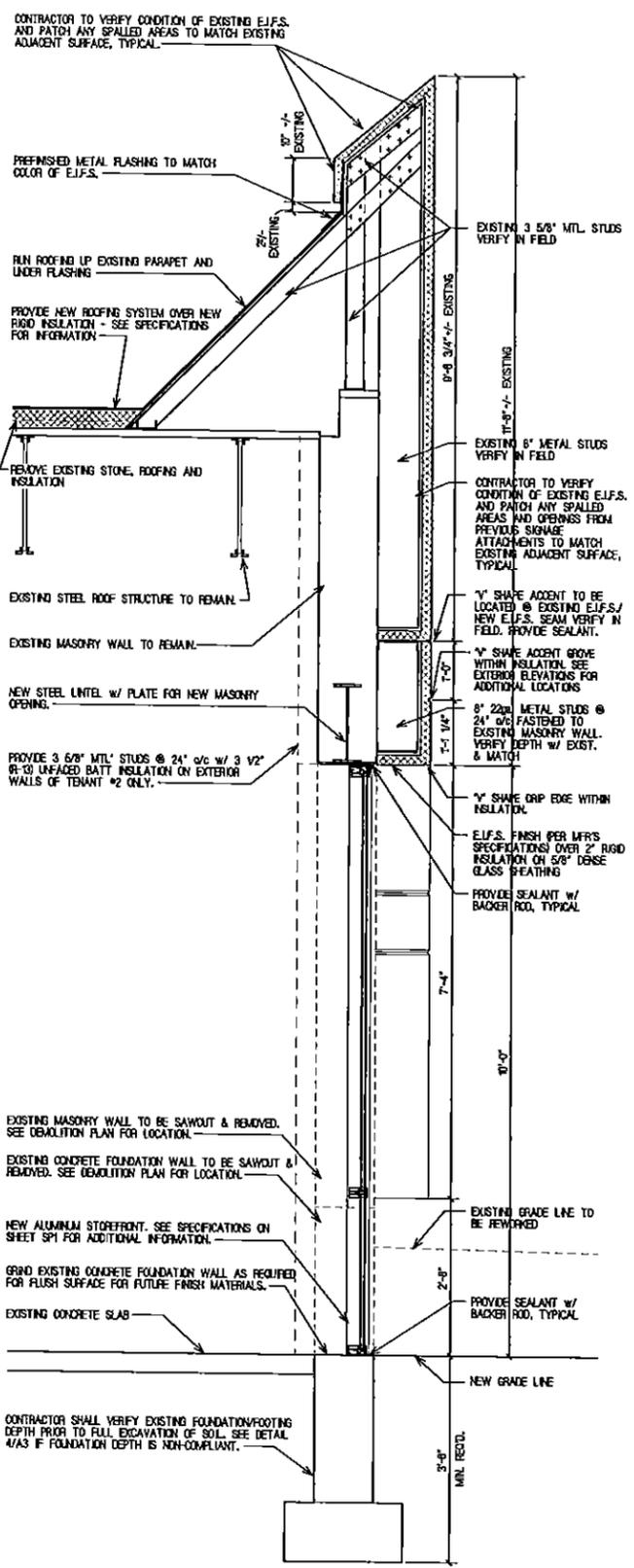
DOOR AND FRAME LEGEND			
HW1	HW2	HW3	HW4
1 SET OFFSET PIVOTS OR 1/2 PR HINGES	1 1/2 PR. BUTT HINGES BR279	1 SET OFFSET PIVOTS (EACH LEAF)	1 1/2 PR. BUTT HINGES BR279
1 CLOSERS	1 CLOSER	1 CLOSER	1 CLOSER
1 ALUMINUM THRESHOLD	1 ALUMINUM THRESHOLD	1 ALUMINUM THRESHOLD	1 ALUMINUM THRESHOLD
1 CYLINDER LOCK (THUMB TURN INSIDE)	1 EXIT DEVICE W/ LOCK	1 CYLINDER LOCK (THUMB TURN INSIDE)	1 LOCKSET
1 SETS - PUSH/PULL HANDLES	1 RAIN HOOD	1 SETS - PUSH/PULL HANDLES	1 RAIN HOOD
1 SET WEATHERSTRIPPING	1 SET WEATHERSTRIPPING	1 SET WEATHERSTRIPPING	1 SET WEATHERSTRIPPING
1 DOOR SWEEP	1 DOOR SWEEP	1 DOOR SWEEP	1 DOOR SWEEP

DATE	JUNE 29, 2009
REVISIONS	NOV. 02, 2009

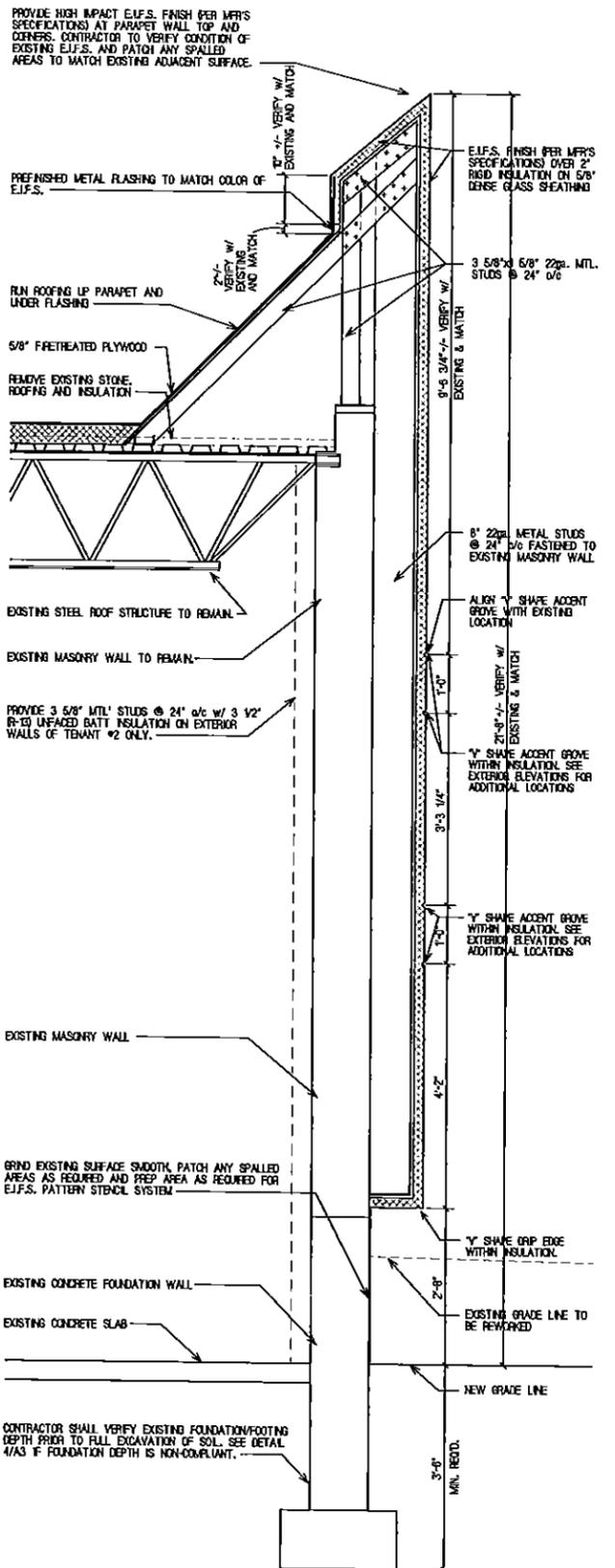
PROPOSED RENOVATIONS
EXISTING ONE STORY BUILDING
 LOCATION
 700 EAST TOWN LINE ROAD
 VERNON HILL, ILLINOIS

Reitan Architects, LLC.
 1325 Wiley Road - Suite 166 - Schaumburg, Illinois 60173
 PH. 847-519-2227 - FAX 847-519-0347
 Assumed Name No. 184-004083

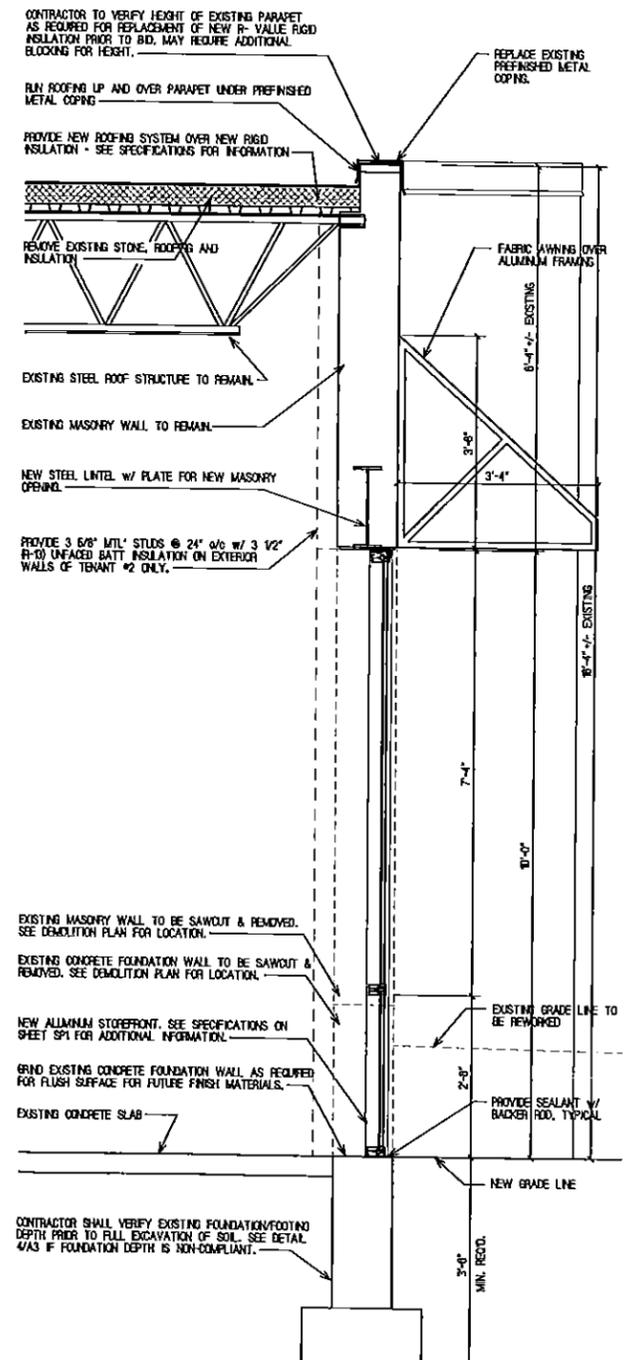
SHEET NAME
SECTIONS & DETAILS
 SHEET
A3
 OF 3
 © Copyright, Reitan Architects, LLC.
 PROJECT NO.
 0901



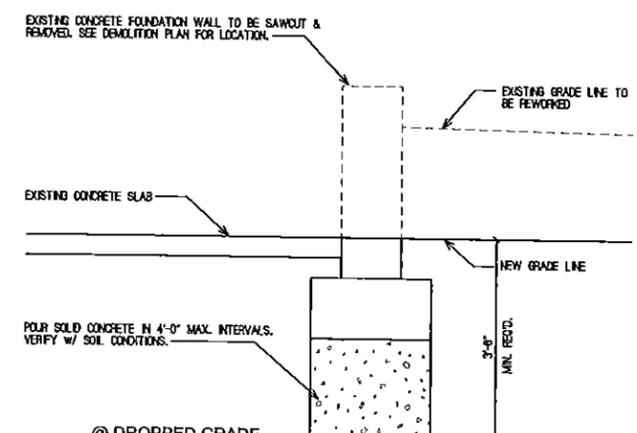
1 WALL SECTION
 SCALE: 3/4"=1'-0"



2 WALL SECTION
 SCALE: 3/4"=1'-0"



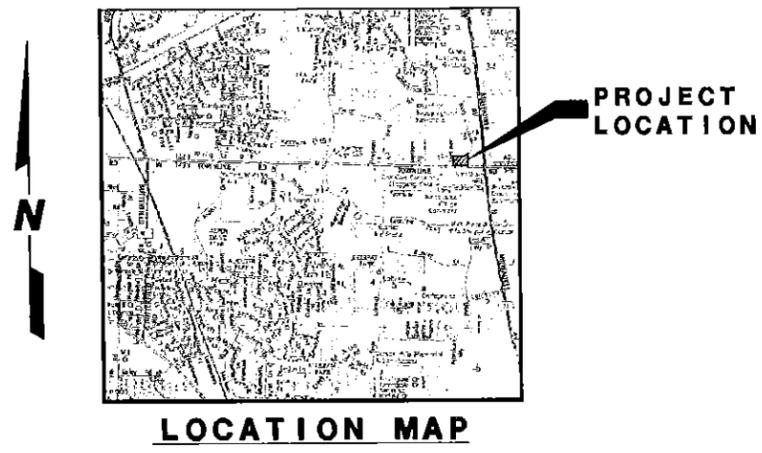
3 WALL SECTION
 SCALE: 3/4"=1'-0"



4 FOUNDATION DETAIL
 @ DROPPED GRADE CONDITION IF REQUIRED
 SCALE: 3/4"=1'-0"

FINAL SITE DEVELOPMENT PLANS FOR **LOT 3 RESUBDIVISION SITE RENOVATION PLAN** **HAWTHORN SHOPPING CENTER** **VERNON HILLS, ILLINOIS** **PARKING LOT AND DRAINAGE IMPROVEMENTS**

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		MANHOLE
		CATCH BASIN INLET
		CLEANOUT
		SLOPE INLET BOX HEADWALL
		END SECTION STORM SEWER
		SANITARY SEWER WATERMAIN
		VALVE & BOX WATER VALVE IN VAULT
		FIRE HYDRANT
		CONTOURS ELEVATIONS
		STREET LIGHT
		WATERMAIN PROTECTION BILT FENCE INLET PROTECTOR
		TEMPORARY STRAW BALE DITCH CHECK BILT FENCE DITCH CHECK
		RIP-RAP
		OVERFLOW ROUTE



INDEX OF SHEETS	
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1	TITLE
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4	DEMOLITION PLAN
5	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
6	SITE GRADING, DRAINAGE AND PAVEMENT PLAN
7	STRIPING AND SIGNAGE PLAN
8	CONSTRUCTION DETAILS
9	PAVEMENT CONSTRUCTION AND RECONSTRUCTION DETAILS
Δ 9A	PAVEMENT CONSTRUCTION AND RECONSTRUCTION DETAILS

BENCHMARKS :

ELEVATION REFERENCE MARKS:

RM218- #5 REBAR AND RED GPS CAP / FLUSH WITH THE GROUND AT SOUTHEAST POINT ON EAST END OF SMALL WALK IN THE SOUTHEAST QUADRANT AT SOUTH ILLINOIS ROUTE 60 AND SOUTH ILLINOIS ROUTE 21.
ELEVATION= 673.10 (NAVD 88) (VERNON HILLS GPS CONTROL - STATION #218)

PROJECT ELEVATION REFERENCE MARKS:

TBM104- CUT "X" IN TOP OF CURB IN MIDDLE OF SOUTH EDGE OF CURB ISLAND APPROXIMATELY 120' EAST OF NORTHWEST CORNER LOT 3 ON NORTH SIDE OF OUTER RING ROAD.
ELEVATION= 688.04 (NAVD 88)

TBM107- CUT "X" IN SOUTHERLY EDGE OF CONCRETE WALK END LOCATED NEAR SOUTHEAST CORNER LOT 3.
ELEVATION= 671.00 (NAVD 88)

FOR UNDERGROUND UTILITY LOCATIONS, CALL J.U.L.I.E. TOLL FREE TEL. 1-800-892-0123 or 811

DATE: _____
RELEASED FOR PLAN REVIEW AND PERMIT PROCESSING ONLY.
IF USED FOR BIDDING PURPOSES, THOSE PARTIES CONCERNED SHALL BE ADVISED THAT REVISIONS MAY BE REQUIRED PRIOR TO PLAN APPROVAL.
NOT ISSUED FOR CONSTRUCTION UNTIL APPROVED BY THE VILLAGE OF VERNON HILLS AND PERMITTED AS REQUIRED.

PROFESSIONAL ENGINEER'S CERTIFICATION

STATE OF ILLINOIS) SS.
COUNTY OF DU PAGE)

I, RANDALL W. BUS, A LICENSED PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THIS TECHNICAL SUBMISSION WAS PREPARED ON BEHALF OF CIRCLE H VERNON HILLS, L.L.C. BY ME OR UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONFORMANCE WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 27th DAY OF October, A.D. 2009. 02-32381

Randall W. Bus
REGISTERED PROFESSIONAL ENGINEER
ILLINOIS LICENSE NO. 064-002337
MY LICENSE EXPIRES ON NOVEMBER 30, 2011.
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002337 OF ILLINOIS EXPIRES APRIL 30, 2011.

NOTE: UNLESS THIS DOCUMENT BEARS THE ORIGINAL IMPRESSED SEAL OF THE DESIGN PROFESSIONAL ENGINEER, IT IS NOT A VALID TECHNICAL SUBMISSION.

PREPARED FOR:
CIRCLE H VERNON HILLS, L.L.C.
1200 WEST KENNICOTT DRIVE
LAKE FOREST, IL 60045
(847) 910-1225

PREPARED BY:
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REVISIONS					
NO.	DATE	SHEETS	NO.	DATE	SHEETS
Δ	09-30-08/SJH	2-9			
Δ	10-02-09/LAL	6 & 7			
Δ	10-29-09/SJH	1, 2, 4-9 & 9A			

JOB NO. 754.001
COMPLETION DATE :
08-07-09
SHEET 1 OF 9

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

GENERAL

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH MUNICIPAL STANDARDS AND WITH THE 2007 EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", APPLICABLE WHEN REFERENCED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK IS STARTED. ALL UTILITIES MUST BE STAKED PRIOR TO CONSTRUCTION.
- IF THE ENGINEER IS RETAINED FOR CONSTRUCTION STAKING SERVICES, THE ENGINEER AND MUNICIPALITY WILL BE GIVEN SEVENTY-TWO (72) HOURS NOTICE FOR ANY STAKING THAT IS TO BE DONE. IF ENGINEER IS CONTRACTED BY OWNER OR CONTRACTOR FOR CONSTRUCTION STAKING SERVICES, EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO CONTRACTOR NEGLIGENCE SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
- THE CONTRACTOR SHALL INFORM THE MUNICIPAL ENGINEER BEFORE WORK COMMENCES ON EACH CATEGORY OF CONSTRUCTION, I.E. WATERMAIN, SANITARY, STREET AND DRAINAGE IMPROVEMENT. A FORTY EIGHT (48) HOUR NOTICE SHALL BE GIVEN FOR ANY ITEM THAT REQUIRE FINAL TESTING AND INSPECTION SUCH AS WATERMANS OR SANITARY SEWERS.
- THE CONTRACTOR RESPONSIBLE FOR WATERMAIN CONSTRUCTION, SANITARY SEWER CONSTRUCTION AND DRAINAGE IMPROVEMENTS (UNDERGROUND WORK) SHALL DISPOSE OF ALL SURPLUS MATERIALS ON THE SITE AS DIRECTED BY THE ENGINEER. NO ADDITIONAL COMPENSATION WILL BE PAID AND SAID WORK SHALL BE INCIDENTAL TO THE OTHER ITEMS OF CONSTRUCTION.
- AFTER CONSTRUCTION STAKING IS PERFORMED, BUT PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE OWNER'S REPRESENTATIVE TO ANY ERRORS OR DISCREPANCIES WHICH MAY BE SUSPECTED IN LINES AND GRADES WHICH ARE ESTABLISHED BY THE OWNER, AND SHALL NOT PROCEED WITH THE WORK UNTIL ANY LINES AND GRADES WHICH ARE BELIEVED TO BE IN ERROR HAVE BEEN VERIFIED OR CORRECTED BY THE OWNER'S REPRESENTATIVE.
- THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE TO PLACE ON GRADE AND COORDINATE WITH OTHER CONTRACTORS ALL UNDERGROUND STRUCTURE FRAMES SUCH AS CATCH BASINS, INLETS, MANHOLES, HYDRANTS, BUFFALO BOXES, VALVES, ETC. NO ADDITIONAL COMPENSATION WILL BE PAID AND SAID ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO OTHER ITEMS OF CONSTRUCTION.
- CONTRACTORS SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS ON A DAILY BASIS.
- CONTRACTORS PERFORMING WORK WITHIN THE R.O.W MUST SECURE A MUNICIPAL R.O.W. PERMIT WHICH MUST BE APPLIED FOR IN PERSON AT THE MUNICIPAL CENTER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS (INCLUDING UTILITY LOCATIONS) PRIOR TO THE INSTALLATION OR FABRICATION OF ANY MATERIALS. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.

TRAFFIC CONTROL AND PROTECTION

- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE COVERED BY THE FOLLOWING SPECIFICATION FOR TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE APPLICABLE ARTICLES OF THE MUNICIPALITY AND THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" ADOPTED JANUARY 1, 2007, THE MILLENNIUM EDITION OF "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND SPECIAL DETAILS OF ILLINOIS HIGHWAY STANDARDS LISTED HEREIN.
- SPECIAL ATTENTION IS CALLED TO ARTICLES 107.09 AND 107.14 OF THE STANDARD SPECIFICATIONS AND THE FOLLOWING HIGHWAY STANDARDS, DETAILS AND SUPPLEMENTAL SPECIFICATIONS AND MIMOGRAPHED SPECIAL PROVISIONS CONTAINED HEREIN, RELATING TO TRAFFIC CONTROL.
- THE CONTRACTOR SHALL CONTACT THE MUNICIPAL ENGINEER AT LEAST SEVENTY-TWO (72) HOURS BEFORE WORK COMMENCES.
- STANDARDS
701501
701502
701701
701801
- AT THE PRECONSTRUCTION MEETING THE CONTRACTOR SHALL FURNISH THE NAME OF THE INDIVIDUAL IN HIS DIRECT EMPLOY WHO IS TO BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE TRAFFIC CONTROL FOR THIS PROJECT. IF THE ACTUAL INSTALLATION AND MAINTENANCE ARE TO BE ACCOMPLISHED BY A SUBCONTRACTOR, CONSENT SHALL BE REQUESTED OF THE ENGINEER AT THE TIME OF THE PRECONSTRUCTION MEETING IN ACCORDANCE WITH ARTICLE 108.01 OF THE STANDARD SPECIFICATIONS. THIS SHALL NOT RELIEVE THE CONTRACTOR OF THE FOREGOING REQUIREMENT FOR A RESPONSIBLE INDIVIDUAL IN HIS DIRECT EMPLOY TO SUPERVISE THIS WORK. THE CONTRACTOR WILL PROVIDE THE NAME OF ITS REPRESENTATIVE WHO WILL BE RESPONSIBLE FOR THE ADMINISTRATION OF THE TRAFFIC CONTROL PLAN.
- THIS ITEM OF WORK SHALL INCLUDE FURNISHING, INSTALLING, MAINTAINING, RELOCATING AND REMOVING ALL TRAFFIC CONTROL DEVICES USED FOR THE PURPOSE OF REGULATING, WARNING OR DIRECTING TRAFFIC DURING THE CONSTRUCTION OR MAINTENANCE OF THIS IMPROVEMENT.
- TRAFFIC CONTROL AND PROTECTION SHALL BE PROVIDED AS CALLED FOR IN THE PLANS, THESE SPECIAL PROVISIONS, APPLICABLE HIGHWAY STANDARDS, APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS, OR AS DIRECTED BY THE ENGINEER.

TRAFFIC CONTROL AND PROTECTION (CONT'D)

- THE FOLLOWING TRAFFIC CONTROL REQUIREMENTS ARE OF SPECIAL IMPORTANCE. CONFORMANCE TO THESE REQUIREMENTS, HOWEVER, SHALL NOT RELIEVE THE CONTRACTOR FROM CONFORMING TO ALL OTHER APPLICABLE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- THE GOVERNING FACTOR IN THE EXECUTION AND STAGING OF WORK FOR THIS PROJECT IS TO PROVIDE THE MOTORING PUBLIC WITH THE SAFEST POSSIBLE TRAVEL CONDITIONS ALONG THE ROADWAY THROUGH THIS CONSTRUCTION ZONE. THE CONTRACTOR SHALL SO ARRANGE HIS OPERATION AS TO KEEP THE CLOSING OF ANY LANE OF THE ROADWAY TO A MINIMUM.
- ALL TRAFFIC CONTROL DEVICES USED ON THIS PROJECT SHALL CONFORM TO THE PLANS, SPECIAL PROVISIONS, TRAFFIC CONTROL STANDARDS, "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL DEVICES" AND THE "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS". NO MODIFICATION OF THESE REQUIREMENTS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- TRAFFIC CONTROL DEVICES INCLUDE: SIGNS AND THEIR SUPPORTS, SIGNALS, PAVEMENT MARKINGS, BARRICADES WITH SAND BAGS, CHANNELIZING DEVICES, WARNING LIGHTS, ARROWBOARDS, FLAGGERS, OR ANY OTHER DEVICE USED FOR THE PURPOSE OF REGULATING, WARNING, OR GUIDING TRAFFIC THROUGH THE CONSTRUCTION ZONE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION, INSTALLATION, AND ARRANGEMENT OF ALL TRAFFIC CONTROL DEVICES. SPECIAL ATTENTION SHALL BE GIVEN TO ADVANCE WARNING SIGNS DURING CONSTRUCTION OPERATIONS IN ORDER TO KEEP LANE ASSIGNMENT CONSISTENT WITH BARRICADE PLACEMENT AT ALL TIMES. THE CONTRACTOR SHALL COVER ALL TRAFFIC CONTROL DEVICES WHICH ARE INCONSISTENT WITH DETOUR OR LANE ASSIGNMENT PATTERNS DURING THE TRANSITION FROM ONE CONSTRUCTION STAGE TO ANOTHER.
- CONSTRUCTION SIGNS REFERRING TO DAYTIME LANE CLOSURE DURING WORKING HOURS SHALL BE REMOVED OR COVERED DURING NON-WORKING HOURS.
- THE CONTRACTOR SHALL COORDINATE ALL TRAFFIC CONTROL WORK ON THIS PROJECT WITH ADJOINING OR OVERLAPPING PROJECTS, INCLUDING BARRICADE PLACEMENT AND DETOUR PATTERNS TO PROVIDE A UNIFORM TRAFFIC DETOUR PATTERN. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REMOVE ALL TRAFFIC CONTROL DEVICES WHICH WERE FURNISHED, INSTALLED AND MAINTAINED BY HIM UNDER THIS CONTRACT, AND SUCH DEVICES SHALL REMAIN THE PROPERTY OF THE CONTRACTOR. ALL TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL SPECIFIC AUTHORIZATION FOR RELOCATION OR REMOVAL IS RECEIVED FROM THE ENGINEER.
- THE CONTRACTOR SHALL ENSURE THAT ALL TRAFFIC CONTROL DEVICES INSTALLED BY HIM ARE OPERATIONAL 24 HOURS A DAY, INCLUDING SUNDAYS AND HOLIDAYS.
- THE CONTRACTOR SHALL PROVIDE A MANDED TELEPHONE ON A CONTINUOUS 24-HOUR-A-DAY BASIS TO RECEIVE NOTIFICATION OF ANY DEFICIENCIES REGARDING TRAFFIC CONTROL AND PROTECTION AND SHALL DISPATCH WORKERS, MATERIALS AND EQUIPMENT TO CORRECT ANY SUCH DEFICIENCIES. THE CONTRACTOR SHALL RESPOND TO ANY CALL FROM THE MUNICIPAL ENGINEER CONCERNING ANY REQUEST FOR IMPROVING OR CORRECTING TRAFFIC CONTROL DEVICES AND BEGIN MAKING THE REQUESTED REPAIRS WITHIN TWO HOURS FROM THE TIME OF NOTIFICATIONS.
- WHEN TRAVELING IN LANES OPEN TO PUBLIC TRAFFIC, THE CONTRACTOR'S VEHICLES SHALL ALWAYS MOVE WITH AND NOT AGAINST OR ACROSS THE FLOW OF TRAFFIC. THESE VEHICLES SHALL ENTER OR LEAVE WORK AREAS IN A MANNER WHICH WILL NOT BE HAZARDOUS TO, OR INTERFERE WITH, TRAFFIC AND SHALL NOT PARK OR STOP EXCEPT WITHIN DESIGNATED WORK AREAS. PERSONAL VEHICLES SHALL NOT PARK WITHIN THE RIGHT-OF-WAY EXCEPT IN SPECIFIC AREAS DESIGNATED BY THE ENGINEER.
- ANY DROP OFF GREATER THAN THREE INCHES, BUT LESS THAN SIX INCHES WITHIN EIGHT FEET OF THE PAVEMENT EDGE SHALL BE PROTECTED BY TYPE I OR II BARRICADES EQUIPPED WITH MONO-DIRECTIONAL STEADY BURN LIGHTS AT 100 FOOT CENTER TO CENTER SPACING. IF THE DROP OFF WITHIN EIGHT FEET OF THE PAVEMENT EDGE EXCEEDS SIX INCHES, THE BARRICADES MENTIONED ABOVE SHALL BE PLACED AT 50 FOOT CENTER TO CENTER SPACING. BARRICADES THAT MUST BE PLACED IN EXCAVATED AREAS SHALL HAVE LEG EXTENSIONS INSTALLED SUCH THAT THE TOP OF THE BARRICADE IS IN COMPLIANCE WITH THE HEIGHT REQUIREMENTS OF STANDARD 2299. SIGNS OR OTHER DELINEATING DEVICES MAY BE SUBSTITUTED FOR TYPE I OR II BARRICADES WITH THE APPROVAL OF THE ENGINEER.
- CHECK BARRICADES SHALL BE PLACED IN WORK AREAS PERPENDICULAR TO TRAFFIC EVERY 100 FEET, ONE (1) PER LANE AND SHOULD BE TO PREVENT MOTORISTS FROM USING WORK AREAS AS A TRAVELED WAY. ADDITIONAL CHECK BARRICADES SHALL BE PLACED IN ADVANCE OF ANY HAZARD IN THE WORK AREAS WHICH WOULD ENDANGER A MOTORIST. CHECK BARRICADES SHALL BE TYPE I OR II AND EQUIPPED WITH A FLASHING LIGHT.
- PLACEMENT OF ALL SIGNS AND BARRICADES SHALL PROCEED IN THE DIRECTION OF FLOW OF TRAFFIC. REMOVAL OF ALL SIGNS AND BARRICADES SHALL START AT THE END OF THE CONSTRUCTION AREAS AND PROCEED TOWARD ONCOMING TRAFFIC UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- DELAYS TO THE CONTRACTOR CAUSED BY COMPLYING WITH THESE REQUIREMENTS WILL BE CONSIDERED INCIDENTAL TO THE ITEM FOR TRAFFIC CONTROL AND PROTECTION, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- THIS ITEM OF WORK WILL BE MEASURED ON A LUMP SUM BASIS FOR FURNISHING, INSTALLING, MAINTAINING, RELOCATING AND REMOVING THE TRAFFIC CONTROL DEVICES REQUIRED IN THE PLANS AND THESE SPECIAL PROVISIONS. PAYMENT FOR TRAFFIC CONTROL AND PROTECTION SHALL BE CONSIDERED AS INCLUDED IN THE WORK BEING DONE OR AS SPECIFIED IN THE PLANS.
- ADJACENT ROADWAYS MUST REMAIN OPEN TO TWO-WAY TRAFFIC AT ALL TIMES UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.
- IF NECESSARY, ANY TEMPORARY LANE CLOSURES ON ADJACENT ROADWAYS MUST BE COORDINATED WITH AND APPROVED BY MUNICIPAL STAFF.

TRAFFIC CONTROL AND PROTECTION (CONT'D)

- DURING THE PERIOD OF TIME WHEN THE PUBLIC SIDEWALK IS CLOSED, "SIDEWALK CLOSED" SIGNS MUST BE PLACED WITH POSITIVE DIRECTION TO PEDESTRIANS. A SIGN SHOULD BE PLACED AT THE EXTENT OF THE WORK ZONE TO DIRECT PEOPLE TO USE ALTERNATE SIDEWALKS.
- ALL CONTRACTOR AND SUB-CONTRACTOR VEHICLES MUST BE PARKED OFF OF PUBLIC STREETS UNLESS AUTHORIZED BY THE MUNICIPAL ENGINEER.

SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION

STANDARDS:
THE FOLLOWING PUBLICATIONS WILL BE USED AS A GUIDE FOR THE IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL:

- ILLINOIS URBAN MANUAL STANDARDS AND SPECIFICATIONS (FEBRUARY 2002), AND THE VILLAGE OF VERNON HILLS DEVELOPMENT REGULATIONS.

REQUIREMENTS:

- SEDIMENT AND EROSION CONTROLS SPECIFIED ON THE PLANS WILL BE FUNCTIONAL BEFORE ANY EARTHWORK OPERATIONS COMMENCE OR BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
- STOCKPILES OF EARTH MATERIAL WILL BE PLACED AT LOCATIONS AS INDICATED ON THE PLANS. A SILT FENCE WILL BE PLACED AROUND THE BASE OF THE STOCKPILE WHERE INDICATED. STOCKPILES OF SOIL SHALL NOT BE LOCATED IN SPECIAL MANAGEMENT AREAS.
- SHOULD THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF TEMPORARILY INCREASE DURING CONSTRUCTION, THEN ADDITIONAL MEASURES TO PROTECT ADJACENT PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM SHALL BE UNDERTAKEN.
- STORM SEWER INLETS SHALL BE PROTECTED BY INLET PROTECTION APPROVED BY THE VILLAGE ENGINEER.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.
- WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING WILL BE FILTERED.
- VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A CONSTRUCTION ENTRANCE. SAID CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS.
- THE DESIGNATED CONSTRUCTION ACCESS ROAD WILL BE MAINTAINED WITH CONNECTION TO ADJACENT PUBLIC ROADWAY. THIS ACCESS ROAD WILL BE UTILIZED AS A VEHICLE WASH DOWN AREA TO PREVENT A DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ADJACENT ROADWAYS WILL BE SWEEPED OR CLEANED OF SOIL, MUD, DEBRIS OR EXCESSIVE MATERIALS AS NECESSARY BEFORE THE END OF EACH WORKDAY.
- ALL CONTROL MEASURES NECESSARY WILL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGH THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT EROSION CONTROL IS OPERATIONAL.
- IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.

MAINTENANCE:

THE EXCAVATING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INITIAL CONSTRUCTION OF THE EROSION CONTROL MEASURES SHOWN IN THE PLAN, AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID FACILITIES UNTIL THE COMPLETION OF FINAL GRADING OPERATIONS AFTER CONSTRUCTION OF THE IMPROVEMENTS. THE CONTRACTOR SHALL REQUEST IN WRITING A RELEASE FROM THE OWNER FOR MAINTENANCE OF THE SITE UPON COMPLETION OF THE WORK. THE OWNER SHALL ISSUE SAID RELEASE WITHIN 15 DAYS OF THE CONTRACTOR'S REQUEST PROVIDING THE CONTRACTOR HAS COMPLETED ALL WORK REQUIRED UNDER THE CONTRACT. THE CONTRACTOR'S EROSION CONTROL MAINTENANCE RESPONSIBILITIES SHALL BE EXCLUSIVE OF THE CONSTRUCTION WARRANTY AND/OR GUARANTEE PERIOD.

INSPECTION BY OWNER:

- QUALIFIED PERSONNEL (PROVIDED BY THE PERMITTEE) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCH OR GREATER OR EQUIVALENT SNOWFALL.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
 - BASED ON THE RESULTS OF THE INSPECTION, THE PLAN AND EROSION CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. SUCH MODIFICATIONS SHALL PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THE PLAN WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE INSPECTION.
 - A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION CONTROL PLAN, AND ACTIONS TAKEN SHALL BE MADE AND RETAINED FOR AT LEAST THREE YEARS AFTER THE DATE OF INSPECTION.

SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION (CONT'D)

- THE PERMITTEE SHALL COMPLETE AND SUBMIT WITHIN FIVE (5) DAYS AN "INDICATOR OF NON-COMPLIANCE" REPORT FOR ANY VIOLATION OF THE EROSION CONTROL PLAN OBSERVED DURING AN INSPECTION CONDUCTED, INCLUDING THOSE NOT REQUIRED BY THE PLAN. SUBMISSION SHALL BE ON FORMS PROVIDED BY THE AGENCY AND INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NON-COMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NON-COMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NON-COMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NON-COMPLIANCE.

CONTRACTORS:

- ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN THE NPDES PERMIT MUST SIGN A COPY OF THE CERTIFICATION STATEMENT IN PARAGRAPH B BELOW, EXCEPT FOR OWNERS THAT ARE ACTING AS CONTRACTOR.

B. CERTIFICATION STATEMENT:

- CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONWIDE POLLUTANT ELIMINATION SYSTEM (NPDES) PERMIT (ILR0000) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH THE ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE; THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM; THE ADDRESS (OR OTHER IDENTIFYING DESCRIPTION) OF THE SITE; AND THE DATE THE CERTIFICATION IS MADE.

EARTHWORK, GRADING AND PAVING

- WORK UNDER THIS SECTION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- CLEARING AND REMOVAL OF ALL UNSUITABLE TREES AND OTHER VEGETATIVE GROWTH WITHIN THE CONSTRUCTION AREA. TREE REMOVAL SHALL BE DESIGNATED BY THE OWNER AND SHALL BE KEPT TO A MINIMUM.
- STRIPPING OF TOPSOIL FROM ALL STREET, DRIVEWAY, PARKING LOT, RIGHT-OF-WAY, BUILDING PAD AND OTHER DESIGNATED STRUCTURAL AREAS.
- STOCKPILING OF TOPSOIL AT LOCATIONS AS DIRECTED BY THE OWNER. TOPSOIL STOCKPILED FOR FUTURE USE SHALL BE RELATIVELY FREE FROM LARGE ROOTS, STICKS, WEEDS, BRUSH, STONES LARGER THAN ONE (1) INCH DIAMETER, OR OTHER LITTER AND WASTE PRODUCTS INCLUDING EXCESSIVE MATERIALS NOT CONDUCTIVE TO PLANT GROWTH. TOPSOIL SHALL BE STOCKPILED IN SEQUENCE TO ELIMINATE ANY REHANDLING OR DOUBLE MOVEMENTS BY THE CONTRACTOR. FAILURE TO PROPERLY SEQUENCE THE STOCKPILING OPERATIONS SHALL NOT CONSTITUTE A CLAIM FOR ADDITIONAL COMPENSATION. NO MATERIAL SHALL BE STOCKPILED IN FRONT YARDS OR OVERLAND DRAINAGE SWALES (FLOOD ROUTING AREAS), IN PROPOSED UTILITY LOCATIONS, IN UTILITY EASEMENTS OR IN THE RIGHT-OF-WAY.
- REMOVAL OF UNSUITABLE MATERIALS AS SPECIFIED FROM ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
- CLAY CUT AND CLAY FILL WITH COMPACTION WITHIN ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
- EXCAVATION AND GRADING OF THE OPEN SPACE, AND/OR YARD AREAS PER PLAN INCLUDING CONSTRUCTION OF BERMS, ETC.
- PLACEMENT AND COMPACTION OF STRUCTURAL MATERIAL TO THE DESIGN SUBGRADE ELEVATIONS AS REQUIRED BY THE STANDARDS AND DETAILS ON THE CONSTRUCTION PLANS. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT AND/OR TOPSOIL REPLACEMENT THICKNESS MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.
- IF REQUIRED, BORROW PIT EXCAVATION OF STRUCTURAL MATERIAL AND REFILL OF PIT WITH NON-STRUCTURAL MATERIAL.
- PLACEMENT AND COMPACTION OF NON-STRUCTURAL FILLS.
- MOVEMENT AND COMPACTION OF SPILL MATERIAL FROM THE CONSTRUCTION OF UNDERGROUND UTILITIES.
- BACKFILLING OF CURBS AND/OR PAVEMENT AND SIDEWALK AFTER INSTALLATION OF SAME BY THE PAVING CONTRACTOR.
- FINAL SHAPING AND TRIMMING TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN IN THESE PLANS; AND TOPSOIL PLACEMENT TO DESIGN FINISHED GRADE ELEVATIONS.
- SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS.

- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SHALL NOTIFY THE ENGINEER AT ONCE OF ANY DISCREPANCIES. THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL GUTTER FLAPS AND PAVEMENTS ARE PITCHED PROPERLY TO ACHIEVE THIS DRAINAGE PATTERN.
- MATERIALS TESTING, IF REQUIRED BY THE MUNICIPALITY, SHALL BE PROVIDED BY THE CONTRACTOR, THIS ITEM WILL NOT BE PAID FOR SEPARATELY BUT INCLUDED IN THE VARIOUS ITEMS OF WORK.
- DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHALL INSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. SITE DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING OR ANY OTHER ACCEPTABLE METHOD. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIAL CREATED AS A RESULT THEREOF.

EARTHWORK, GRADING AND PAVING (CONT'D)

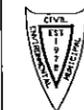
- IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER. NO UNDERCUT SHALL BE PERFORMED WITHOUT AUTHORIZATION FROM OWNER AND ASSIGNMENT OF AN EWO NUMBER.
- THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
- THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.
- THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"); IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT GREATER THICKNESSES, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.
- EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, PARKING LOT AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-THREE PERCENT (93%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER.
- THE SURFACE VEGETATION, TOPSOIL AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHOULD BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE SOILS RUN DEEPER THAN ONE INCH UNDER THE CONSTRUCTION EQUIPMENT OR IF THE MOISTURE CONTENT EXCEEDS THAT NEEDED FOR PROPER COMPACTION, THE SOIL SHALL BE SCARIFIED, DRIED AND RECOMPACTED TO THE REQUIRED SPECIFICATIONS (SEE SECTION 301.03 OF THE IDOT SPECIFICATIONS).
- COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND YARD/OPEN SPACE AREAS SHALL BE WITHIN A TOLERANCE OF PLUS OR MINUS ONE-TENTH OF A FOOT (0.1') OF DESIGN SUBGRADE ELEVATIONS.
- THE SUBGRADE FOR PROPOSED PARKING LOT AND DRIVEWAY PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND PER THE REQUIREMENTS OF THE VILLAGE OF VERNON HILLS DEVELOPMENT REGULATIONS, SECTION 4. ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE ENGINEER AND SOILS ENGINEER. ANY UNDERCUT AND REPLACEMENT NECESSARY WILL BE MEASURED FOR PAVEMENT AT THE CONTRACT UNIT PRICE.

FIRE PREVENTION BUREAU NOTES

- ACCESS TO AND THROUGH THE PROJECT SHALL BE PROVIDED DURING THE RENOVATION PROCESS.
- EXISTING FIRE PROTECTION SYSTEMS I.E. FIRE ALARM AND SPRINKLER SYSTEMS SHALL REMAIN IN SERVICE DURING THE RENOVATION. DURING THE CONSTRUCTION PHASE, THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO ASSURE THE FIRE PROTECTION SYSTEMS ARE MAINTAINED, SERVICED AND PROTECTED TO PREVENT FALSE ALARMS AND DAMAGE. FIRE ALARM INITIATING AND SIGNALING DEVICES SHALL BE PROTECTED FROM DAMAGE.
- THE EXISTING SPRINKLER AND FIRE ALARM SYSTEMS FOR THIS BUILDING WILL REQUIRE MODIFICATIONS. THE CONTRACTOR HAS AGREED TO MAINTAIN FULL SPRINKLER PROTECTION DURING THE DEMO/CLEAN-UP PROJECT. FINAL MODIFICATIONS TO THE SYSTEMS WILL BE RESOLVED WITHIN 90 DAYS FROM THE STARTING DATE OF THE DEMO/CLEAN-UP PROJECT. SYSTEM MODIFICATIONS SHALL BE IN ACCORDANCE WITH IBC & IFC 2006, LOCAL CODE AMENDMENTS AND COOP FIRE SAFETY PRACTICES. SPRINKLER AND FIRE ALARM CONTRACTOR SHOP DRAWINGS AND MANUFACTURER'S SPECIFICATIONS (CUT SHEETS) FOR THE MODIFICATIONS OF THE AUTOMATIC SPRINKLER AND FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND PERMIT.
- FIRE LANES SIGNS SHALL BE POSTED ALONG THE EAST AND WEST SIDE OF THE BUILDING WHICH IS THE ACCESS ENTRANCES FOR FIRE DEPARTMENT APPARATUS. THE SIGNS SHALL READ "NO PARKING - FIRE LANE". THE SIGN SHALL BE 12 INCHES WIDE BY 18 INCHES HIGH, WITH RED LETTERING AND A WHITE BACKGROUND. SIGNS ARE TO BE INSTALLED PRIOR TO OCCUPANCY AND MAINTAINED BY THE PROPERTY OWNER ON ALL NON-PUBLIC DRIVES AND PARKING AREA. FIRE LANES SHALL BE MAINTAINED SO THAT THERE ARE NO OBSTRUCTIONS, INCLUDING ICE OR SNOW, TO VEHICULAR ACCESS.
- ADDRESS NUMBER WILL BE REQUIRED TO BE POSTED ON THE FRONT ENTRANCE AND ANY MOVEMENT SIGN. THIS IS CRITICAL TO EMERGENCY RESPONSE PERSONNEL IN QUICKLY FINDING THE LOCATION. TENANT SPACES WILL ALSO BE REQUIRED TO POST THEIR UNIT NUMBER ON THE FRONT AND REAR DOORS.
- ADDITIONAL FIRE AND SAFETY REQUIREMENTS ARE SUBJECT TO A BUILDING PERMIT PLAN REVIEW.

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PLOT FILE CREATED: 10/29/2009 12:08 PM BY: GREGORY STAEKEL

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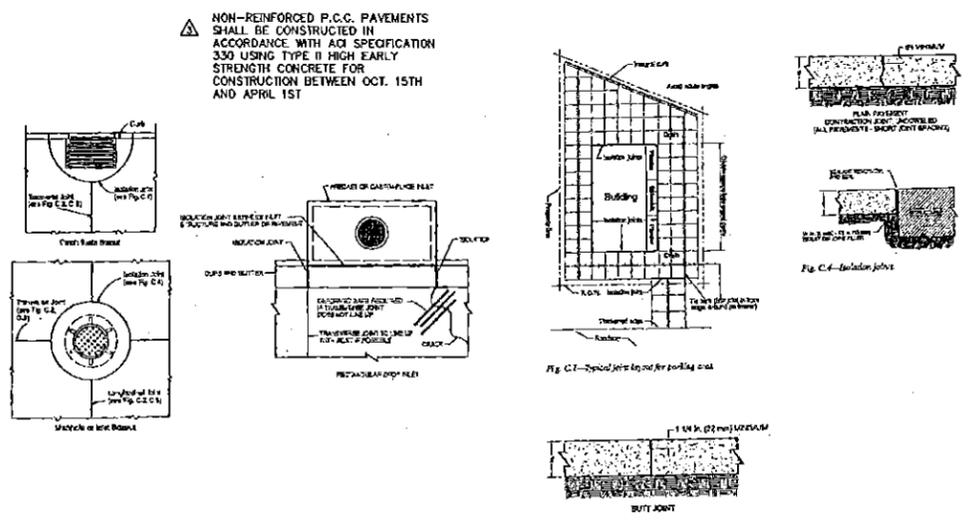
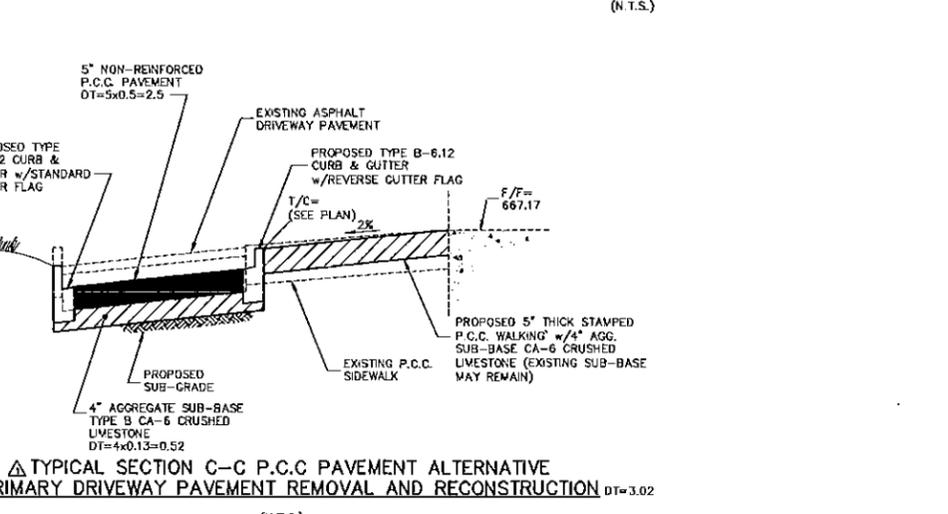
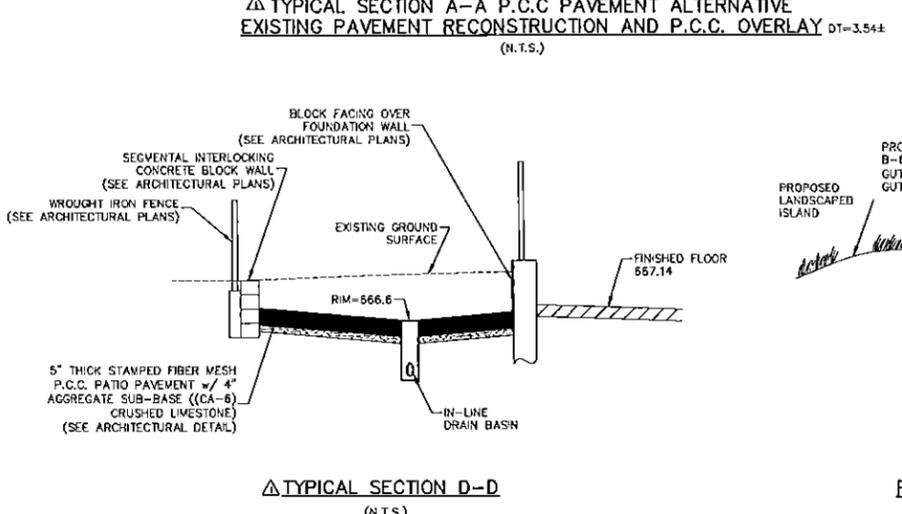
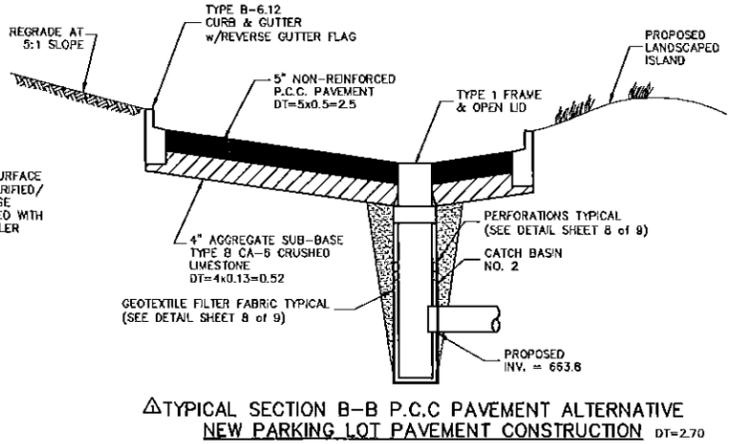
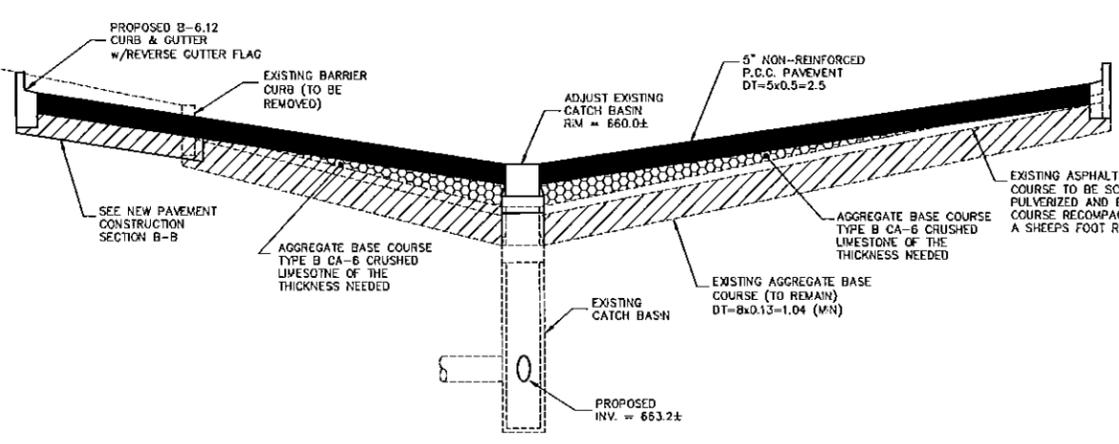
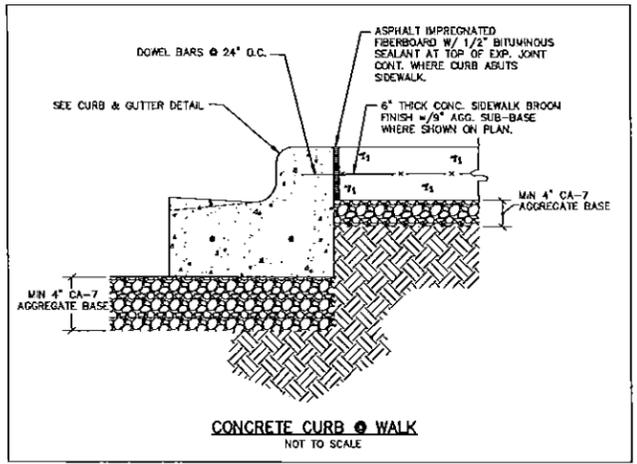
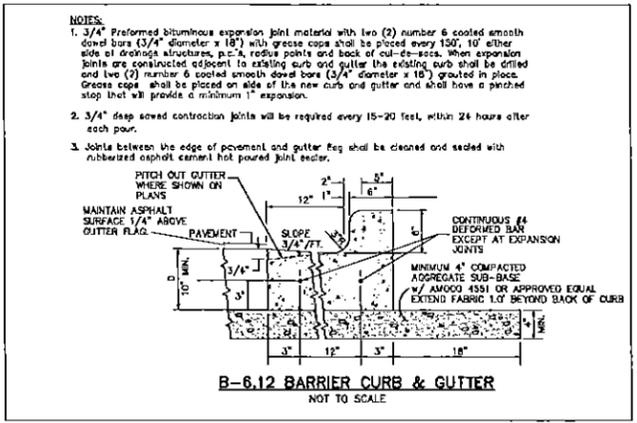
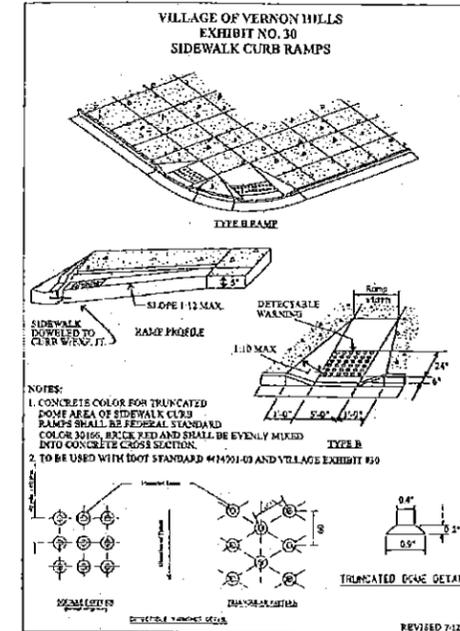
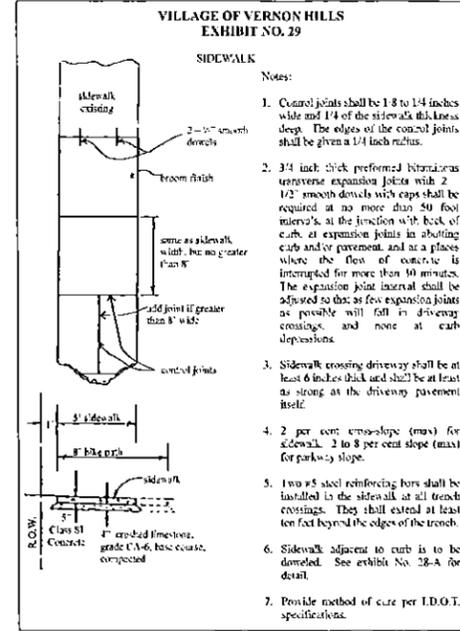
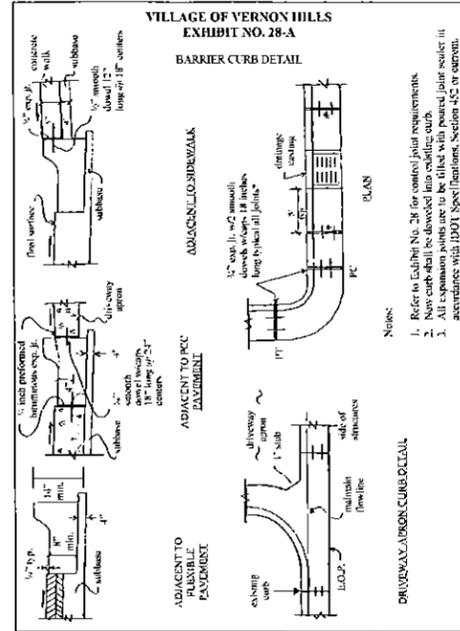
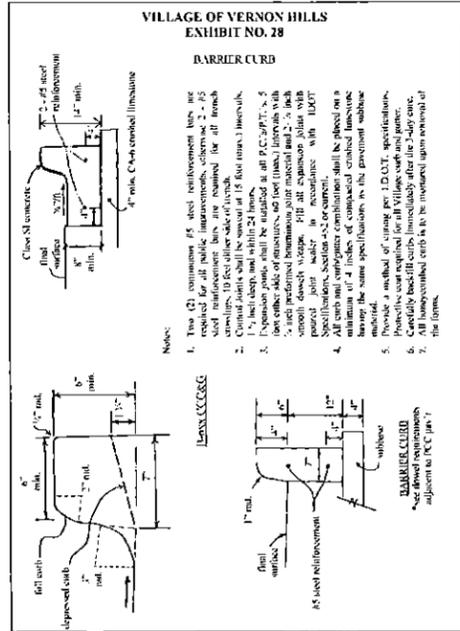
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REVISIONS			
NO.	DATE	DESCRIPTION	
1	09-30-09/SAH	TECHNICAL REVIEW 1	
2	10-29-09/SAH	REVISIONS PER VILLAGE REVIEW LETTER DATED 10-20-09	

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

LOT 3 RESUBDIVISION SITE RENOVATION PLAN – HAWTHORN SHOPPING CENTER

FILE NAME: GENNOTES	DSGN. BY: RWB	JOB NO.: 754.001	FLD. BK./PG.: ---	SHEET NO. 2 of 9
DIR: 754001	DRN. BY: JCC	DATE: 08-07-09	SCALE: 1" = ---	



DRAWING LAST SAVER: 10/29/2009 12:03 PM BY KRIS STAMERL. DRAWING FILE CREATED: 10/29/2009 12:09 PM BY KRISTIN STAMERL.

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NO.		DATE		DESCRIPTION		REVISIONS	
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	NO.	DATE
1	10-29-09/SM	REVISIONS PER VILLAGE REVIEW LETTER DATED 10-20-09					

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PAVEMENT CONSTRUCTION AND RECONSTRUCTION DETAILS

LOT 3 RESUBDIVISION SITE RENOVATION PLAN - HAWTHORN SHOPPING CENTER

FILE NAME: DETAILS DSGN. BY: RWS JOB NO.: 754.001 FLD. BK./PG.: --- SHEET NO. 9

DRAWN BY: KSC DATE: 08.07.09 SCALE: 1" = 4'