

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2013-056

AN ORDINANCE GRANTING CERTAIN APPROVALS FOR THE SPRINGS OF VERNON HILLS GENERALLY LOCATED ON THE WEST SIDE OF MILWAUKEE AVENUE AT THE INTERSECTIONS OF NORTH AND SOUTH WOODBINE CIRCLE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 3<sup>rd</sup> DAY OF DECEMBER, 2013

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 5<sup>th</sup> Day of December, 2013

**ORDINANCE NO. 2013-056**

**AN ORDINANCE GRANTING CERTAIN  
APPROVALS FOR THE SPRINGS OF VERNON  
HILLS GENERALLY LOCATED ON THE  
WEST SIDE OF MILWAUKEE AVENUE AT  
THE INTERSECTIONS OF NORTH AND  
SOUTH WOODBINE CIRLE IN THE VILLAGE  
OF VERNON HILLS, LAKE COUNTY.**

**WHEREAS**, Adam Arnold of South Bay Partners, representing the property owner, in regards to property legally described in Exhibit A, has petitioned the Village of Vernon Hills for approval of:

1. Approval to amend the zoning district map to rezone this property from OR&D Office, Research & Development District to R-7 Multiple-Family Dwelling District for the legally described properties; and
2. Approval of a Special Use Permit to allow development of an Assisted Living Facility for the care of patients with Alzheimer/dementia along with a variation for signage; and
3. Preliminary and final site and landscaping plan approvals; and
4. Preliminary and final approval of the architectural elevations.

**WHEREAS**, the requested approvals would construction of a memory care facility on vacant 6.63 acre property located on the west side of Milwaukee Avenue between North and South Woodbine; and

**WHEREAS**, upon due notice and after public hearing held November 13, 2013 and continued from time to time by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

**WHEREAS**, it has been determined that the granting of approval of the zoning amendment will have no serious and depreciating effect upon the value of surrounding property and will have no adverse effect upon the character of the neighborhood, public utility facilities or other matters pertaining to the public health, public safety and general welfare;

**WHEREAS**, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that addresses the conditions in Sections 18.3 and 21.7 of the Zoning Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:**

**SECTION I.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the amendment of the zoning classification, on the legally described property as setforth in Exhibit A, from OR&D Office, Research & Development District to R-7 Multiple-Family Dwelling District, subject to the conditions setforth in Section V, is hereby granted.

**SECTION II.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the special use permit to allow development of an Assisted Living Facility for the care of patients with Alzheimer/dementia along with certain variations for signage is hereby approved subject to the conditions setforth in Section V.

**SECTION III.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site and landscaping plans are hereby approved subject to the conditions setforth in Section V.

**SECTION IV.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final architectural elevations and signage plans for the entire project are hereby approved subject to the conditions setforth in Section V.

**SECTION V.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the Conditions of Approval as set forth in Exhibit B are hereby approved and are made a part of the approvals as listed in the Sections above.

**SECTION VI. SEVERABILITY.** In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

**SECTION VII. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

**SECTION VIII. SUCCESSORS AND ASSIGNS.** All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the Springs of Vernon Hills and South Bay Partners.

**Exhibit A**

**Legal Description**

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## **Exhibit B**

### **Conditions of Approval**

#### General compliance with the following plans:

- Proposed Site and Improvement Plans prepared by Haeger Engineering with revised date of 10/28/13 and consisting of 6 pages.
- Proposed photometric plans prepared by Gage Electric consisting of 1 page, said page being undated.
- Landscape Plan prepared by Gary R. Weber Associates, Inc with a revised date of 11/01/13 and consisting of 1 page.
- Preliminary Elevations (11/22/13), Color Elevation (11/22/13), Trash Enclosure (10/31/13) and Floor Plan (8/13/13) prepared by Jensen & Halstead LTD consisting of pages SD-1 thru SD-4. Exterior building material samples include "James Hardie" Siding Products – Colors: Iron Gray (JH90-30) and Monterey Taupe (JH40-20) and Boral Cultured Stone "Country LedgeStone – Winter Creek".
- Monument Sign prepared by Jensen & Halstead LTD and consisting of 1 page and dated 8/13/13.

#### Variations - The following variations are recommended for approval

- **Number of Signs:** A total of two (2) monuments signs shall be permitted on the property instead of one sign. The location of each sign shall be generally consistent with the locations identified on the approved site plan listed above.
- **Size of Sign:** The maximum size of the monument sign panels shall be 24 sf. for each sign. This measurement excludes the stone veneer which outlines the sign panel. The total size of the sign including stone veneer shall be generally consistent with the panels listed above.
- **Sign placement:** The monument signs may be located 10 feet from the Milwaukee Avenue ROW line. The signs shall comply with all other setback requirements.

#### Conditions of Approval for the entire Site:

1. Final approval of plans by the Village Engineer and Landscape Technician prior to issuance of any site development or building permits.
2. Compliance with The Assisted Living and Shared Housing Act as set forth in Illinois Compiled Statutes.
3. The petitioner, current or future owner of the facility shall annually provide the Village with a copy of all required licenses and any subsequent renewal thereof from the Department of Human Services. Should the facility permanently lose or relinquish its license or fail to operate as the type of facility approved herein, the facility shall be closed and the zoning shall revert to the OR&D, Office, Research and Development District classification without further action being taken by the Board of Trustees. The owner may request from the Village Board, in writing, an extension of time to allow for sale of the facility to another licensed operator who will operate the facility in a manner consistent with all Village approvals granted. Said extension shall not be unreasonably withheld by the Board.

4. Construction on this project must start within 6 months of approval of the ordinance. Failure to begin construction will result in the Zoning Classification reverting back to the OR& D, Office, Research and Development District. The petitioner may request an extension of time to begin construction from the Village Board. The Board may or may not agree to said extension.
5. The intent of the rezoning is to only allow the Springs of Vernon Hill Assisted Living facility at this location. If the Springs of Vernon Hills fails to begin construction per Paragraph 6 or complete construction on the site within 2 years from the date of the approval ordinance, the underlying zoning classification will revert back to its original classification, being OR& D, Office, Research and Development District.
6. The proposed monument sign may be externally lighted and shall comply with the Sign Ordinance except as otherwise provided herein.
7. No flag poles other than for display for the United States flag shall be permitted on site. Said pole shall be shown on the site and landscaping plans and shall be located within the interior of the lot or directly in front of the building.
8. The Petitioner shall provide "Knox Boxes" at the entrances to the building as required by the Lincolnshire Riverwoods Fire Protection District.
9. Signs for all fire lanes shall be provided as requested by the Lincolnshire Riverwoods Fire Protection District.
10. The roof shingle shall be a minimum of a 30 year, architectural grade dimensional shingle.
11. The petitioner shall provide a screened enclosure around the generator pad consistent with the trash enclosure design.
12. The petitioner and property owner will work with the staff to develop a schedule for exercising the generator which will have limited impact on the adjacent residents. The Building Commissioner will approve the final schedule for the generator.
13. Compliance with the comments and responses in the Technical Review Comments #2 dated October 25, 2013 with the stamped receive date of November 4, 2013.
14. Compliance with all ordinances and standards of the Village except as otherwise provided for herein.
15. Extension of the fencing along the entire west property line with an increase in height to 8 feet.
16. Compliance with the architectural elevation changes as noted during the meeting.
17. Agreement by the Petitioner that the exercising or running generator will be limited to between the hours of 8:30 AM and 5:00 PM, Monday through Friday, exempting emergencies.
18. The generator would be moved one parking stall south with additional landscaping being added for screening
19. The arrival time for any delivery or service vehicle will be limited to between the hours of 8:30 AM to 5:00 PM, Monday through Friday for the facility, exempting emergencies.
20. Tree preservation and the development of a long-term maintenance plan would be reviewed and approved by the Village prior to issuance of a building permit.
21. The Petitioner will work with Staff on improving the building elevations.

**SECTION IX. EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

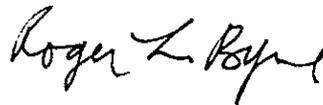
**SECTION X. ORDINANCE NUMBER.** This ordinance shall be known as Ordinance Number 2013-056.

Adopted by roll call vote as follows:

AYES: 4 – Marquardt, Schultz, Schwartz, Williams

NAYS: 0 - None

ABSENT AND NOT VOTING: 2 - Koch, Hebda



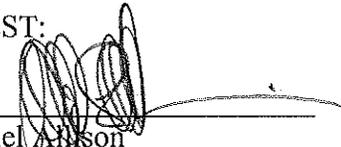
Roger L. Byrne  
Village President

PASSED: 12/03/2013

APPROVED: 12/03/2013

PUBLISHED IN PAMPHLET FORM: 12/05/2013

ATTEST:

  
\_\_\_\_\_  
Michael Allison  
Village Clerk

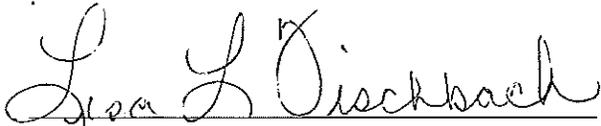
AFFIDAVIT OF SERVICE

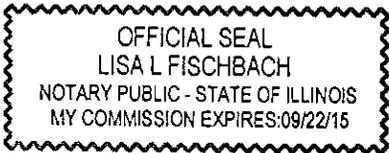
STATE OF ILLINOIS     )  
  )  
COUNTY OF LAKE        )

I, MICHAEL S. ALLISON, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2013-056, AN ORDINANCE GRANTING CERTAIN APPROVALS FOR THE SPRINGS OF VERNON HILLS GENERALLY LOCATED ON THE WEST SIDE OF MILWAUKEE AVENUE AT THE INTERSECTIONS OF NORTH AND SOUTH WOODBINE CIRCLE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM DECEMBER, 2013 TO DECEMBER 16, 2013.

  
MICHAEL S. ALLISON, VILLAGE CLERK

SUBSCRIBED AND SWORN TO BEFORE  
THIS 5<sup>th</sup> DAY OF DECEMBER, 2013

  
Notary Public



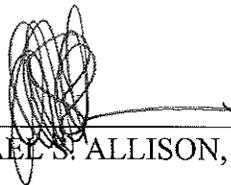
STATE OF ILLINOIS )  
 )  
COUNTY OF LAKE )

CERTIFICATE

I, MICHAEL S. ALLISON, CERTIFY THAT I AM THE DULY APPOINTED AND ACTING VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS. I FURTHER CERTIFY THAT ON DECEMBER 3, 2013, THE CORPORATE AUTHORITIES OF SUCH MUNICIPALITY PASSED AND APPROVED ORDINANCE 2013-056, AN ORDINANCE GRANTING CERTAIN APPROVALS FOR THE SPRINGS OF VERNON HILLS GENERALLY LOCATED ON THE WEST SIDE OF MILWAUKEE AVENUE AT THE INTERSECTIONS OF NORTH AND SOUTH WOODBINE CIRCLE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY WHICH PROVIDED BY ITS TERMS THAT IT SHOULD BE PUBLISHED IN PAMPHLET FORM.

THE PAMPHLET FOR ORDINANCE NO. 2013-056, INCLUDING THE ORDINANCE AND A COVER SHEET THEREOF, WAS PREPARED, AND A COPY OF SUCH ORDINANCE WAS POSTED IN THE VILLAGE HALL, COMMENCING DECEMBER 5, 2013 AND CONTINUING FOR AT LEAST TEN DAYS THEREAFTER. COPIES OF SUCH ORDINANCE WERE ALSO AVAILABLE FOR PUBLIC INSPECTION UPON REQUEST IN THE OFFICE OF THE VILLAGE CLERK.

DATED IN VERNON HILLS, ILLINOIS, THIS 5th DAY OF DECEMBER, 2013

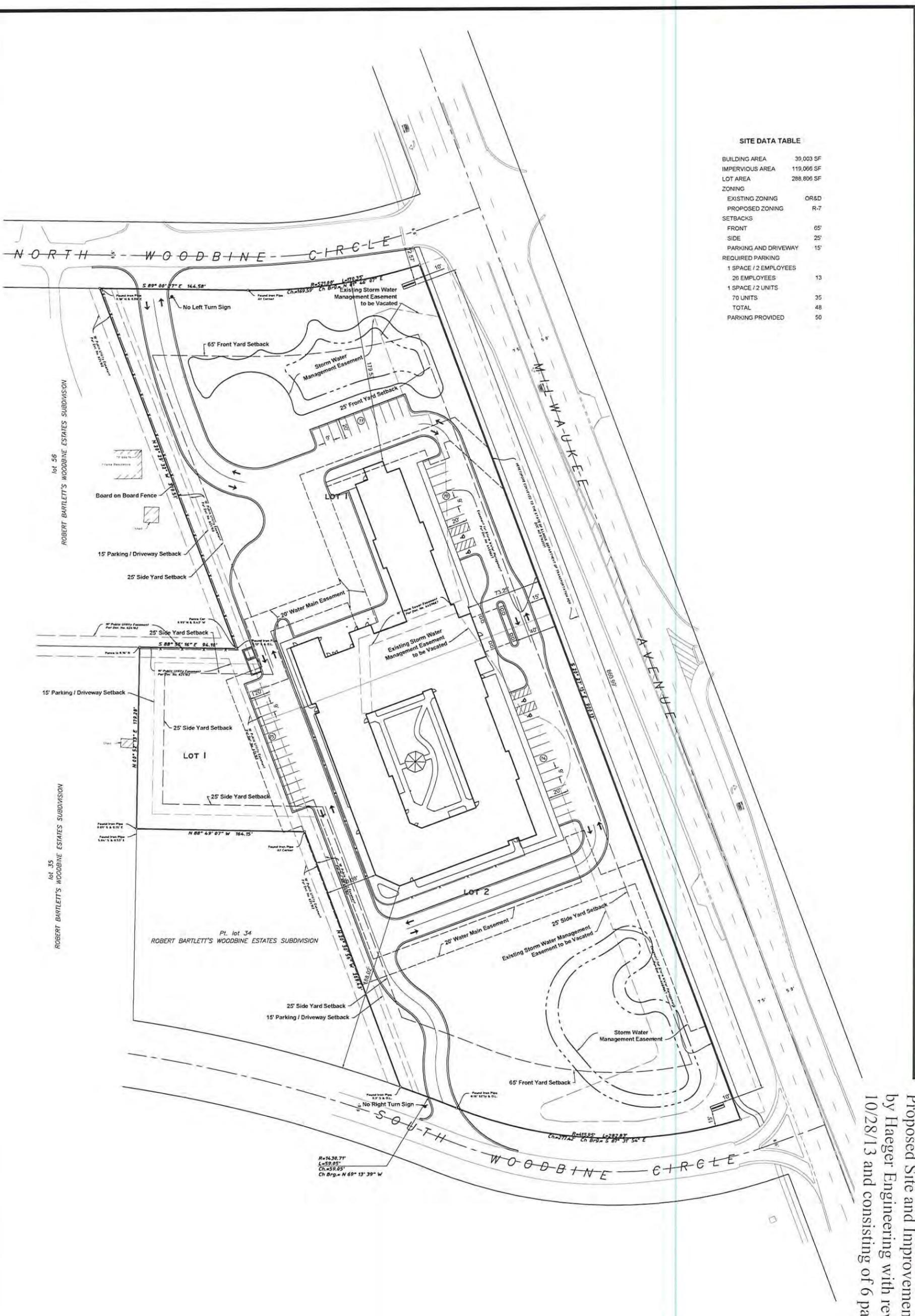
  
\_\_\_\_\_  
MICHAEL S. ALLISON, VILLAGE CLERK

SEAL



**SITE DATA TABLE**

BUILDING AREA	39,003 SF
IMPERVIOUS AREA	119,066 SF
LOT AREA	288,806 SF
<b>ZONING</b>	
EXISTING ZONING	OR&D
PROPOSED ZONING	R-7
<b>SETBACKS</b>	
FRONT	65'
SIDE	25'
PARKING AND DRIVEWAY	15'
<b>REQUIRED PARKING</b>	
1 SPACE / 2 EMPLOYEES	
20 EMPLOYEES	13
1 SPACE / 2 UNITS	
70 UNITS	35
TOTAL	48
PARKING PROVIDED	50



**ORDINANCE 2013-056 Exhibit B-1**  
 Proposed Site and Improvement Plans prepared  
 by Haeger Engineering with revised date of  
 10/28/13 and consisting of 6 pages.

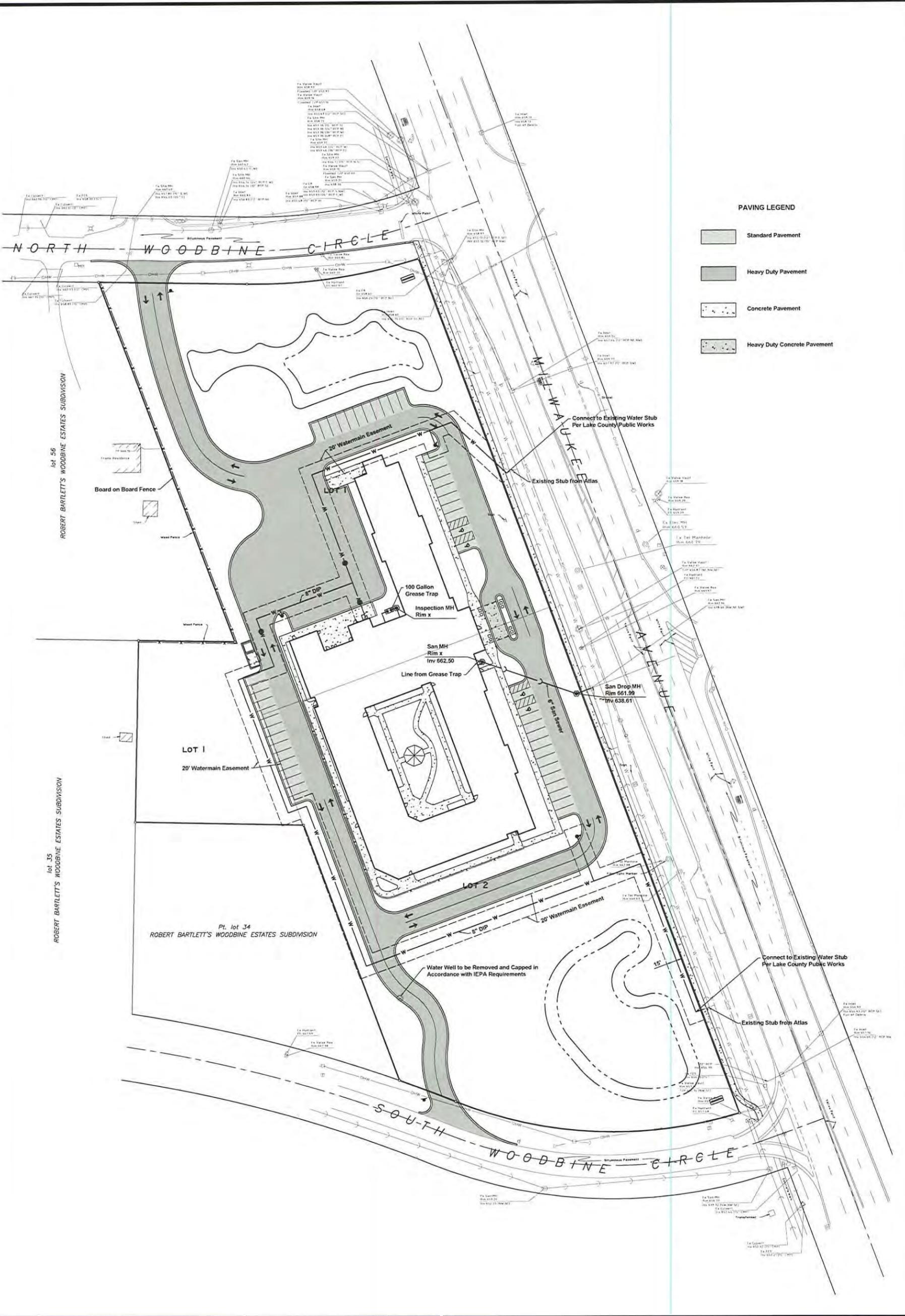
**PRELIMINARY PLAT**  
**SPRINGS OF VERNON HILLS**  
**ROUTE 21 (MILWAUKEE AVENUE)**  
 VERNON HILLS, ILLINOIS

**HAEGER ENGINEERING**  
 consulting engineers • land surveyors  
 1304 N. Plum Grove Road, Schaumburg, IL 60173 • Tel: 847.394.6600 Fax: 847.394.6608  
 Illinois Professional Design Firm License No. 184-003152  
 www.haegerengineering.com

No. 10-26-2013  
 Date 10-26-2013  
 Revision

Project Manager: WJC  
 Engineer: JWG  
 Date: 08-07-2013  
 Project No: 13-099  
 Sheet: 1

Project No. 13-078  
 Date: 08-07-2013  
 Project No. 13-078  
 Sheet 2/6



**PAVING LEGEND**

	Standard Pavement
	Heavy Duty Pavement
	Concrete Pavement
	Heavy Duty Concrete Pavement

lot 56  
ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

lot 35  
ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

Pt. lot 34  
ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

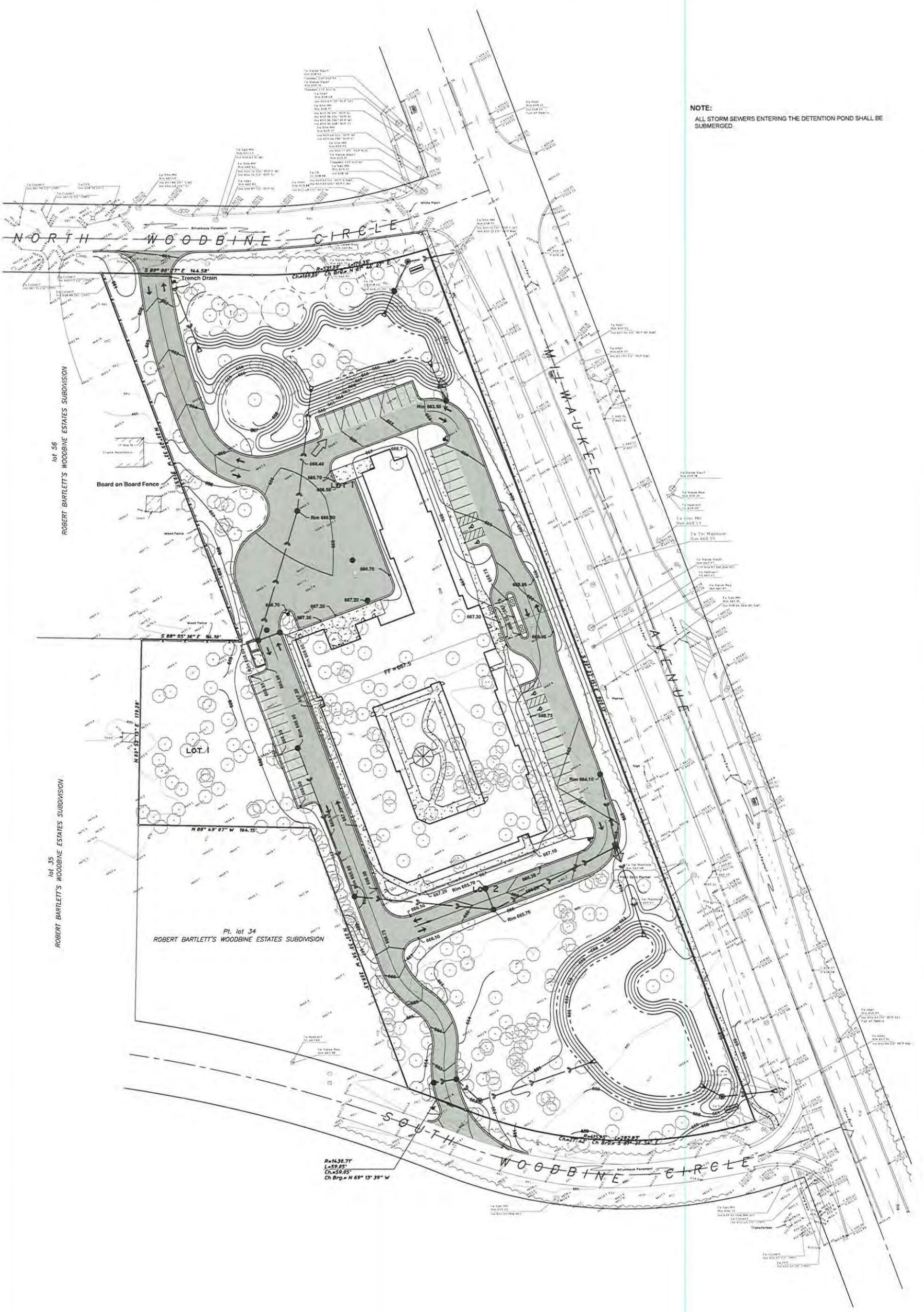
**SANITARY SEWER AND WATER MAIN PLAN**  
**SPRINGS OF VERNON HILLS**  
**ROUTE 21 (MILWAUKEE AVENUE)**  
 VERNON HILLS, ILLINOIS

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 Illinois Professional Design Firm License No. 184-003122  
 www.haegerengineering.com

No. 1  
 Date 10-28-2013  
 Revision Village Comments



Project: 10-28-2013  
Date: 10-28-2013  
Revision: 1



**NOTE:**  
ALL STORM SEWERS ENTERING THE DETENTION POND SHALL BE SUBMERGED

lot 35  
ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

lot 35  
ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

Pt. lot 34  
ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

LOT 1

$R=1630.71'$   
 $\Delta=59.95'$   
 $Ch Brg. = N 69^{\circ} 13' 39'' W$

Project Manager: WJC  
Engineer: JWG  
Date: 08-07-2013  
Project No: 13076  
Sheet: 3/6

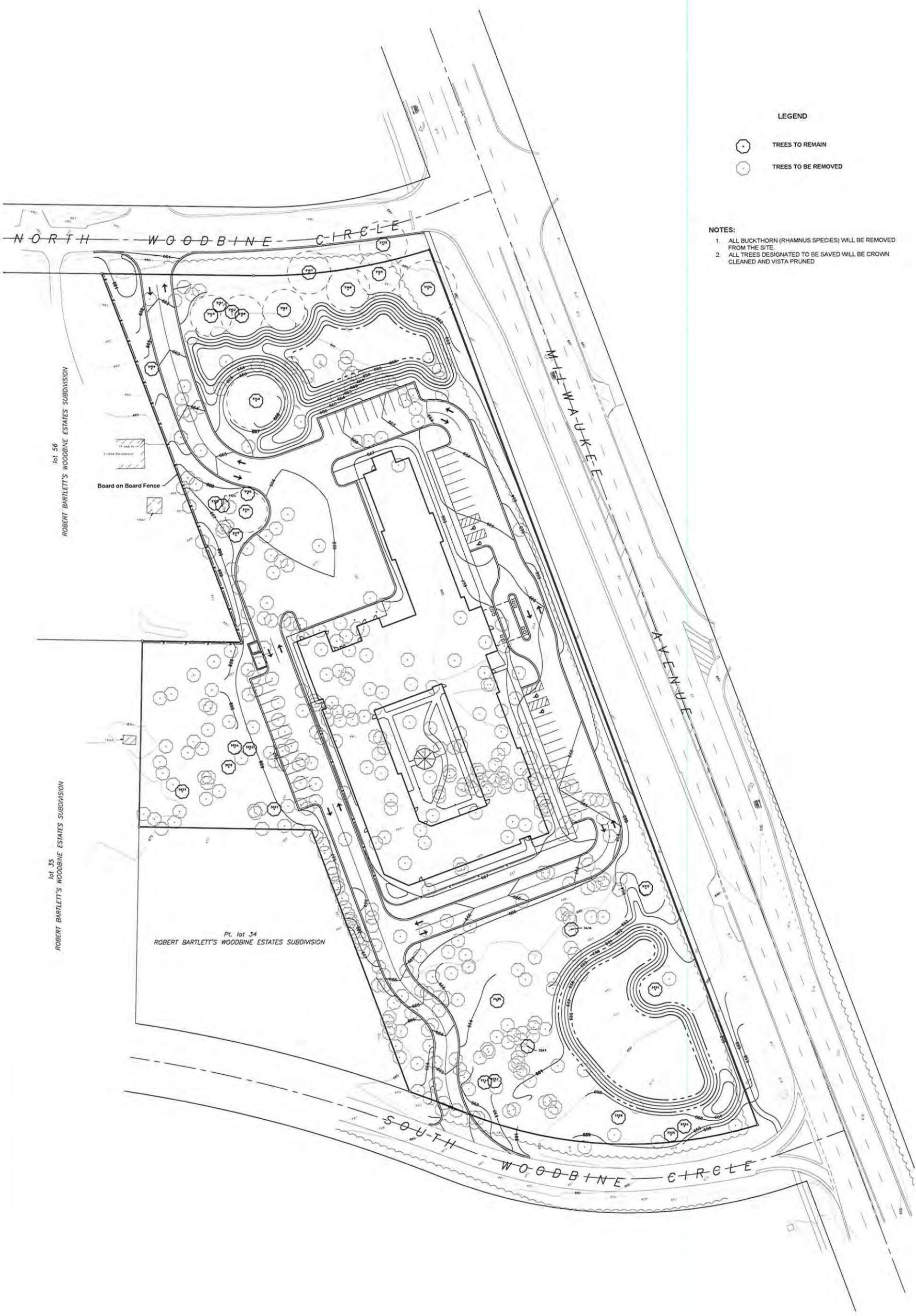
**STORM SEWER AND GRADING PLAN**  
**SPRINGS OF VERNON HILLS**  
**ROUTE 21 (MILWAUKEE AVENUE)**  
VERNON HILLS, ILLINOIS

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Illinois Professional Design Firm License No. 184-003152  
www.haegerengineering.com

No. 10-28-2013  
Date 10-28-2013  
Revision Village Comments



Project: 10-28-2013 - Village Comments  
 Date: 10-28-2013  
 Project No: 13078  
 Sheet: 4/6



**LEGEND**

- TREES TO REMAIN
- TREES TO BE REMOVED

**NOTES:**

1. ALL BUCKTHORN (RHAMNUS SPECIES) WILL BE REMOVED FROM THE SITE.
2. ALL TREES DESIGNATED TO BE SAVED WILL BE CROWN CLEANED AND VISTA PRUNED

lot 56  
 ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

lot 35  
 ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

Pt. lot 34  
 ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

Board on Board Fence

**TREE PRESERVATION PLAN**  
**SPRINGS OF VERNON HILLS**  
**ROUTE 21 (MILWAUKEE AVENUE)**  
 VERNON HILLS, ILLINOIS

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 Illinois Professional Design Firm License No. 184-003152  
[www.haegerengineering.com](http://www.haegerengineering.com)

No.	Date	Revision
1	10-28-2013	Village Comments

**NORTH**  
  
 Scale: 1" = 40'

Project Manager: WJC  
 Engineer: JWG  
 Date: 08-07-2013  
 Project No: 13078  
 Sheet: 4/6

Doc: 10/26/2013 10:28 AM - 10/26/2013 10:28 AM  
Project: 13-076 Tree Survey - Springs of Vernon Hills



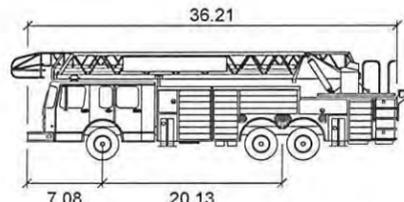
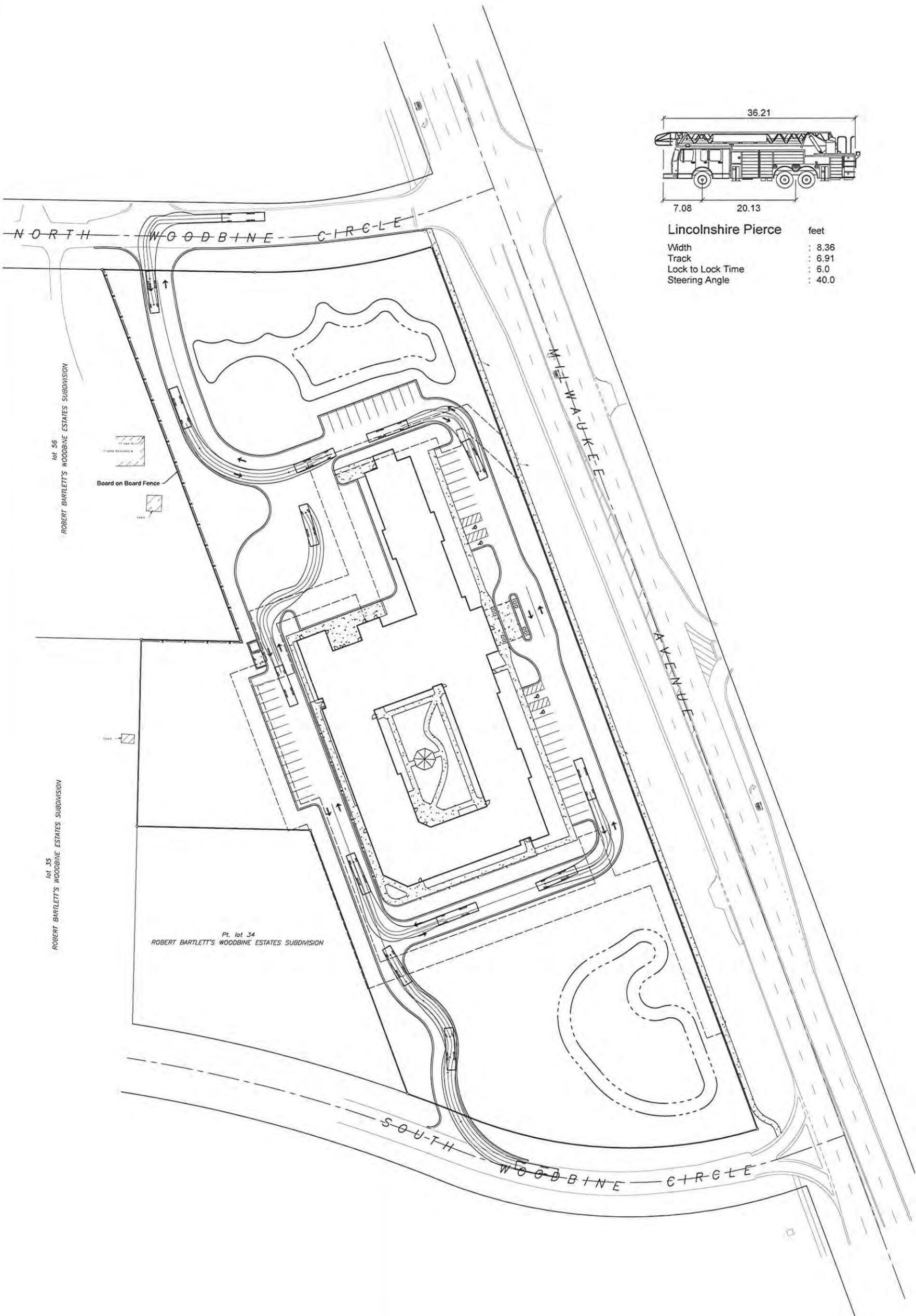
**TREE SURVEY**  
SPRINGS OF VERNON HILLS  
ROUTE 21 (MILWAUKEE AVENUE)  
VERNON HILLS, ILLINOIS

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Illinois Professional Design Firm License No. 184-003152  
www.haegerengineering.com

No.	1	Date	10-28-2013	Village Comments	
Revision					

**NORTH**  
Scale: 1" = 40'

File Name: I:\2013\2013\_09\_09\_Vernon Hills\2013\_09\_09\_Vernon Hills.dwg  
 Plot Date: 10/28/2013 10:08:00 AM  
 Plot Scale: 1" = 40'  
 Plot Size: 11.0000 x 17.0000  
 Plot Orientation: Landscape  
 Plot Color: Black  
 Plot Lineweight: 0.20  
 Plot Linetype: Solid  
 Plot Font: Arial, 10  
 Plot Units: Feet  
 Plot Style:.ctb  
 Plot Source: I:\2013\2013\_09\_09\_Vernon Hills\2013\_09\_09\_Vernon Hills.dwg



<b>Lincolnshire Pierce</b>	feet
Width	: 8.36
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 40.0

lot 56  
ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

lot 35  
ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

Pt. lot 34  
ROBERT BARTLETT'S WOODBINE ESTATES SUBDIVISION

**FIRE TRUCK  
TURNING EXHIBIT**  
SPRINGS OF VERNON HILLS  
ROUTE 21 (MILWAUKEE AVENUE)  
VERNON HILLS, ILLINOIS

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Illinois Professional Design Firm License No. 184-003152  
www.haegerengineering.com

No.	10-28-2013	Village Comments
Date		Revision



Project Manager: W.T.C.  
 Engineer: J.W.G.  
 Date: 09-09-2013  
 Project No.: 13-0078  
 Sheet: 6/6

NORTH WOODBINE CIRCLE

MILWAUKEE AVENUE

AVENUE

SOUTH

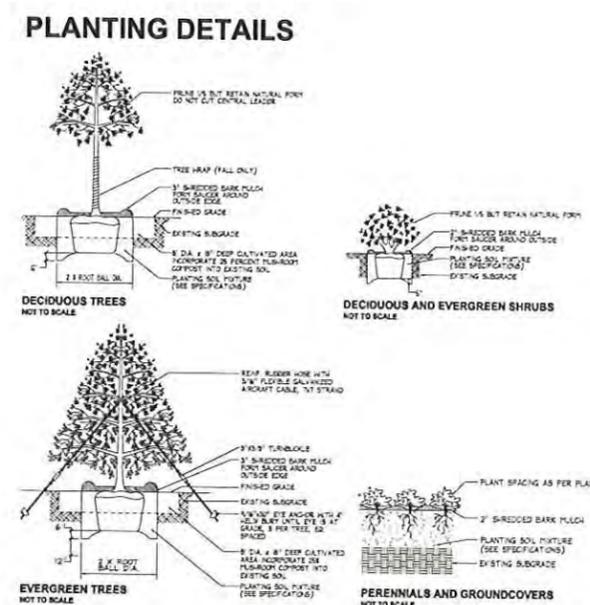
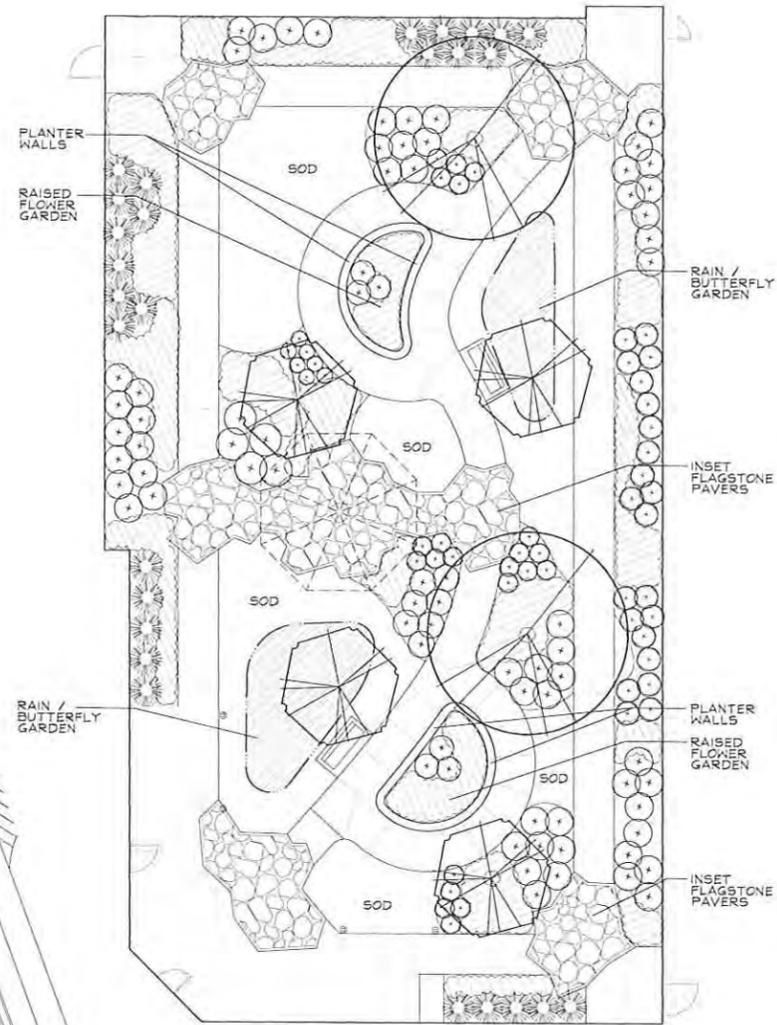
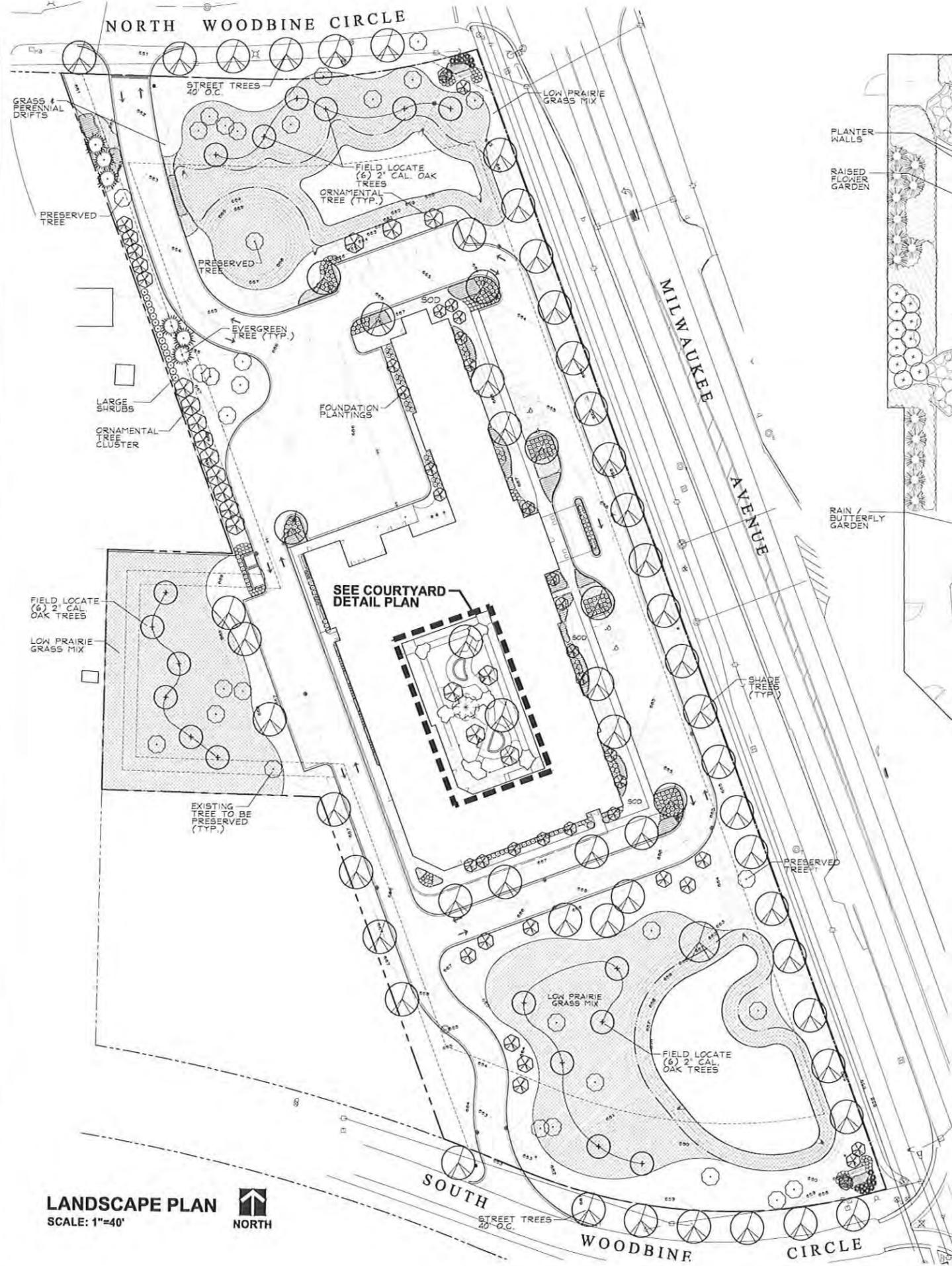
VERNON  
(05/13)

Color	Qty	Label	Arrangement	Total Lamp Load	Description
Red	4	SCALE-HP-200-40	DRIPLE	16000	SCALE-HP-200-40
Green	4	SCALE-HP-200-40	DRIPLE	16000	SCALE-HP-200-40
Blue	10	SCALE-HP-200-40	DRIPLE	40000	SCALE-HP-200-40
Purple	1	SCALE-HP-200-40	DRIPLE	4000	SCALE-HP-200-40

Color	Quantity	Fixture	Watts	Amp	Max	Min
Red and Parking	11	ILLUMINATION	100	1.10	8.0	5.0
SOUTH SOUTH EAST	1	ILLUMINATION	100	0.92	8.1	5.0
West Property Line	1	ILLUMINATION	100	0.92	8.1	5.0

**ORDINANCE 2013-056 Exhibit B-2**  
 Proposed photometric plans prepared by Gage  
 Electric consisting of 1 page, said page being  
 undated.



**REPRESENTATIVE PLANT LIST**

Botanical/Common Name	Size	Remarks
<b>SHADE TREES</b>		
Acer x freemanii 'Jeffersred'	2 1/2' Cal.	
AUTUMN BLAZE MAPLE	2 1/2' Cal.	
Acer nycteloides 'Morton'	2 1/2' Cal.	
STATE STREET NYCTELOID MAPLE	2 1/2' Cal.	
Gleditsia triacanthos var. 'Inermis' 'Skyline'	2 1/2' Cal.	
SKYLINE HONEYLOCUST	2 1/2' Cal.	
Gymnocladia dioica 'Express'	2 1/2' Cal.	
EXPRESS KENTUCKY COFFEE TREE	2 1/2' Cal.	
Platanus x occidentalis 'Morton'	2 1/2' Cal.	
EXCLAMATION LONDON PLANETREE	2 1/2' Cal.	
Pyrus calleryana 'Chanticleer'	2 1/2' Cal.	
CHANTICLEER PEAR	2 1/2' Cal.	
Quercus bicolor	2 1/2' Cal.	
SHANNON WHITE OAK	2 1/2' Cal.	
Taxodium distichum 'Shannon Brave'	2 1/2' Cal.	
SHANNON BRAVE BALD CYPRESS	2 1/2' Cal.	
Tilia americana 'McHenry'	2 1/2' Cal.	
SENTRY AMERICAN LINDEN	2 1/2' Cal.	
Viburnum 'Morton'	2 1/2' Cal.	
ACCOLADE ELM	2 1/2' Cal.	
<b>ORNAMENTAL TREES</b>		
Amaranthus grandiflorus	6' Ht.	Clump form
APPLE SEVY CEBERRY	6' Ht.	Clump form
Betula nigra 'Heritage Improved'	6' Ht.	Clump form
IMPROVED HERITAGE RIVER BIRCH	6' Ht.	Clump form
Cercis canadensis	6' Ht.	Clump form
EASTERN REDBUD	6' Ht.	Clump form
Crataegus arvensis 'Inermis'	6' Ht.	Clump form
THORNLESS COCKSPOUR Hawthorn	6' Ht.	Clump form
Melia 'Adara'	6' Ht.	Tree form
ADAMS CRABAPPLE	6' Ht.	Clump form
Syringa reticulata 'Ivory Silk'	6' Ht.	Clump form
IVORY SILK JAPANESE TREE LILAC	6' Ht.	Clump form
<b>EVERGREEN TREES</b>		
Abies concolor	6' Ht.	White Fir
WHITE FIR	6' Ht.	
Picea pungens 'Glauca'	6' Ht.	Blue Colorado Spruce
BLUE COLORADO SPRUCE	6' Ht.	
Pinus strobus	6' Ht.	White Pine
WHITE PINE	6' Ht.	
Thuja occidentalis 'Tachy'	6' Ht.	Mission Arborvitae
MISSION ARBORVITAE	6' Ht.	
<b>DECIDUOUS SHRUBS</b>		
Hydrangea macrophylla 'Balmea'	24" Tall	4 O.C.
ENDLESS SUMMER HYDRANGEA	24" Tall	4 O.C.
Hydrangea paniculata	24" Tall	4 O.C.
OAKLEAF HYDRANGEA	24" Wide	3' O.C.
Rosa 'Romantica' 'Gros-Louis'	24" Wide	3' O.C.
GROSLOUIS ROSE	24" Wide	3' O.C.
Rosa 'Rhapsody'	24" Wide	3' O.C.
KNOCKOUT BUSHING ROSE	24" Wide	3' O.C.
Rosa 'Radrazz'	24" Wide	3' O.C.
KNOCKOUT ROSE	24" Wide	3' O.C.
Spiraea betulifera 'Ivory'	24" Wide	3' O.C.
BIRCHLEAF SPIREA	24" Wide	3' O.C.
Syringa meyeri 'Paladin'	24" Wide	4 O.C.
DWARF KOREAN LILAC	24" Tall	4 O.C.
Syringa patula 'Miss Kim'	24" Tall	4 O.C.
MISS KIM LILAC	36" Tall	5' O.C.
Viburnum dentatum 'Morton'	36" Tall	4 O.C.
NORTHERN BURBUNDY ARROWWOOD VIBURNUM	36" Tall	4 O.C.
Viburnum lentago	36" Tall	4 O.C.
NANTYBERRY VIBURNUM	36" Tall	4 O.C.
Viburnum x juddii	36" Tall	4 O.C.
JUDD VIBURNUM	36" Tall	4 O.C.
<b>EVERGREEN SHRUBS</b>		
Buxus 'Glenn'	24" Wide	3' O.C.
CHICAGO AND GREEN BOXWOOD	18" Wide	5' O.C.
Juniperus chinensis var. 'Sargentii' 'Vivid'	18" Tall	5' O.C.
GREEN SARGENT JUNIPER	18" Wide	4 O.C.
Taxus x media 'Everest'	18" Wide	4 O.C.
EVERLOW DENSE YEW	18" Wide	4 O.C.
<b>PERENNIALS AND ORNAMENTAL GRASSES</b>		
Colaspis x acutiflora 'Karl Foerster'	#2	36" O.C.
FEATHER REED GRASS	#2	36" O.C.
Colaspis x acutiflora 'Oversand'	#2	36" O.C.
WHITE FEATHER REED GRASS	#2	36" O.C.
Carex x verticillata 'Zagreb'	#1	18" O.C.
ZAGREB CAREX	#1	18" O.C.
Echinacea purpurea	#1	18" O.C.
PURPLE CONEFLOWER	#1	18" O.C.
Hemerocallis 'Happy Returns'	#1	18" O.C.
HAPPY RETURNS DAYLILY	#1	18" O.C.
Hemerocallis 'Strawberry Candy'	#1	18" O.C.
STRAWBERRY CANDY DAYLILY	#1	18" O.C.
Hosta sieboldiana 'Frances Williams'	#1	24" O.C.
FRANCES WILLIAM HOSTA	#1	18" O.C.
Heuchera 'Midnight Bells'	#1	18" O.C.
MIDNIGHT BELLS CORAL BELLS	#1	24" O.C.
Thalictrum 'Butter & Sugar'	#1	18" O.C.
BUTTER & SUGAR SIBERIAN IRIS	#1	18" O.C.
Leucanthemum x superbum 'Snowcap'	#1	18" O.C.
SNOWCAP SHASTA DAISY	#1	18" O.C.
Liatris spicata 'Kobold'	#1	18" O.C.
KOBOLD BLAZING STAR	#1	24" O.C.
Panicum alopecuroides 'Mormon'	#1	24" O.C.
DWARF FOUNTAIN GRASS	#1	18" O.C.
Phlox subulata 'Emerald Pink'	#1	18" O.C.
EMERALD PINK CREEPING PHLOX	#1	18" O.C.
Phlox subulata 'Purple Beauty'	#1	18" O.C.
PURPLE BEAUTY CREEPING PHLOX	#1	18" O.C.
Schizanthus luteus 'Caracas'	#1	18" O.C.
CARACAS LITTLE BLUESTEM	#1	18" O.C.
Sporobolus heterolepis	#1	18" O.C.
PRAIRIE DROPSID	#1	18" O.C.
<b>GROUNDCOVERS</b>		
Liriope muscari 'Variegata'	#1	18" O.C.
VARIEGATED LILITURP	#1	12" O.C.
Vincetoxicum 'Dart's Blue'	RSP4	12" O.C.
DART'S BLUE PERIWINKLE		
<b>MISC. MATERIALS</b>		
MULCH	C.Y.	
SOD	S.Y.	
SEED and DIST. EROSION CONTROL BLANKET	AC	
LOW PRAIRIE GRASS MIX and DIST. EROSION CONTROL BLANKET	AC	

**SPRINGS OF VERNON HILLS**  
VERNON HILLS, ILLINOIS

**PRELIMINARY LANDSCAPE PLAN**

**GRWA**  
GARY R. WEBER ASSOCIATES, INC.  
LAND PLANNING LANDSCAPE ARCHITECTURE

712 SOUTH MAIN STREET  
WHEATON, ILLINOIS  
TELEPHONE: 630-668-7197  
FACSIMILE: 630-668-9693

CIVIL ENGINEER  
HAEGER ENGINEERING  
1304 N. PLUM GROVE ROAD  
SCHAUMBURG, IL 60173

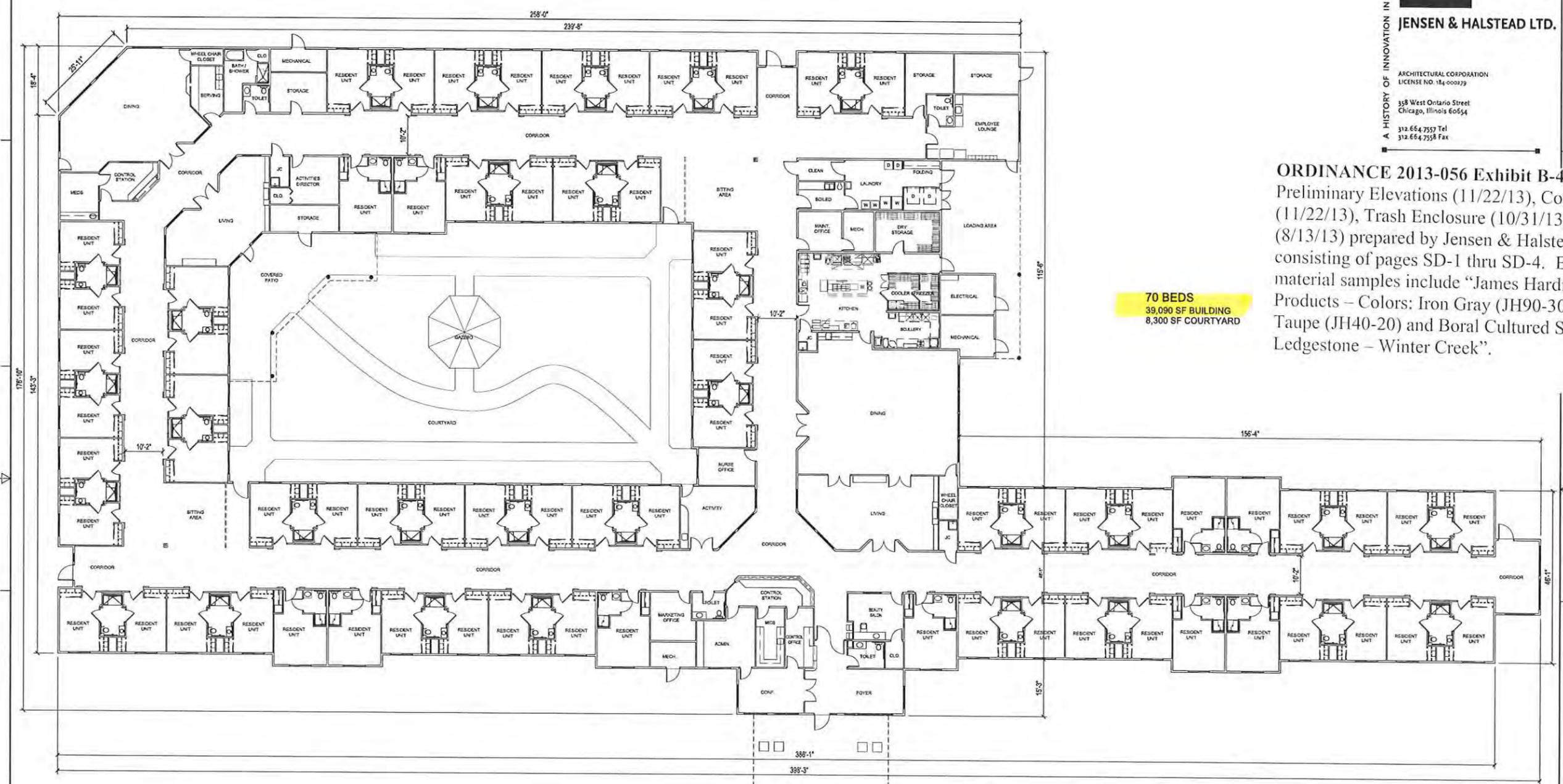
**ORDINANCE 2013-056 Exhibit B-3**  
Landscape Plan prepared by Gary R. Weber Associates, Inc with a revised date of 11/01/13 and consisting of 1 page.

1 REVISIONS 11.01.13

DATE 10.02.13  
PROJECT NO. HE1302  
DRAWN TC/CB  
CHECKED GRW  
SHEET NO.

**ORDINANCE 2013-056 Exhibit B-4**  
 Preliminary Elevations (11/22/13), Color Elevation  
 (11/22/13), Trash Enclosure (10/31/13) and Floor Plan  
 (8/13/13) prepared by Jensen & Halstead LTD  
 consisting of pages SD-1 thru SD-4. Exterior building  
 material samples include "James Hardie" Siding  
 Products - Colors: Iron Gray (JH90-30) and Monterey  
 Taupe (JH40-20) and Boral Cultured Stone "Country  
 LedgeStone - Winter Creek".

**70 BEDS**  
**39,090 SF BUILDING**  
**8,300 SF COURTYARD**



1 PRELIMINARY FLOOR PLAN  
 SCALE 3/8"=1'-0"

**RECEIVED**

NOV 4 2013

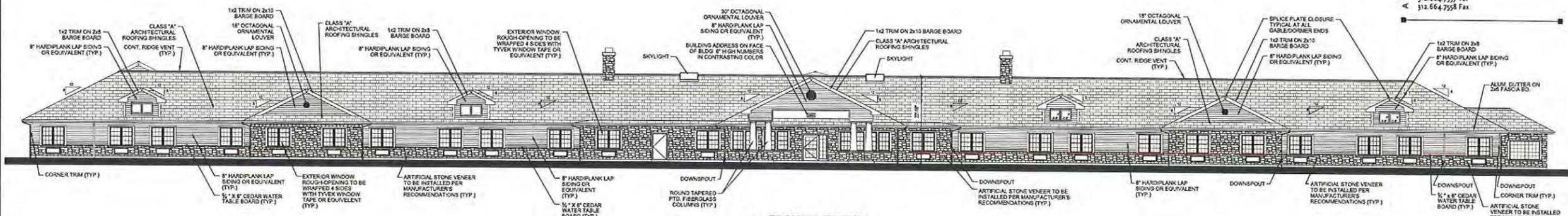
COMMUNITY DEVELOPMENT  
 DEPARTMENT

Project  
 VERNON HILLS SPECIAL CARE

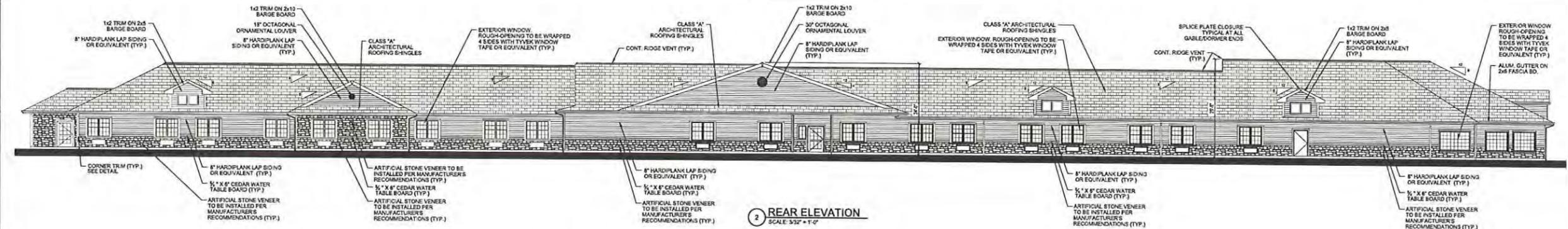
VERNON HILLS, ILLINOS

Sheet Title  
 PRELIMINARY FLOOR PLAN

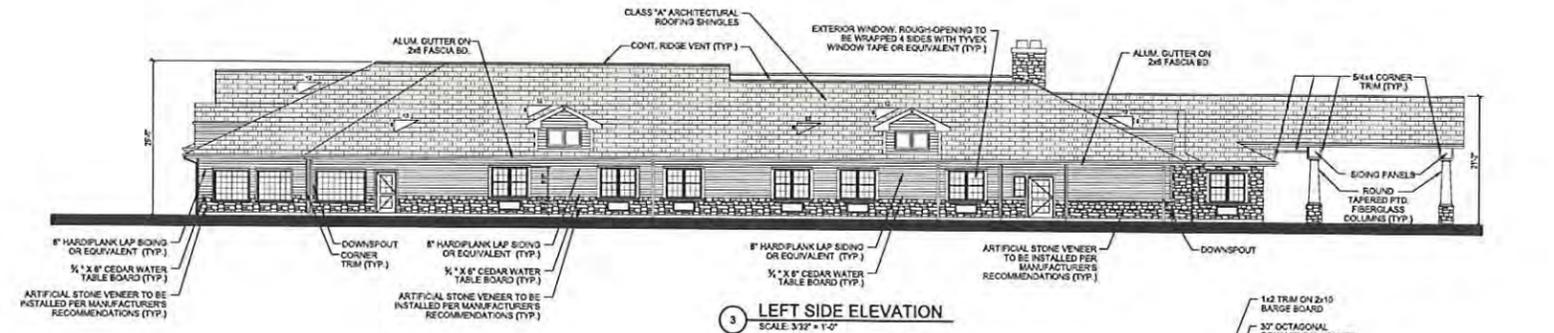
Project No. SSP13028 Sheet Number  
 Date 08-13-2013  
 Drawn by PK SD-1  
 Checked by DHD  
 Approved by DHD



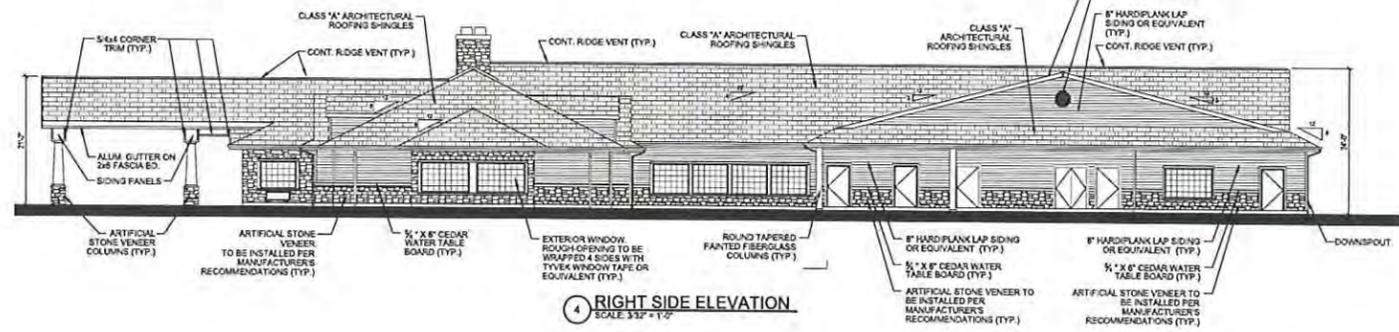
**1 FRONT ELEVATION**  
 SCALE: 3/32" = 1'-0"



**2 REAR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**3 LEFT SIDE ELEVATION**  
 SCALE: 3/32" = 1'-0"



**4 RIGHT SIDE ELEVATION**  
 SCALE: 3/32" = 1'-0"

**NOTE:** ALL MEP ROOFTOP PENETRATIONS AND EQUIPMENT SHALL BE ON COURTYARD SIDE AND SHALL NOT PROJECT ABOVE THE RIDGE LINE. GENERAL CONTRACTOR TO COORDINATE WITH MEP ENGINEERS AND MEP DRAWINGS. ALL EXPOSED VENTS SHALL BE PAINTED TO MATCH THE ROOF COLOR.



A HISTORY OF INNOVATION IN ARCHITECTURE



**JENSEN & HALSTEAD LTD.**

ARCHITECTURAL CORPORATION  
LICENSE NO. 184-000273

358 West Ontario Street  
Chicago, Illinois 60654

312.664.7557 Tel  
312.664.7558 Fax



① **FRONT ELEVATION**  
SCALE: 3/32" = 1'-0"



② **REAR ELEVATION**  
SCALE: 3/32" = 1'-0"



③ **LEFT SIDE ELEVATION**  
SCALE: 3/32" = 1'-0"



④ **RIGHT SIDE ELEVATION**  
SCALE: 3/32" = 1'-0"

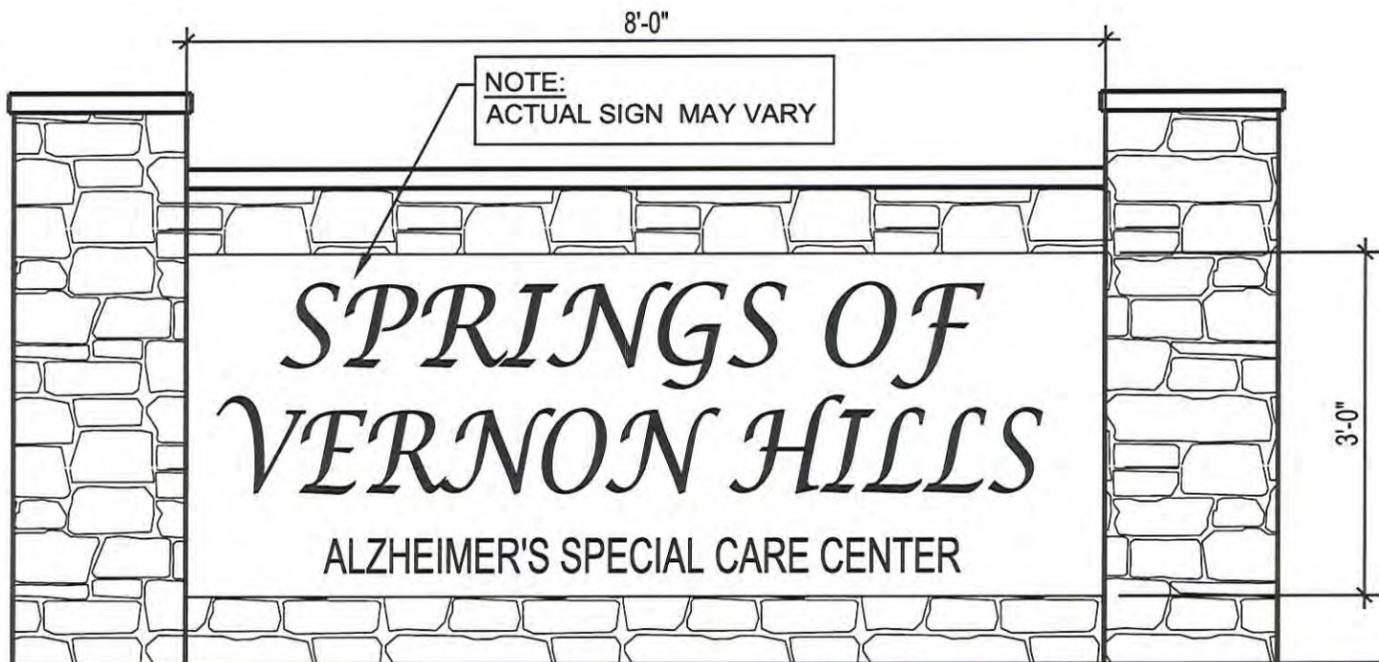
Project  
VERNON HILLS SPECIAL CARE

VERNON HILLS, ILLINOS

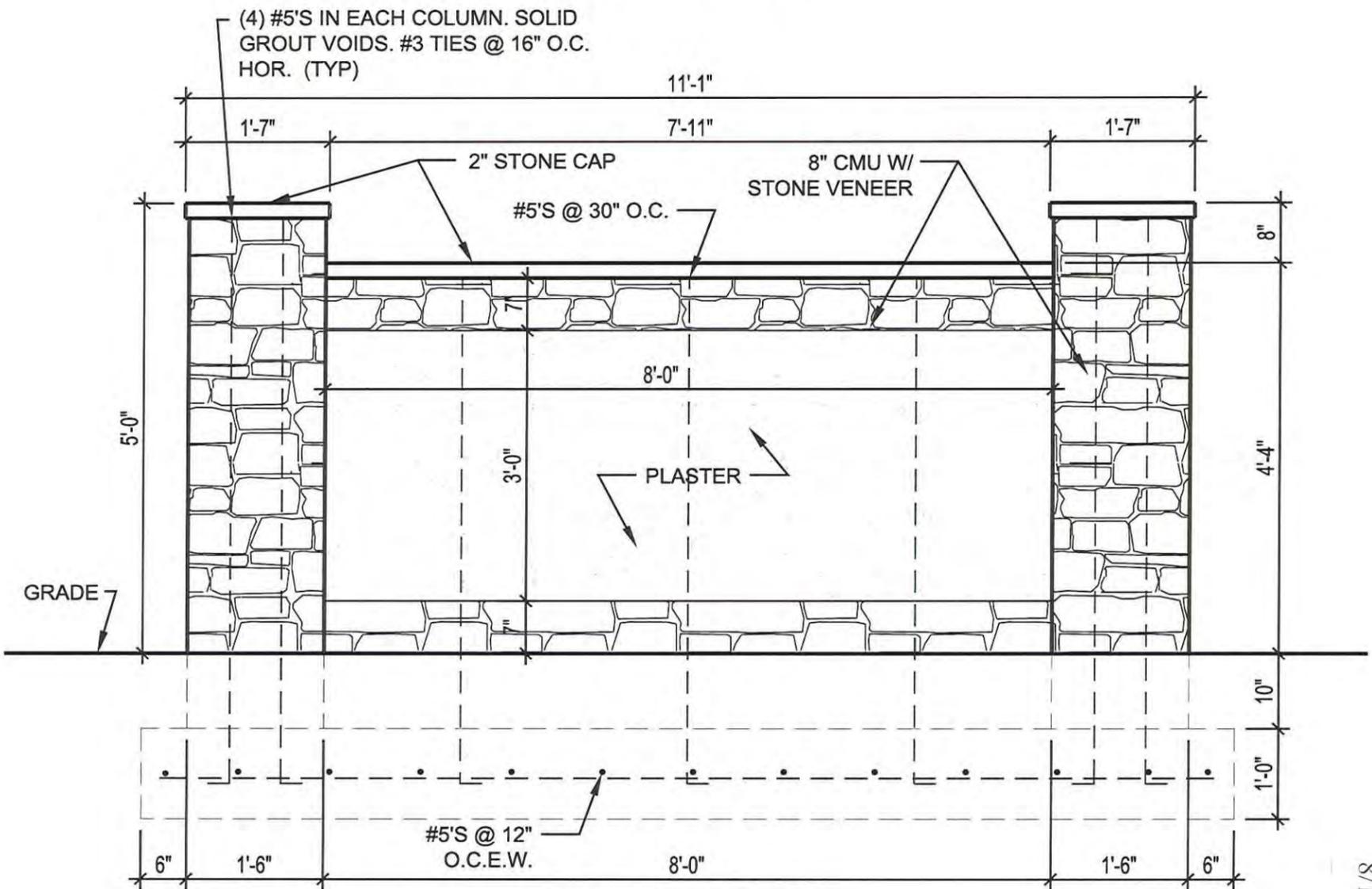
Sheet Title  
PRELIMINARY ELEVATIONS

Project No. 66P13008  
Date 11.01.13  
Drawn by PK  
Checked by DKD  
Approved by DKD

Sheet Number  
**SD-4**  
Sheet of Sheets



FRONT VIEW



FRONT VIEW



PROJECT: VERNON HILLS ALZ

SUBJECT: MONUMENT SIGN

ADD. NO: -

NO: SBP13028

BY: PK

REF. SHT: -

DATE: 08.13.20

SHEET NO: SD-3

JENSEN & HALSTEAD LTD.

A HISTORY OF INNOVATION IN ARCHITECTURE

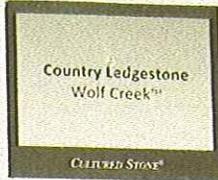
358 W. ONTARIO ST. CHICAGO, ILLINOIS 60610 TEL: 312.664.75

ORDINANCE 2013-056 Exhibit B-5  
 Monument Sign prepared by Jensen & Halstead  
 LTD and consisting of 1 page and dated  
 8/13/13.

  
**Crown Brick  
& Supply**

820 Thomas Street • Crown Point, IN 46307  
219.663.7650 Phone • 855.663.7650 Toll-Free  
219.602.9096 Fax

CTS



# Cultured Stone®



©2012 Boral Stone Products, LLC

The number of stones displayed does not show a complete representation of all sizes, shapes and colors for individual products.

**James Hardie® Siding Products**  
with ColorPlus® Technology

Sample Color:  
**IRON GRAY**  
JH90-30

- Color consistency and quality of factory application
- Specially formulated paint to retain color and resist fading
- Baked-on color process for maximum durability, provides a mar resistant coating and assures the finish will resist peeling, chipping and cracking
- 15-year finish warranty from one reliable manufacturer



**James Hardie®**  
**Siding Products**

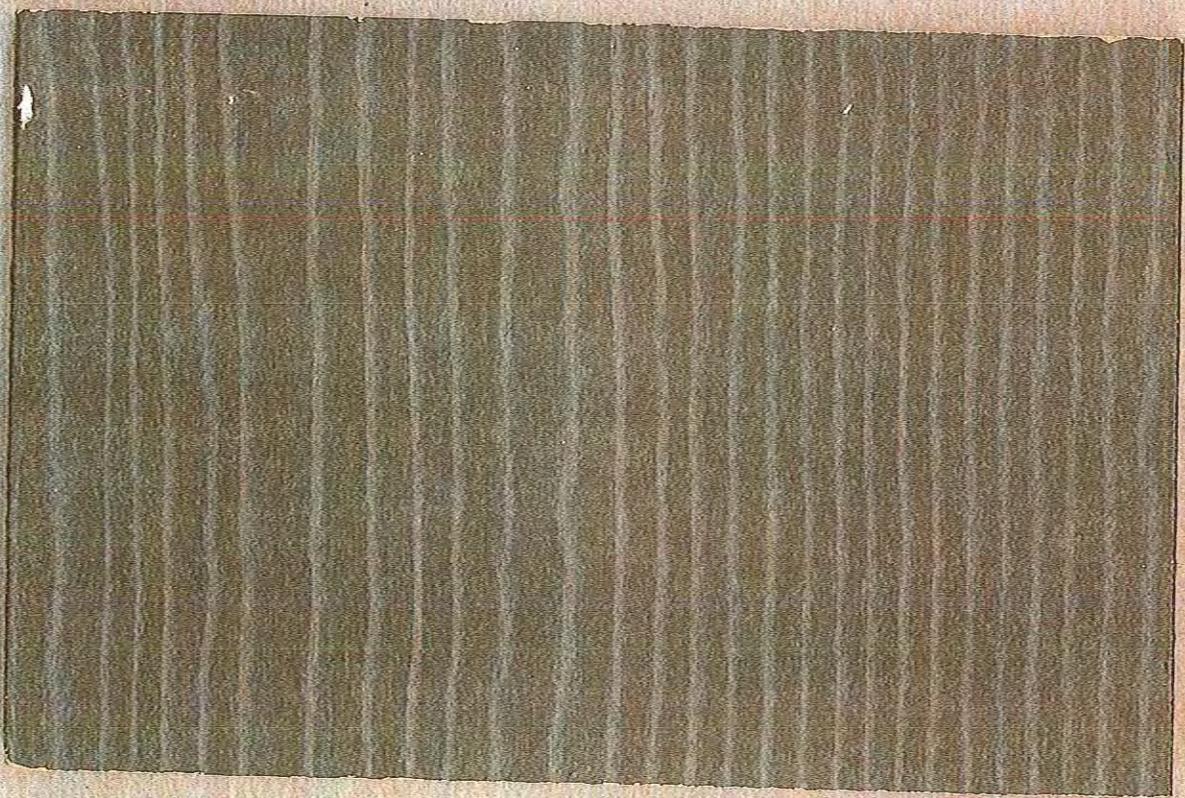
1-866-4HARDIE  
[www.jameshardie.com](http://www.jameshardie.com)

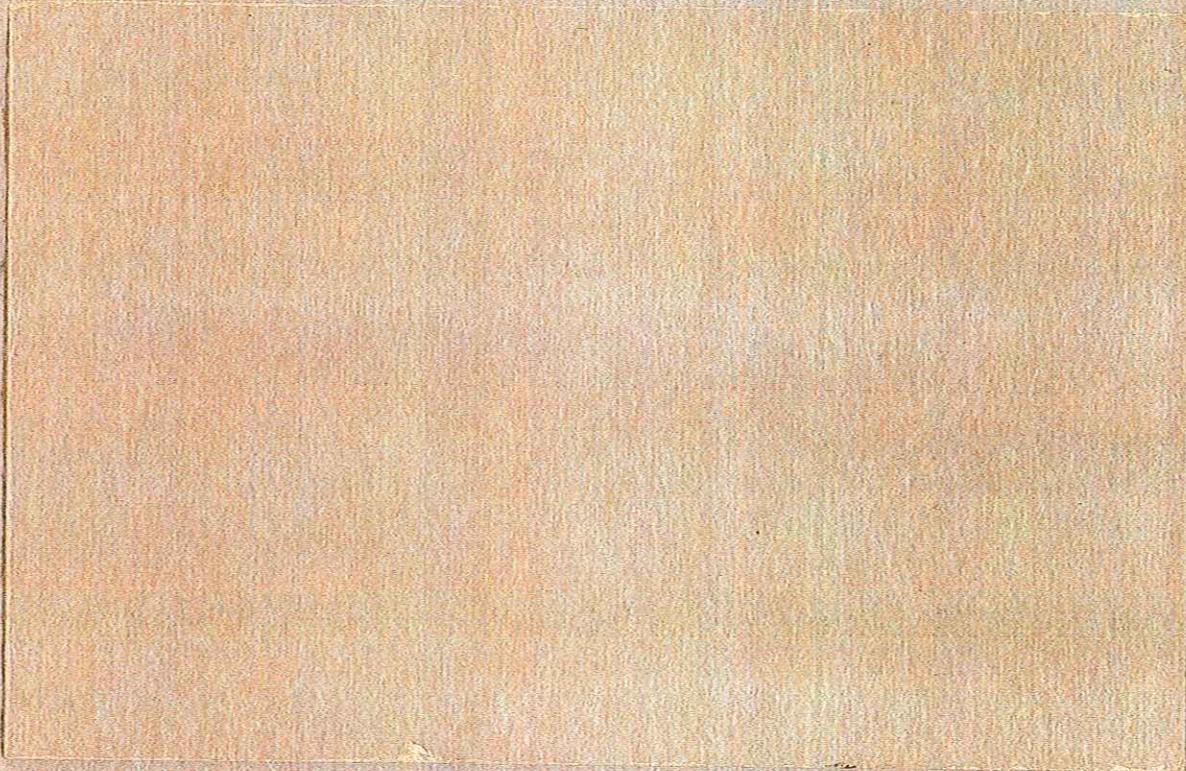
Products and colors available by region.  
Check with your representative or  
call 1-866-4HARDIE for availability in  
your area.

*Installation Information, Warranties, and Warnings are available at [www.jameshardie.com](http://www.jameshardie.com)*

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JH9775IG 10/05





**James Hardie® Siding Products**  
with ColorPlus® Technology

Sample Color:  
**MONTEREY TAUPE**  
JH40-20  
Texture: Smooth

- Color consistency and quality of factory application
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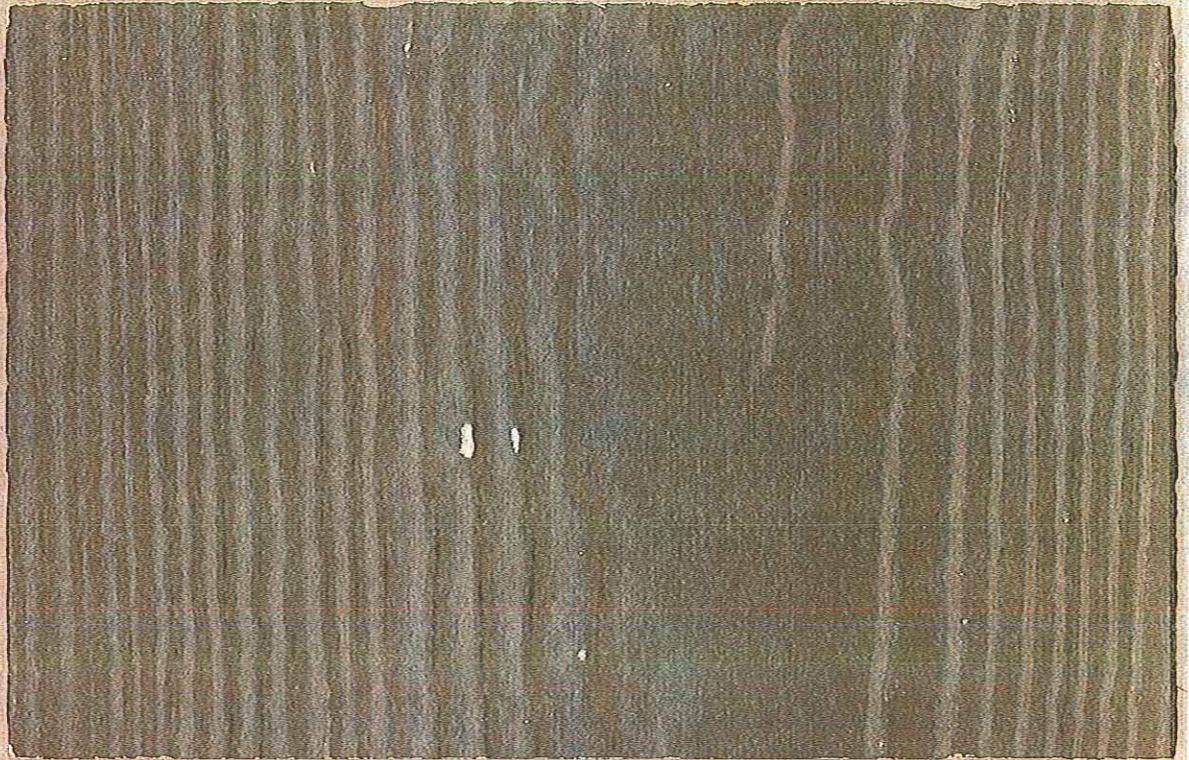


**1-866-4HARDIE**  
[www.jameshardie.com](http://www.jameshardie.com)

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JH9775IG 01/06

Department of Community Development  
**TECHNICAL REVIEW COMMENTS #2**  
**FOR**  
**SPRINGS OF VERNON HILLS**  
**October 25, 2013**

**ORDINANCE 2013-056 Exhibit B -13:**  
Compliance with the comments and responses in  
the Technical Review Comments #2 dated October  
25, 2013 with the stamped receive date of  
November 4, 2013.

**To the Petitioner:**

This project requires written responses to all technical review comments including revisions to submitted documents. If you provide written responses, these comments can be sent via e-mail. Your written responses should be placed underneath our original comments and responses and should be submitted reflecting changes requested below. You should review the submittal and your responses and schedule this review with the appropriate Commissions and the Village Board, when appropriate.

**General Comments**

Please revise plans per the comments below and resubmit (10 copies – 11x17 for Plan Commission meeting) of plans and written responses for re-review.

**RECEIVED**

**Building Division Comments**

FROM Michael Atkinson, Building Commissioner  
SUBJECT: Technical Review Comments #2  
Project: The Springs of Vernon Hills

NOV 4 2013

**COMMUNITY DEVELOPMENT  
DEPARTMENT**

The Building Division has completed the second review of the above referenced project in accordance with the Zoning Code, Sign Code, Building Code and related Village Ordinances. The responses below are shown in **BOLD**.

**I. ADMINISTRATION:**

- The applicant is required to submit plans and obtain a permit for water and sewer connections from the Lake County Public Works Department prior to issuance of a building permit. Please contact Lake County for fees and requirements (847-680-1600). **Noted, OK**
- The applicant is required to obtain a permit from the Lake County Health Department prior to issuance of a building permit (For kitchen facilities). **Noted, OK**

**II. ZONING:**

- A map amendment is required; re-zoning the property from OR&D, Office Research and Development to R-7, Multi-Family Residential. **Noted, OK**

- A Special Use Permit is required authorizing an Assisted Living Facility in an R-7, Multi-Family District. **Noted, OK**
- Front Yard: Required: 65' (From North Woodbine Circle & South Woodbine Circle)  
Proposed: 179.58' from North Woodbine & 188.02' from South Woodbine (Scaled). **OK**
- Side Yard: Required: 25.'  
Proposed: 50.09' (West) & 73.25' (East) **OK**
- Rear Yards: Required: N/A
- Building Height: Permitted: 35.0'  
Proposed: 24.0' **OK**

### III. PARKING/OFF STREET LOADING:

- 1 space for every 2 employees plus 1 space for every 2 units is required. In order to verify compliance, please indicate the maximum number of employees that will staff the facility at any given time. **48 spaces required, 50 spaces proposed. OK**
- Parking spaces and drive aisles are not permitted within the front yard setback (65'), and are required to maintain a minimum 15' setback from the side property lines. The proposed location is approximately 90' from the front property line; 13' from the side (east) property line and 15' from the side (west) property line. The drive aisle on the east side should be adjusted in compliance with the setback requirement. Proposed front and side setback dimensions should be added to the site plan. **OK**
- Parking spaces are required to have a minimum width of 9' and a minimum depth of 20'. Please dimension on site plan. **OK**

### IV. SIGNAGE:

- Show proposed location of monument sign on the site plan. Note, the minimum required setback from all property lines is 10'. Additionally, the sign shall not be in a recorded easement and not create a site line obstruction at street/drive intersections. **Provide elevation drawings of each sign and indicate separation distance between signs (Minimum 400' required)**  
*We have added the distances between the signs on the sheet 1 Preliminary Plat. Also enclosed is an elevation of the sign, both signs are identical.*

- Landscaping is required at the base of the sign and is subject to review by the Village Landscape Technician. **Per review by Village Landscape Technician Landscaping at the base of the signs will be similar to the foundation plantings and will be included in the final landscape plan for the site.**

**V. ARCHITECTURAL:**

- Roof top equipment is required to be screened from all sides. Please indicate the full height of the mechanical equipment in relation to the parapet wall. **OK**
- Provide product design information for proposed exterior wall mounted lighting fixtures. **OK**
- Provide elevation drawings of trash enclosure. Design and material shall be consistent with the proposed building. The minimum required height is 7'. **Stone Veneer and/or hardiplank siding shall be incorporated into the design of the enclosure.**  
*Stone Veneer has been incorporated into the Trash Enclosure design. Please refer to the revised Trash Enclosure drawing dated 10.31.13.*
- **The exterior wall finished on the back and side elevations shall include stone veneer and be consistent with the design of the front elevation.**  
*Stone Veneer has been added to the back and side elevations. Please refer to the revised Exterior Elevations drawing dated 10.31.13.*

**VI. BUILDING CODE:**

- The building shall be designed in accordance with the 2012 International Building Code, Mechanical Code, Fire Code and Energy Conservation Code. Plumbing shall be in accordance with the 2004 Illinois State Plumbing Code. Electric shall be in accordance with the 2011 NEC. All Site and building elements shall be in accordance with the 1997 Illinois Accessibility Code. **Noted, OK**

**Engineering Division Comments**

**From:** David H. Brown, PE, Village Engineer

**SUBJECT:** Technical Review #2 – Preliminary Phase

We have reviewed the Petitioner's site engineering and landscaping Technical Review comments response dated October 1, 2013. We offer the following comments:

**Engineering Review Comments:**

1. Submit full Civil Engineering plans that include all of our comments referenced in this latest submittal.  
*Full Engineering plans will be submitted prior to moving forward with final approval of the site.*
2. All proposed pipe into the ponds shall be submerged. Outlet pipes shall be Flared End Sections.

*A note has been added to sheet 3 regarding the storm sewers entering the ponds being submerged and they will be designed that way during the development of the final plans.*

3. Do the proposed ponds meet the IDOT set-backs?  
*The ponds have been shifted slightly so they do meet IDOT set-backs.*
4. Proposed trench drain shall be a composite material similar to ACO Drain or similar approved by the Village Engineer.  
*The trench drain will be a composite material approved by the Village Engineer.*
5. Provide information on your proposed hydrocarbon removal system with your storm water information.  
*Included with this submittal is information regarding the Downstream Defender, which we are proposing to use for hydrocarbon removal.*
6. Provide retaining wall details and material information.  
*We have removed the retaining wall from around the north pond.*
7. Heavy-duty pavement cross-section shall be used for the drive lanes around the site.  
*The heavy duty pavement has been extended through all drive aisles.*
8. Curb shall be extended along the north Woodbine Circle portion of the road from the site to the RT.21 curb.  
*We have added curbing along the properties north frontage with North Woodbine circle.*
9. Lighting is to be added to the entrances.  
*The final plans will include lighting at both entrances from Woodbine Circle.*
10. Will aerators be added to the ponds? The storm sewer outfalls are also to be designed to flow water thru the ponds. Some areas such as the southwesterly corner of the pond may become stagnant.  
*If required we will add aerators to the ponds, we have reshaped the southern pond to eliminate the potential for stagnant water and we will continue working on the pond designs during the development of final plans.*
11. Verify that drainage from adjacent properties will be received. Also correct typo on 666 contour on lot 1.  
*All offsite flows entering the site will continue to be accepted and routed through the ponds. We have fixed the typo on the contour on lot 1.*

**Vernon Hills Police Department Comments**

From: James Levicki, Police Sergeant  
Subject: Technical Review #2

I have read the petitioner's response regarding my suggestions and I am satisfied with their plan.

**Landscape Architect Comments**

From: Tom Brettmann, Engineering/Landscaping Technician  
 Re: Technical Review #1

**Tree Preservation Plan Review Comments:**

1. I recommend that any tree being designated to be saved that is in a "poor condition" be removed. It is better to clean it up now rather than being a maintenance issue later.

*All trees that were being saved and were in poor condition are now being removed as recommended.*

**Landscape Review Comments:**

1. See Section 4, Detention Pond, to use in Detention Pond planning. Exhibit No. 47 is attached for your use to be included in the overall plan set.

*The detention pond is planned to be naturalized per the Village requirements. We will provide detention pond planting specs and details at final design.*

The drawing is a technical specification sheet for a detention pond. It is divided into several sections:

- DETENTION POND PLANTING SPECIFICATIONS:** The main title at the top left.
- PLANT COMMUNITIES:** A large table on the right side listing various plant communities such as 'WET PRAIRIE COMMUNITY', 'UPLAND FOREST COMMUNITY', and 'DEEP WATER EMERGENT COMMUNITY'. Each entry includes a list of plant species and their quantities.
- MAINTENANCE:** A section on the left side providing detailed instructions for the care and maintenance of the pond's vegetation.
- GOOSE BARRIER CONTROL:** A section on the left side detailing the specifications for barriers used to control goose access.
- GOOSE PROTECTION DETAILS FOR PLANTING PLAN:** A central diagram showing a cross-section of a pond with a planting plan overlaid, labeled '1. TYPICAL PLANTING SECTION NOT TO SCALE'.
- GOOSE PROTECTION SECTION:** A diagram at the bottom showing a cross-section of a pond with a goose protection barrier, labeled '2. GOOSE PROTECTION DETAILS FOR PLANTING PLAN NOT TO SCALE' and '3. GOOSE PROTECTION SECTION NOT TO SCALE'.
- EXHIBIT NO. 47:** A vertical label on the right side of the drawing.
- TYPICAL DETENTION POND DETAILS:** A vertical label on the far right side of the drawing.
- VILLAGE OF VERNON HILLS:** A vertical label at the bottom right corner of the drawing.

2. Provide details for the Rain Butterfly Garden, Planter Walls, Raised Flower Garden and Flagstone Pavers.

*We will show details for the Rain / Butterfly Garden, Planter Walls, Raised Flower Garden and Flagstone Pavers on final landscape plans.*

3. The Tree Preservation Areas located to the north and south of the building shall be designed to create a "Park Like" open space condition. Seed and blanket may be used to establish a mow-able turf grass. With the removal of poor condition trees within these areas, supplemental shade and ornamental trees shall be included into these areas. Smaller caliper 2" Shade and 5' Ornamental drought tolerant trees may be used. Turf grass shall be established along the Route 21 and Woodbine Circle Right Of Way.  
*We have revised the landscape plan to show the removal of poor condition trees. Per your request we are showing a low prairie grass mix and 2" Oak trees to be established in the preserved tree areas.*
4. Identify the plants on the plan and quantify the Plant List.  
*Plants in the courtyard and adjacent to the foundation will be irrigated. This is typically a design build process and if needed irrigation drawings will be submitted at a later date.*
5. I recommend the installation of a sprinkler system for plant bed areas around the building. The outside perimeter areas may be irrigated if desired.  
*The foundation plantings are proposed to be draught tolerant plants, but an irrigation system may be added as part of the final design of the site.*
6. Provide details for the Monuments, will they be lighted?  
*Monument sign details have been provided. The monuments will be externally illuminated in accordance with the Village of Vernon Hills ordinances.*
7. The Trash Enclosure shall be located in an area easily accessible for the Refuse Company, it shall not be located above a water main.  
*The watermain has been rerouted so that it does not go under the trash enclosure.*
8. Provide a detailed cost estimate for all landscape and tree removal work.  
*We have provided a representative plant list for your review. We will identify the plants and quantities on the final landscape plan.*

**Fire Department Comments**

From: Eric B. Norlin, Fire Marshal – Lincolnshire Riverwoods Fire Protection District  
Re: Technical Review #2

The review letter dated October 18, 2013 was emailed to the petitioner and Hall Construction on October 18, 2013.

Springs of Vernon Hills  
Technical Review Comments #2  
Page 7

**Lake County Public Works Department Comments**  
FROM: David Humbert - Senior Civil Engineer  
RE: Technical Review # 2

The review letter and fee calculations dated October 18, 2013 was emailed to the petitioner and Hall Construction on October 18, 2013.