

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2014-029

AN ORDINANCE GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS 33 ACRES OF THE GREGG'S LANDING NORTH COMMERCIAL PARCEL LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MILWAUKEE AVENUE AND GREGG'S PARKWAY, IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS

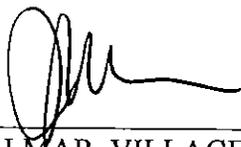
THE 22nd DAY OF JULY 2014

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 23rd Day of July, 2014

AFFIDAVIT OF SERVICE

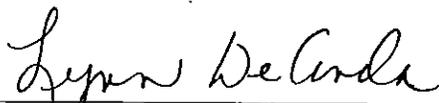
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE NO. 2014-029 AN ORDINANCE GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS 33 ACRES OF THE GREGG'S LANDING NORTH COMMERCIAL PARCEL LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MILWAUKEE AVENUE AND GREGG'S PARKWAY, IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM JULY 23, 2014 TO AUGUST 5, 2014.

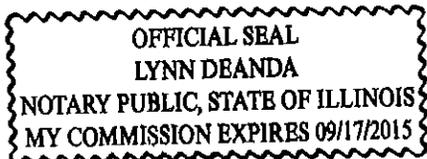


JOHN M. KALMAR, VILLAGE CLERK

SUBSCRIBED AND SWORN TO BEFORE
THIS 23RD DAY OF JULY 2014



Notary Public



ORDINANCE NO. 2014-029

AN ORDINANCE GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS 33 ACRES OF THE GREGG'S LANDING NORTH COMMERCIAL PARCEL LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MILWAUKEE AVENUE AND GREGG'S PARKWAY, IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS

WHEREAS, the property commonly known as the 33 acres of the Gregg's Landing North Commercial parcel located at the northwest corner of the intersection of Milwaukee Avenue and Gregg's Parkway ("Property") was annexed to the Village of Vernon Hills as part of the much larger 1,174 acre annexation in November of 1998; and

WHEREAS, the Property was located in an area commonly known as the Cuneo North Commercial properties; and

WHEREAS, the zoning provisions, including bulk zoning regulations, that control the zoning of the Cuneo North Commercial properties are contained in Exhibit F to the original Annexation Agreement for the 1,174 acre annexation; and

WHEREAS, although the Annexation Agreement for the Property has expired, the Village continues to enforce those zoning regulations as the zoning provisions regulating all the properties annexed in 1998; and

WHEREAS, the procedural provisions contained in the Village Zoning Ordinance are the procedural regulations applicable to the Property as the exhibit in the Annexation Agreement does not contain any procedural provisions; and

WHEREAS, this Ordinance generally applies to the entire 33 acre Property located north of Gregg's Parkway that is the subject of the Plat of Subdivision; and

WHEREAS, this Ordinance also specifically applies to the project proposed by Menard on Lot 1 of the Property; and

WHEREAS, Tom O'Neil, of Menard, Inc. ("Menard"), in regard to Property legally described in Exhibit A, has petitioned the Village of Vernon Hills for approval of the following:

1. Approval of a Special Use Permit for a Planned Unit Development to allow a development consisting of four lots.
2. Preliminary and final site/improvement approval for Planned Unit Development and Lot 1, subject to conditions set forth below.
3. Preliminary and final approval of the Plat of Subdivision for Menard at Gregg's Landing.

4. Preliminary and final approval of the Landscaping Plans, subject to conditions set forth below.
5. Preliminary and final approval of the architectural elevations for Lot 1, subject to the conditions set forth below.
6. Preliminary and final approval of the Site Lighting Plan, subject to the conditions set forth below.
7. Final approval of the Building and Site Signage Plans, subject to the conditions set forth below.

WHEREAS, Menard requested the following variations as a part of the petition:

- a. To allow a reduction in the number of parking spaces on Lot 1 (Menard) from 899 spaces to 382 spaces.
- b. To allow two, multi-tenant, ground mounted monument signs, having four tenant panels, to exceed the maximum of 50 square feet in size and exceed the maximum height of 8 feet. Specifically, the Milwaukee Avenue sign will be 21 feet in height and 110 square feet per side and the Gregg's Parkway sign will be approximately 12.5 feet in height and 84 square feet per side.
- c. To allow the 3 directional signs at the Lumber Yard entrance to be larger than 3 square feet but not to exceed a cumulative total of 36 square feet.
- d. To allow 2 wall mounted signs on the Menard Building in lieu of the maximum of 1.
- e. To allow the cumulative total of the wall mounted signs to be greater than 3% of the front elevation building face, but not to exceed a total of 600 square feet.
- f. To allow a reduction in off-street loading spaces from 6 to 3.

WHEREAS, the development shall be in substantial conformance with the following plans, subject to the condition at the end of the list of plans:

- Proposed Site Plan prepared by Menard with a latest revision date of June 27, 2014 consisting of 3 pages.
- Final Plat of Gregg's Landing North Subdivision prepared by V3 with the latest revision date of July 15, 2014 consisting of 2 pages.
- Revised Engineering Improvement Plans prepared by V3 with a latest revision date of May 12, 2014 consisting of 27 pages.
- Signage Plans prepared by Menard with the latest revision date of May 9, 2014 consisting of 1 page.
- Landscaping Plans prepared by Manhard Consulting, Ltd. with the latest revision date of June 27, 2014 consisting of 6 pages.
- Cross Sections Location exhibit prepared by V3 with the latest revision date June 27, 2014 consisting of 6 pages.
- Revised Photometric Plans and cutsheets prepared by Menard, Inc., with the latest revision date of June 25, 2014 consisting of 9 pages.
- Architectural Plans – Detailed plans for Menard – Detailed Elevations and color perspective 3D drawings prepared by Bowers+Associates with the latest revision date of July 16, 2014 consisting of 16 pages.

Condition. Menard acknowledges that the above referenced plans might not all be internally consistent with each other and some changes were required to be made that Menard and its consultants were not able to

make prior to the Village Board of Trustee's consideration of this Ordinance. Menard also acknowledges that Menard requested that the Village consider adoption of this Ordinance prior to the time that all the development plans could be properly revised so that all the plans reflect the approvals being granted by the Village. As a result, Menard acknowledges and agrees that it will provide to the Village a full set of the above plans such that they will all be internally consistent and properly reflect the approvals granted by the Village in this Ordinance before building application will be accepted by the Village for review.

WHEREAS, upon due notice and after public hearing held May 28, 2014 and July 9, 2014 and continued from time to time by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above; and

WHEREAS, it has been determined that the granting of approval of the Planned Unit Development will have no serious and depreciating effect upon the value of surrounding property and will have no adverse effect upon the character of the neighborhood, public utility facilities or other matters pertaining to the public health, public safety and general welfare; and

WHEREAS, it has been further determined that construction of the improvements on Lot 1, being the Menard Home Improvement Store, specifically comply with the type and nature of permitted uses applicable to the Property, Menard being found to be a Retail Commercial Use as defined therein; and

WHEREAS, as a part of the site improvement plans, the owners of Lot 1 shall be responsible for or will cause the installation, maintenance, repair and replacement of the storm sewer lines on Lot 1 up to the western property line of the Project Property, being Lot 1; and

WHEREAS, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that addresses the conditions in Sections 18.3 and 21.7 of the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the uses otherwise permitted on the Property, the special use permit to allow the Planned Unit Development to allow a development consisting of four lots and for Menard on Lot 1, along with the certain variations, as listed herein, is hereby granted. Said parcel is legally described in Exhibit A. The approval is subject to the conditions listed below in Section VIII. Additionally, the Special Use Permit is subject to the terms and conditions as set forth in the Development Permit attached in Exhibit C.

SECTION II. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the special use permit to allow Menard is hereby granted. The approval is subject to the conditions listed below in Section VIII. Additionally, the Special Use Permit is subject to the terms and conditions as set forth in the Development Permit attached in Exhibit C.

SECTION III. Pursuant to the Vernon Hills Zoning Ordinance of 1982, preliminary and final site plan and landscaping plan approval for the entire site, as set forth in Exhibit B, are hereby granted subject to the conditions listed below in Section VIII.

SECTION IV. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations, as set forth in Exhibit B, are hereby granted subject to the conditions listed below in Section VIII.

SECTION V. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final plats of subdivision for Gregg's Landing North Subdivision, as set forth in Exhibit B, are hereby granted subject to the conditions listed below in Section VIII.

SECTION VI. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans, as set forth in Exhibit B, are hereby approved subject to the conditions listed below in Section VIII.

SECTION VII. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the Development Permit (Exhibit C) for the entire site is hereby approved subject to the conditions listed below in Section VIII.

SECTION VIII. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the terms and conditions as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above. Said conditions will be made a part of the Development Permit.

SECTION IX. By this Ordinance, the Village is hereby assigning any and all of its rights as set forth on the Plat, in relation to establishing and utilizing storm water facilities, and for subsequent maintenance thereof to the Developer and owners of Lot 1 hereto, and to their successors and assigns.

SECTION X. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION XI. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing

herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION XII. SUCCESSORS AND ASSIGNS. All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of Menard, Inc.

SECTION XIII. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

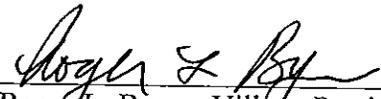
SECTION XIV. ORDINANCE NUMBER. This ordinance shall be known as Ordinance Number 2014-029.

Adopted by roll call vote as follows:

AYES: 5 – Koch, Williams, Schwartz, Hebda, Marquardt

NAYS: 0 - None

ABSENT AND NOT VOTING: 1 - Schultz


Roger L. Byrne, Village President

PASSED: July 22, 2014

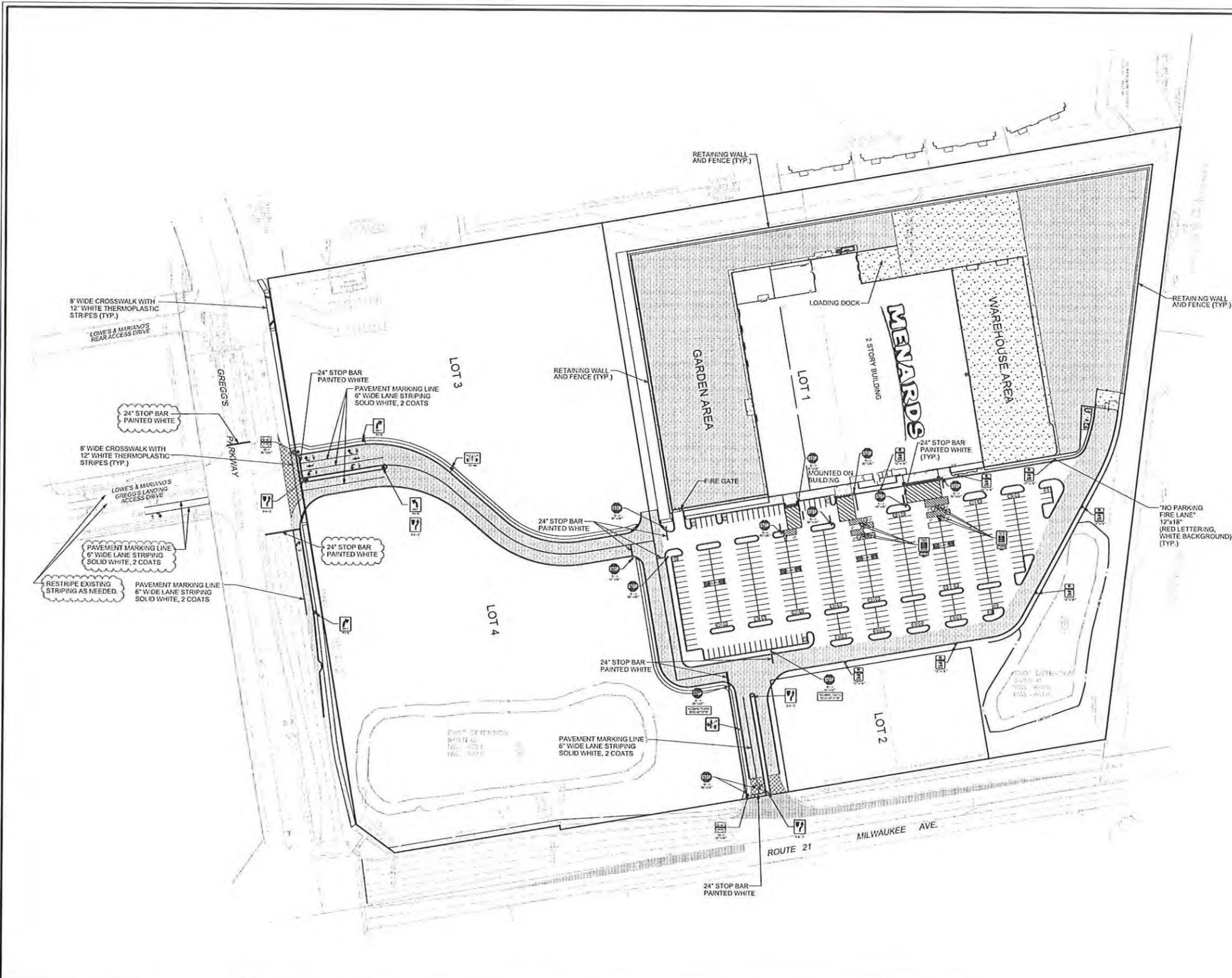
APPROVED: July 22, 2014

PUBLISHED IN PAMPHLET FORM: July 23, 2014

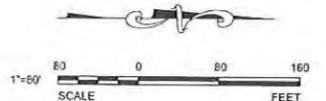
ATTEST:


John Kalmar, Village Clerk





- NOTES:**
1. SEE SHEET C3.1 AND C3.2 FOR PAVEMENT LEGEND AND LAYOUT DETAILS.
 2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
 3. ALL PROPOSED OFF-SITE STRIPING SHALL BE THERMOPLASTIC.



V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	05-12-14	PER VERNON HILLS			
2	06-27-14	PER VERNON HILLS			

PROJECT NO.: 10068.MNRD
 FILE NAME: C3.0 Lay
 ORIGINAL ISSUE DATE: 03-14-14
 SCALE: 1"=80'

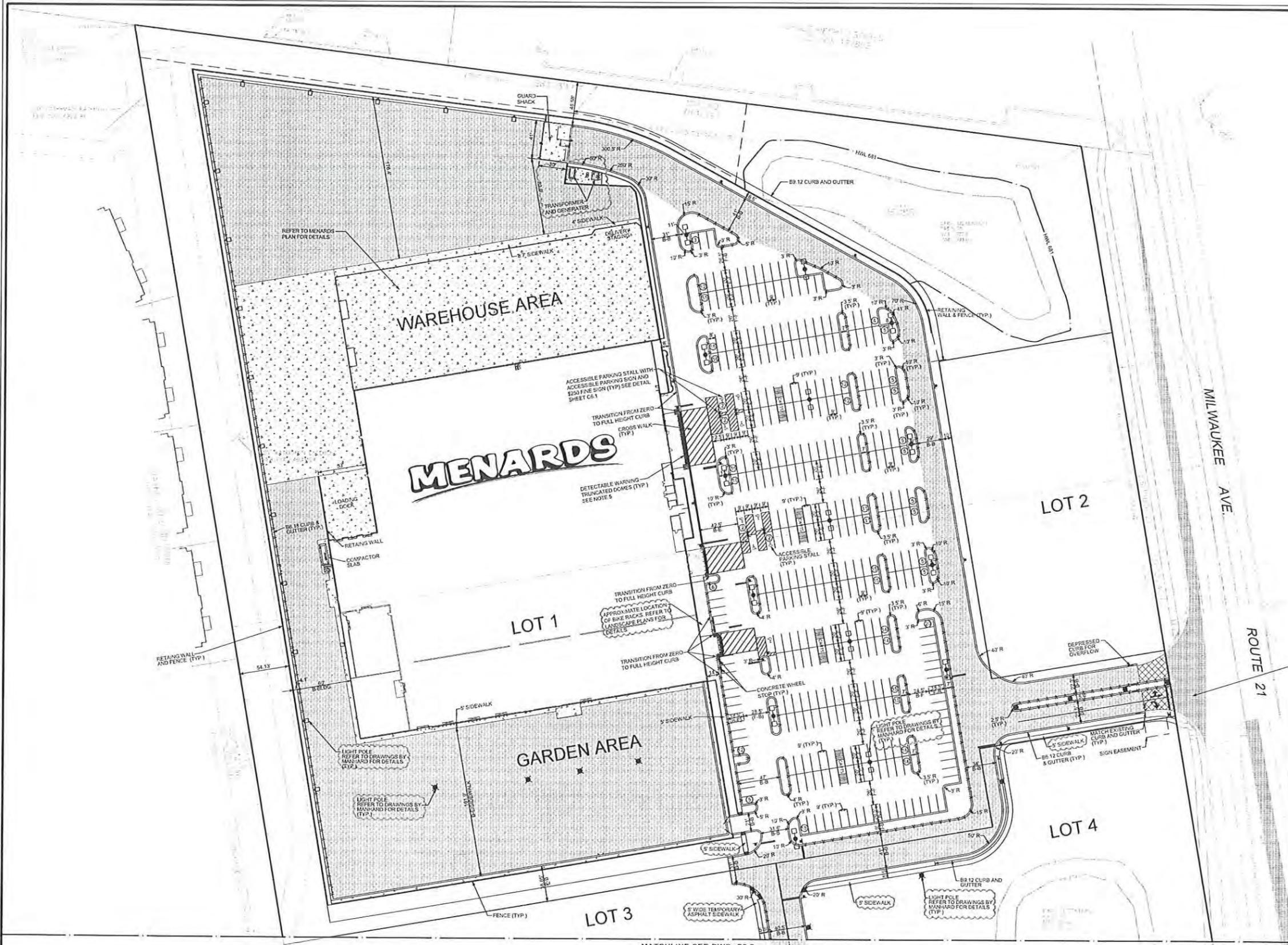
DESIGNED BY: RMW
 DRAWN BY: NRS
 CHECKED BY: JRB
 PROJECT MANAGER: JRB

MENARDS
 1860 N. MILWAUKEE AVE.
 ILLINOIS
 VERNON HILLS

OVERALL LAYOUT AND SIGNAGE PLAN

DRAWING NO. **C3.0**

10068.MNRD - OVERALL LAYOUT PLAN



- NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 3. ALL CURB AND GUTTER SHALL BE B5 12 UNLESS OTHERWISE NOTED.
 4. SEE SHEET C3.9 FOR PAVEMENT STRIPING AND SIGNAGE.
 5. ALL TRUNCATED DOME DETECTABLE WARNINGS SHALL BE ARMOR TILE OR SIMILAR, APPROVED BY THE VILLAGE ENGINEER, BRICK RED IN COLOR.

PAVING LEGEND

HEAVY DUTY BITUMINOUS PAVEMENT

- 2 1/2" BITUMINOUS SURFACE COURSE (HMA MIX "D", N50)
- 2 1/2" BITUMINOUS BINDER COURSE (HMA L-19, N50)
- PRIME COAT, MC-30 AT 0.30 GAL/SY
- 1" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

REGULAR BITUMINOUS PAVEMENT

- 2" BITUMINOUS SURFACE COURSE (HMA MIX "D", N50)
- 2" BITUMINOUS BINDER COURSE (HMA L-19, N50)
- PRIME COAT, MC-30 AT 0.30 GAL/SY
- 1" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

CONCRETE PAVEMENT

- 6" P.C. CONCRETE PAVEMENT WITH (1/8" W2-SW2.5) W.W.F.
- 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

CONCRETE SIDEWALK

- 5" P.C. CONCRETE PAVEMENT
- 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

TEMPORARY ASPHALT SIDEWALK

- 2" BITUMINOUS SURFACE COURSE (HMA MIX "D", N50)
- 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

MILL & RESURFACE BITUMINOUS PAVEMENT

- 1 1/2" EXISTING ASPHALT TO BE MILLED AND PROPERLY DISPOSED OFF
- 1 1/2" BITUMINOUS SURFACE COURSE (HMA MIX "D", N50)

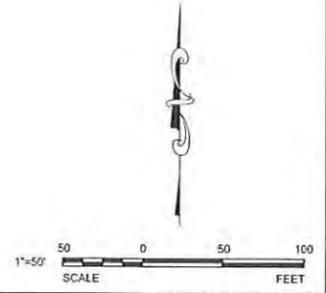
CURB LEGEND

- STANDARD PITCH B5 12 CONCRETE CURB AND GUTTER
- REVERSED PITCH B5 12 CONCRETE CURB AND GUTTER
- B5 12 CONCRETE DEPRESSED CURB AND GUTTER

PARKING SUMMARY

REGULAR STALLS =	365
ACCESSIBLE STALLS =	8
TOTAL STALLS =	375

SEE PLANS TITLED "MILWAUKEE AVENUE IMPROVEMENTS FOR MENARDS" FOR IMPROVEMENTS TO MILWAUKEE AVENUE



REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	05-12-14	PER VERNON HILLS			
2	06-27-14	PER VERNON HILLS			

PROJECT NO. 10068.MNRD
 DESIGNED BY: RMW
 FILE NAME: C3.1 LAY
 DRAWN BY: NRS
 ORIGINAL ISSUE DATE: 03-14-14
 CHECKED BY: JRB
 SCALE: 1"=50'
 PROJECT MANAGER: JRB

MENARDS
 1860 N. MILWAUKEE AVE.
 ILLINOIS

LAYOUT PLAN - NORTH

DRAWING NO. **C3.1**

V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

Visio, Vertere, Virtute... "The Vision to Transform with Excellence"

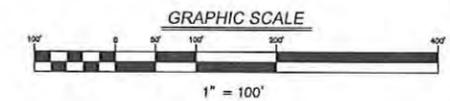
10068.MNRD S04 - LAYOUT PLAN - NORTH

FINAL PLAT OF SUBDIVISION OF GREGG'S LANDING NORTH VERNON HILLS, IL.

BEING A SUBDIVISION OF PART OF SECTION 28 AND 33, TOWNSHIP 44 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS.



VICINITY MAP
NOT TO SCALE



P.I.N.
11-28-400-017

GENERAL NOTES

- 3/4" IRON PIPE WITH PLASTIC CAPS TO BE SET AT ALL LOT CORNERS, POINTS OF CURVATURE AND POINTS OF TANGENCY UPON THE COMPLETION OF MASS GRADING UNLESS OTHERWISE NOTED.
- SIGN EASEMENT AREA, SEE RECIPROCAL EASEMENT AGREEMENT RECORDED BY SEPARATE DOCUMENT.

THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:
NAME: **V3 COMPANIES**
7325 JANES AVE.
WOODRIDGE, IL 60517

LOT AREA TABLE

LOT	SQ. FT.	ACRES
LOT 1	776,623	17.8286
LOT 2	65,770	1.5100
LOT 3	264,569	6.0737
LOT 4	327,402	7.5161
TOTAL	1,434,364	32.9284

ILLINOIS ROUTE 21 ACCESS RESTRICTION

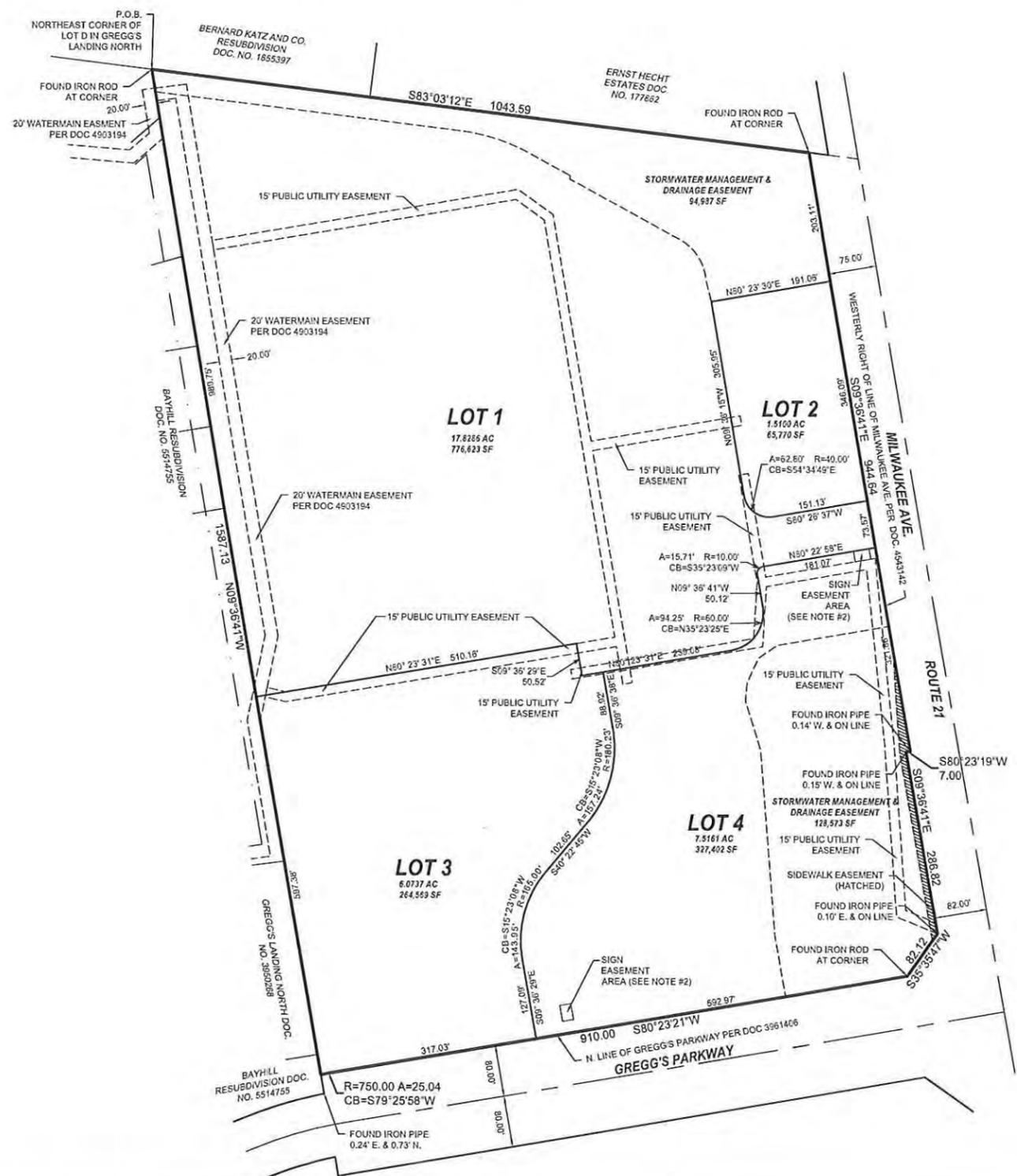
THERE SHALL BE NO DIRECT ACCESS TO ILLINOIS ROUTE 21 (MILWAUKEE AVENUE) FROM LOTS 2, 3 OR 4 OF THIS SUBDIVISION. THE EXISTING ACCESS TO ILLINOIS ROUTE 21 FROM LOT 1 SHALL REMAIN.

LEGEND

	SECTION CORNER		FOUND DISK IN CONCRETE
	QUARTER SECTION CORNER		FOUND BRASS DISC
	PROPERTY LINE		FOUND IRON ROD
	EXISTING RIGHT-OF-WAY LINE		FOUND RAILROAD SPIKE
	PROPOSED RIGHT-OF-WAY LINE		FOUND IRON PIPE
	EXISTING LOT LINE		FOUND IRON BAR
	PROPOSED LOT LINE		SET TRAVERSE POINT
	E. & P. CENTERLINE		SET IRON PIPE
	EXISTING EASEMENT LINE		SET IRON ROD
	PROPOSED EASEMENT LINE		SET CONC. MON. WITH BRASS DISC
	E. & P. BUILDING SETBACK LINE		SET CONC. MON. WITH IRON PIPE
	SECTION LINE		

ABBREVIATIONS

N	NORTH	PC	POINT OF CURVATURE
S	SOUTH	POC	POINT OF COMPOUND CURVATURE
E	EAST	PRC	POINT OF REVERSE CURVATURE
W	WEST	PT	POINT OF TANGENCY
CD	CURVED BEARING	DEED	RECORD DATUM
A	ARC LENGTH	MEAS.	MEASURED DATUM
R	RADIUS	(CALC)	CALCULATED DATUM
U.E.	UTILITY EASEMENT	CEED	INFORMATION TAKEN FROM DEED
P.U.E.	PUBLIC UTILITY EASEMENT	EXTE	EXCEPTION TO BLANKET EASEMENT
D.E.	DRAINAGE EASEMENT	M.U.E.	MUNICIPAL UTILITY EASEMENT
R.E.	ROADWAY EASEMENT	IE	IMPASS & EGRESS EASEMENT
EX	EXISTING		
PRO.	PROPOSED		



Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
MENARD, INC.
5101 MENARD DRIVE
EAU CLAIRE, WI 54703-9625
715-876-5911

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1.	5/12/2014	REVISED EASEMENT LOCATIONS, ADDED SETBACKS			
2.	6/27/2014	REVISED PER VILLAGE COMMENTS			
3.	7/15/2014	REVISED LOT LINES			

FINAL PLAT OF SUBDIVISION

GREGG'S LANDING NORTH, VERNON HILLS, IL.

DRAFTING COMPLETED: 02/28/14 DRAWN BY: EJM PROJECT MANAGER: AJJ
FIELD WORK COMPLETED: CHECKED BY: AJJ SCALE: 1" = 100'

Project No: 10068.MNRD
Group No: VP04.1
SHEET NO.
1 of 2

FINAL PLAT OF SUBDIVISION OF GREGG'S LANDING NORTH VERNON HILLS, IL.

OWNER'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF _____ } SS

THIS IS TO CERTIFY THAT _____ IS THE LEGAL OWNER OF THE LAND DESCRIBED ON THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATE THIS _____ DAY OF _____, 20____.

OWNER _____

NOTARY PUBLIC CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF _____ } SS

I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

THIS IS TO CERTIFY THAT I, _____, THE VILLAGE ENGINEER FOR THE VILLAGE OF VERNON HILLS, ILLINOIS, HAVE REVIEWED AND APPROVED THIS PLAT.

DATED THIS _____ DAY OF _____, 20____ A.D.

VILLAGE ENGINEER _____

PLANNING AND ZONING COMMISSION CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS AT A MEETING.

HELD THIS _____ DAY OF _____, 20____ A.D.

SIGNED _____ CHAIRMAN ATTEST _____ SECRETARY

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

I, _____ COUNTY CLERK OF LAKE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT, GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK.

DATED THIS _____ DAY OF _____, 20____ A.D.

(SEAL) _____
COUNTY CLERK

VILLAGE BOARD CERTIFICATE:

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

APPROVED BY THE VILLAGE PRESIDENT AND THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS, THIS _____ DAY OF _____, 20____ A.D.

PRESIDENT

ATTEST: _____
VILLAGE CLERK

VILLAGE TREASURER CERTIFICATE:

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

I, TREASURER FOR THE VILLAGE OF VERNON HILLS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OF FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.

DATED AT VERNON HILLS, ILLINOIS THIS _____ DAY OF _____, 20____ A.D.

VILLAGE TREASURER

STORMWATER MANAGEMENT & DRAINAGE EASEMENT PROVISIONS

OWNER, ON BEHALF OF ITSELF AND ALL FUTURE HOLDERS OF TITLE TO THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAT (COLLECTIVELY, THE "OWNER"), HEREBY COVENANTS AND AGREES WITH THE VILLAGE OF VERNON HILLS (THE "VILLAGE") AS FOLLOWS.

OWNER SHALL MAINTAIN, OPERATE AND REPAIR THE PORTIONS OF THE PROPERTY IDENTIFIED ON THIS PLAT AS THE "STORM WATER MANAGEMENT AND DRAINAGE AREAS" AT ALL TIMES IN A MANNER CONSISTENT WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE VILLAGE. THE OWNER GRANTS TO THE VILLAGE AND ITS DESIGNEES THE RIGHT OF ACCESS UPON, OVER AND ACROSS THE PROPERTY TO INSPECT THE STORM WATER MANAGEMENT AND DRAINAGE EASEMENT AREAS, AND TO PERFORM ANY MAINTENANCE OF SAID AREAS WHICH THE OWNER HAS FAILED TO PERFORM. IF SUCH FAILURE CONTINUES FOR THIRTY (30) DAYS AFTER WRITTEN NOTICE FROM THE VILLAGE OF SUCH FAILURE, THE VILLAGE MAY ENTER UPON THE PROPERTY AND PERFORM SUCH WORK AS SHOULD HAVE BEEN UNDERTAKEN BY OWNER WITHOUT NOTICE TO OWNER IN AN EMERGENCY (E.G., WHERE PERSONAL INJURY OR MATERIAL DAMAGE TO PROPERTY MAY BE IMMINENT). THE OWNER SHALL BE LIABLE FOR THE COST OF ANY MAINTENANCE SO PERFORMED BY THE VILLAGE AND SHALL PROMPTLY REIMBURSE THE VILLAGE FOR SUCH COSTS, WITH INTEREST AT STATUTORY PRE-JUDGMENT RATE CALCULATED FROM THE DATE OF EXPENDITURE. UPON RECORDATION BY THE VILLAGE OF A NOTICE OF CLAIM FOR REIMBURSEMENT, THE VILLAGE SHALL HAVE A FORECLOSEABLE LIEN UPON THE PROPERTY TO SECURE REIMBURSEMENT. SUCH LIEN SHALL HAVE A PRIORITY AS OF THE DATE OF RECORDATION OF THE NOTICE OF CLAIM.

IN ADDITION TO OTHER REMEDIES PROVIDED FOR ABOVE, UPON OWNER'S FAILURE TO MAINTAIN THE STORM WATER MANAGEMENT AND DRAINAGE EASEMENT AREAS (AFTER NOTICE WHERE REQUIRED AS AFORESAID), THE VILLAGE SHALL BE ENTITLED TO ALL REMEDIES AT LAW OR EQUITY TO ENFORCE THIS AGREEMENT, INCLUDING ALL REMEDIES FOR THE ABATEMENT OF A NUISANCE, WHICH REMEDIES SHALL BE CUMULATIVE AND NOT EXCLUSIVE. IF A JUDGMENT IS ENTERED AGAINST THE OWNER, THE OWNER SHALL PAY ALL REASONABLE ATTORNEYS' FEES AND COSTS OF THE VILLAGE.

SIDEWALK EASEMENT PROVISIONS

ALL EASEMENTS INDICATED AS SIDEWALK EASEMENT ON THIS PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF VERNON HILLS FOR SIDEWALKS, FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE "THE SIDEWALK" TOGETHER WITH ANY AND ALL NECESSARY APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OF VERNON HILLS, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE "SIDEWALK". THE GRANTEE OR GRANTEEES PERFORMING OR CAUSING TO BE PERFORMED ANY OF SAID WORK SHALL REASONABLY RESTORE SUCH AREAS TO THE GENERAL CONDITION THEY EXISTED PRIOR TO THE WORK. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. ELEVATIONS OR GRADES SHALL NOT BE CHANGED WITHIN THE EASEMENT PREMISES WITHOUT THE WRITTEN APPROVAL OF THE VILLAGE OF VERNON HILLS.

SURFACE WATER DRAINAGE STATEMENT

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF ANY LOT IN THIS SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE UNDERSIGNED HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATE THIS _____ DAY OF _____, 20____.

OWNER _____

REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS _____

ILLINOIS DEPARTMENT OF TRANSPORTATION:

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO SECTION 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS" AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

JOHN FORTMANN, P.E.
ACTING DEPUTY DIRECTOR OF HIGHWAYS
REGION ONE ENGINEER

PUBLIC UTILITY EASEMENT PROVISIONS

A PERMANENT, NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF VERNON HILLS AND LAKE COUNTY PUBLIC WORKS ("LCPW") AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, TO INSTALL, RENEW, EXTEND, OPERATE, MAINTAIN AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH THE UNDERGROUND TRANSMISSION, DISTRIBUTION AND/OR COLLECTION OF SANITARY SEWER AND WATER SERVICE. THIS EASEMENT SHALL EXTEND IN, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN AND LABELED "PUBLIC UTILITY EASEMENT" ("PUE") FOR PUBLIC UTILITIES.

THIS EASEMENT SHALL GRANT THE RIGHT OF UNOBSTRUCTED ACCESS FOR INGRESS AND EGRESS TO PUE EASEMENTS ON THIS PLAT, THE RIGHT TO CUT, TRIM OR REMOVE PAVEMENTS, TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHT HERIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL THESE PURPOSES.

NO PERMANENT STRUCTURES, UTILITIES OR OTHER OBSTRUCTIONS SHALL BE PLACED OVER GRANTEEES' FACILITIES OR IN, UPON OR OVER EASEMENT, EXCEPT THAT THE MENARDS FENCE AND FENCE FOUNDATIONS SHALL BE ALLOWED TO CROSS THE EASEMENT AT A 90 DEGREE ANGLE.

THE LOCATION OF THE FACILITIES BY GRANTEEES SHALL NOT CONFLICT OR INTERFERE WITH OTHER PREVIOUSLY INSTALLED PUBLIC IMPROVEMENTS AND ANY CONFLICTS IN SUBSEQUENT USE SHALL BE SUBJECT TO FORMAL RESOLUTION AND APPROVAL BY LCPW.

IN THE EVENT THE GRANTEE ENTERS UPON ANY EASEMENT FOR PURPOSES HEREIN STATED, SAID GRANTEE SHALL BE RESPONSIBLE ONLY FOR RESTORING THE GRADE OF THE PROPERTY, ANY REMOVED PAVEMENTS AND REESTABLISHING GRASS IN AFFECTED GRASSY AREAS.

SURVEYORS AUTHORIZATION CERTIFICATE

I, ANTHONY J. STRICKLAND, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3437, DO HEREBY AUTHORIZE THE VILLAGE OF VERNON HILLS, OR THEIR AGENT TO FILE WITH THE LAKE COUNTY RECORDER'S OFFICE THE FINAL PLAT OF SUBDIVISION KNOWN AS FINAL PLAT OF MENARDS AT GREGG'S LANDING, BEING A RESUBDIVISION OF PART OF SECTION 28 AND 33, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



ANTHONY J. STRICKLAND LAND SURVEYOR NO. 35-3437
V3 COMPANIES OF ILLINOIS, LTD.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS

THIS CERTIFIES THAT I, ANTHONY J. STRICKLAND, AN ILLINOIS REGISTERED LAND SURVEYOR, HAVE SURVEYED, SUBDIVIDED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT D IN GREGG'S LANDING NORTH, BEING A SUBDIVISION OF PARTS OF SECTIONS 28, 29, 32 AND 33, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 31, 1997 AS DOCUMENT NUMBER 3950268; THENCE SOUTH 83 DEGREES 03 MINUTES 12 SECONDS EAST ALONG AN ASSUMED BEARING, BEING THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT D, ALSO BEING THE SOUTHERLY LINE OF LOT 6 IN ERNST HECHT ESTATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED MAY 23, 1918 AS DOCUMENT NO. 177852, A DISTANCE OF 1043.59 FEET TO A POINT ON THE WESTERLY LINE OF MILWAUKEE AVENUE AS CONVEYED TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION PER DOCUMENT RECORDED JUNE 21, 2000, AS DOCUMENT NUMBER 4543142; THENCE SOUTH 09 DEGREES 36 MINUTES 41 SECONDS EAST ALONG THE LAST DESCRIBED LINE 944.64 FEET; THENCE SOUTH 80 DEGREES 23 MINUTES 19 SECONDS WEST ALONG THE LAST DESCRIBED LINE 7.00 FEET; THENCE SOUTH 09 DEGREES 36 MINUTES 41 SECONDS EAST ALONG THE LAST DESCRIBED LINE 286.82 FEET; THENCE SOUTH 35 DEGREES 35 MINUTES 47 SECONDS WEST 82.12 FEET TO A POINT ON THE NORTH LINE OF GREGG'S PARKWAY ACCORDING TO THE DOCUMENT RECORDED APRIL 28, 1997 AS DOCUMENT NUMBER 3991406; THENCE SOUTH 80 DEGREES 23 MINUTES 21 SECONDS WEST, ALONG THE LAST DESCRIBED LINE 910.00 FEET TO A POINT OF CURVATURE; THENCE CONTINUING WESTERLY 25.04 FEET ALONG THE LAST DESCRIBED LINE, BEING A CURVED LINE TO THE LEFT, HAVING A RADIUS OF 750.00 FEET AND WHOSE CHORD BEARS SOUTH 79 DEGREES 25 MINUTES 58 SECONDS WEST 25.04 FEET TO AN INTERSECTION WITH A LINE 1075 FEET, AS MEASURED AT RIGHT ANGLES, WESTERLY OF AND PARALLEL WITH THE CENTER LINE OF SAID MILWAUKEE AVENUE, ALSO BEING THE EASTERLY LINE OF SAID LOT D; THENCE NORTH 09 DEGREES 36 MINUTES 41 SECONDS WEST ALONG THE LAST DESCRIBED LINE, 1587.13 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

ALL LOCATED WITHIN THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS AS SHOWN BY THE PLAT HEREON DRAWN, WHICH IS A CORRECT AND ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION, THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF VERNON HILLS WHICH HAS ADOPTED A COMPREHENSIVE PLAN AND WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF ILLINOIS MUNICIPAL CODE AS HERETOFORE AND HEREAFTER AMENDED.

I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE VILLAGE OF VERNON HILLS RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

THAT THE PROPERTY COVERED BY THIS PLAT OF SUBDIVISION IS LOCATED IN ZONE X AS IDENTIFIED FOR LAKE COUNTY, ILLINOIS, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 17097C0164K, DATED SEPTEMBER 18, 2013.

DATED THIS _____ DAY OF _____, A.D. 2014.



ANTHONY J. STRICKLAND
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3437
MY LICENSE EXPIRES ON NOVEMBER 30, 2014.
V3 COMPANIES OF ILLINOIS, LTD., PROFESSIONAL DESIGN FIRM NO. 184600902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2015.

V Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
MENARD, INC.
5101 MENARD DRIVE
EAU CLAIR, WI. 54703-9625
715-876-5911

NO.		DATE		DESCRIPTION	
1.	5/12/2014	REVISED EASEMENT LOCATIONS, ADDED SETBACKS			
2.	6/27/2014	REVISED PER VILLAGE COMMENTS			
3.	7/15/2014	REVISED LOT LINES			

FINAL PLAT OF SUBDIVISION

GREGG'S LANDING NORTH, VERNON HILLS, IL.

DRAFTING COMPLETED: 02/28/14 DRAWN BY: EJM PROJECT MANAGER: AJS
FIELD WORK COMPLETED: N/A CHECKED BY: AJS SCALE: 1" = 100'

Project No: 10068.MNRD
Group No: VP04.1
SHEET NO. 2 of 2

FINAL ENGINEERING PLANS FOR MENARDS 1860 NORTH MILWAUKEE AVENUE VERNON HILLS, ILLINOIS

RECEIVED
JUN 27 2014
COMMUNITY DEVELOPMENT
DEPARTMENT

PROJECT TEAM

OWNER

Menards, Inc.
5101 Menard Drive
Eau Clair, WI 54703-9625
715-876-6213
Contact: Jim Carlson

ENGINEER

V3 Companies
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200 voice
630 724 9202 fax
Project Manager: John Brown, P.E.
Project Engineer: Martin Iwanicki, P.E.

VILLAGE OF VERNON HILLS

490 Greenleaf Drive
Vernon Hills, IL 60061
847-367-3726
Contact: David Brown, Village Engineer

LAKE COUNTY PUBLIC WORKS

650 W. Winchester Road
Libertyville, IL 60048
847-377-7500
Contact: Gordan White, Engineering Supervisor

COMED

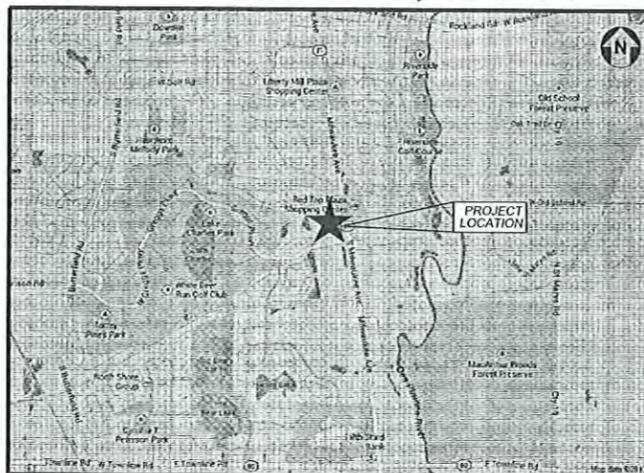
847-816-5327
Elias Martinez

TDS TELECOM

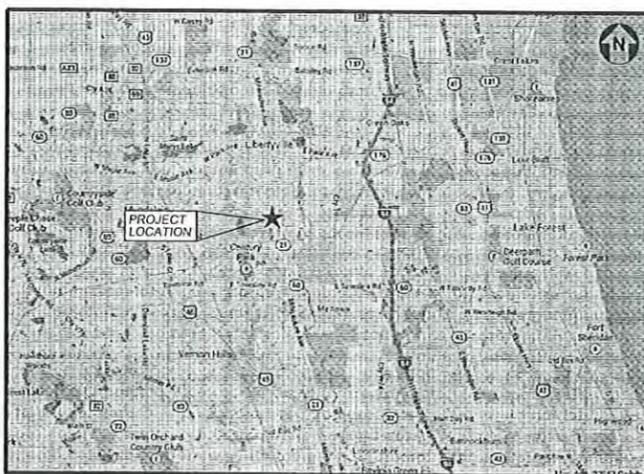
200 N. Fairway Drive, Suite 176
Vernon Hills, IL 60061
847-968-5802
815-639-4710
Contact: Bill Davis

NORTHSHORE GAS

3001 Grand Avenue
Waukegan, IL 60085
847-263-4643
Contact: Joe Chinik



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

INDEX OF DRAWINGS

TITLE SHEET

- C1.0 GENERAL NOTES, LEGEND AND ABBREVIATIONS
- C2.0 OVERALL EXISTING CONDITIONS
- C2.1 EXISTING CONDITIONS AND DEMOLITION PLAN
- C2.2 EXISTING CONDITIONS AND DEMOLITION PLAN
- C3.0 OVERALL LAYOUT AND SIGNAGE PLAN
- C3.1 LAYOUT PLAN - NORTH
- C3.2 LAYOUT PLAN - SOUTH
- C4.1 GRADING PLAN - NORTH
- C4.2 GRADING PLAN - SOUTH
- C4.3 EROSION CONTROL PLAN - NORTH
- C4.4 EROSION CONTROL PLAN - SOUTH
- C4.5 EROSION CONTROL DETAILS
- C5.0 OVERALL UTILITY PLAN
- C5.1 UTILITY PLAN - NORTH
- C5.2 UTILITY PLAN - SOUTH
- C6.0 CONSTRUCTION DETAILS
- C6.1 CONSTRUCTION DETAILS AND SANITARY SEWER PROFILES
- C6.2 CONSTRUCTION DETAILS

BENCHMARKS

STATION DESIGNATION: SBM#1
ESTABLISHED BY: SMITH ENGINEERING CONSULTANTS, INC.

ELEVATION: 693.45 (PUBLISHED AND HELD)
DATUM: NAVD83
DESCRIPTION:
CUT "X" IN THE EAST NOSE OF A CONCRETE CURB ISLAND LOCATED ALONG THE CENTERLINE OF GREG'S PARKWAY AND APPROXIMATELY 803 FEET WEST OF THE CENTERLINE OF ROUTE 21.

STATION DESIGNATION: SBM#2
ESTABLISHED BY: V3 COMPANIES

ELEVATION: 682.39 (MEASURED)
DATUM: NAVD83
DESCRIPTION:
WEST EDGE OF LIGHT STANDARD LOCATED ON THE EAST SIDE OF ROUTE 21 AND NORTH OF THE ENTRANCE TO SITE.

PROFESSIONAL ENGINEER'S CERTIFICATION

I, JOHN R. BROWN, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF MENARDS BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D., 2014.

ILLINOIS LICENSED PROFESSIONAL ENGINEER: 062-050103
MY LICENSE EXPIRES ON NOVEMBER 30, 2015

ILLINOIS LICENSED DESIGN FIRM NO. 184-000902

REVISIONS

NO.	DATE	DESCRIPTION	SHEETS REVISED	REV. BY
1	05-12-14	PER VERNON HILLS		/
2	05-26-14	PER VERNON HILLS	ALL	MEI/INNS

ORIGINAL ISSUE DATE: MARCH 14, 2014



V3 Companies
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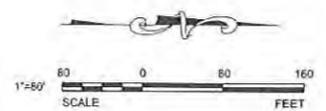
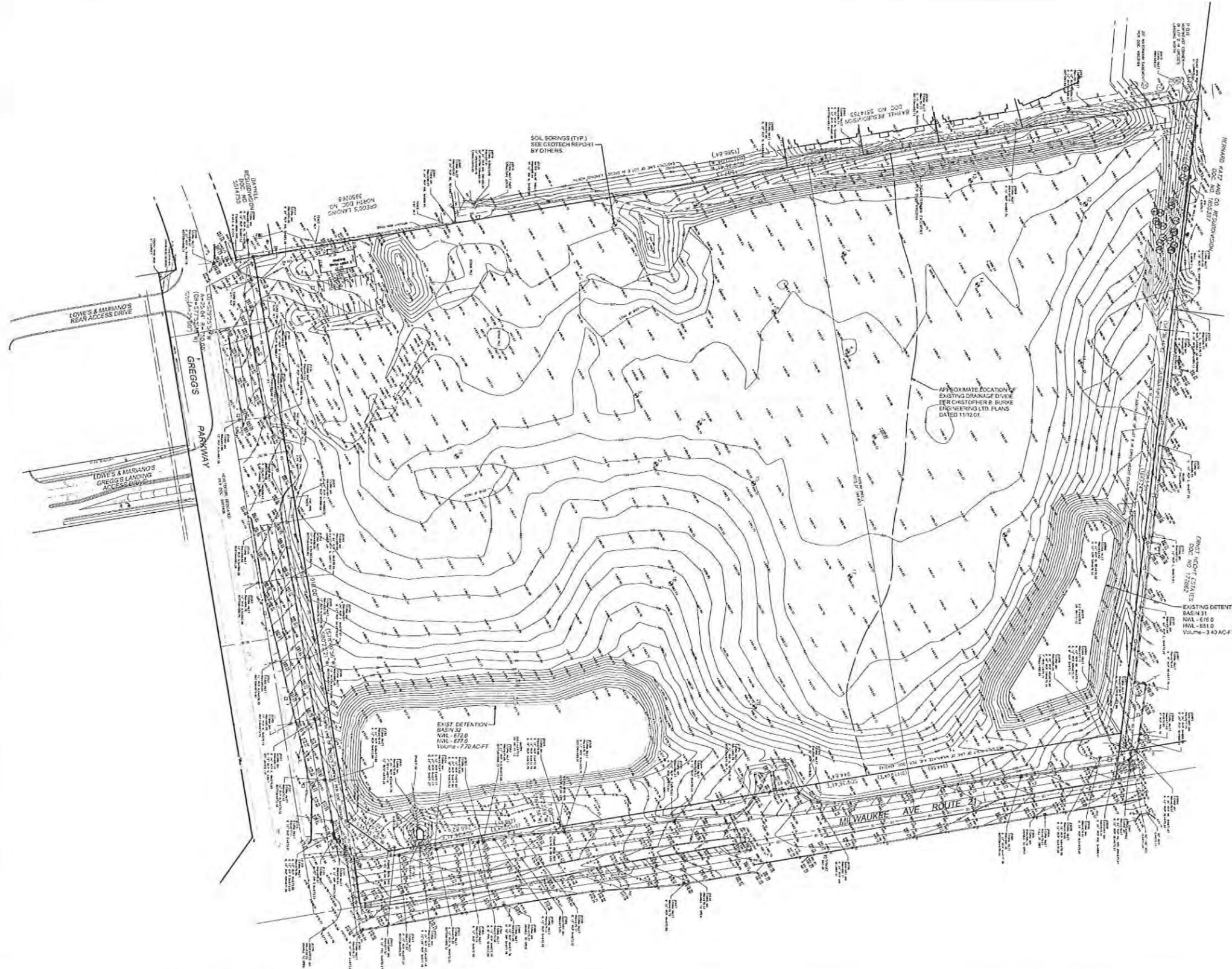


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THIS DOCUMENT IS THE PROPERTY OF V3 COMPANIES AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 COMPANIES.



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 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	05-12-14	PER VERNON HILLS			
2	06-27-14	PER VERNON HILLS			

SEAL:

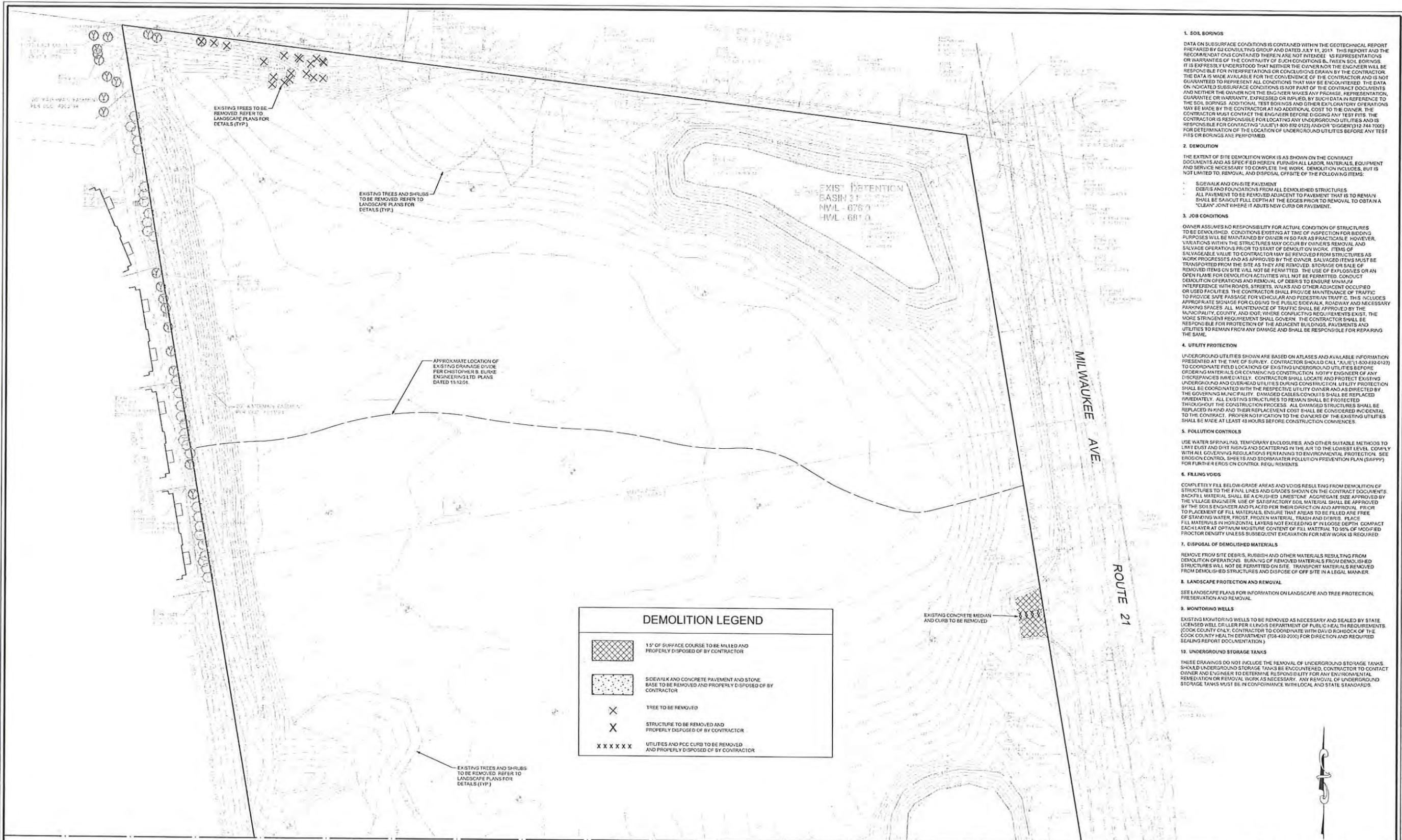
PROJECT NO.: 10068.MNRD
 FILE NAME: C2.0 Exc
 ORIGINAL ISSUE DATE: 03-14-14
 SCALE: 1"=80'

DESIGNED BY: RMW
 DRAWN BY: NRS
 CHECKED BY: JRB
 PROJECT MANAGER: JRB
 VERNON HILLS ILLINOIS

MENARDS
1860 N. MILWAUKEE AVE.

OVERALL EXISTING CONDITIONS

DRAWING NO. **C2.0**



1. SOIL BORINGS
 DATA ON SUBSURFACE CONDITIONS IS CONTAINED WITHIN THE GEOTECHNICAL REPORT PREPARED BY G2 CONSULTING GROUP AND DATED JULY 11, 2013. THIS REPORT AND THE RECOMMENDATIONS CONTAINED THEREIN ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN SOIL BORINGS. IT IS EXPRESSLY UNDERSTOOD THAT NEITHER THE OWNER NOR THE ENGINEER WILL BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR. THE DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT GUARANTEED TO REPRESENT ALL CONDITIONS THAT MAY BE ENCOUNTERED. THE DATA ON INDICATED SUBSURFACE CONDITIONS IS NOT PART OF THE CONTRACT DOCUMENTS AND NEITHER THE OWNER NOR THE ENGINEER MAKES ANY PROMISE, REPRESENTATION, GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, BY SUCH DATA IN REFERENCE TO THE SOIL BORINGS. ADDITIONAL TEST BORINGS AND OTHER EXPLORATORY OPERATIONS MAY BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MUST CONTACT THE ENGINEER BEFORE DIGGING ANY TEST PITS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ANY UNDERGROUND UTILITIES AND IS RESPONSIBLE FOR CONTACTING "JULIE" (1-800-892-0123) AND/OR "DIGGER" (312-744-7000) FOR DETERMINATION OF THE LOCATION OF UNDERGROUND UTILITIES BEFORE ANY TEST PITS OR BORINGS ARE PERFORMED.
2. DEMOLITION
 THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
 - SIDEWALK AND ON-SITE PAVEMENT
 - DEBRIS AND FOUNDATIONS FROM ALL DEMOLISHED STRUCTURES
 - ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ADJUTS NEW CURB OR PAVEMENT.
3. JOB CONDITIONS
 OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNERS REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURES AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. THE USE OF EXPLOSIVES OR AN OPEN FLAME FOR DEMOLITION ACTIVITIES WILL NOT BE PERMITTED. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. THE CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC TO PROVIDE SAFE PASSAGE FOR VEHICULAR AND PEDESTRIAN TRAFFIC. THIS INCLUDES APPROPRIATE SIGNAGE FOR CLOSING THE PUBLIC SIDEWALK, ROADWAY AND NECESSARY PARKING SPACES. ALL MAINTENANCE OF TRAFFIC SHALL BE APPROVED BY THE MUNICIPALITY, COUNTY, AND DOT WHERE CONFLICTING REQUIREMENTS EXIST. THE MORE STRINGENT REQUIREMENT SHALL GOVERN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THE ADJACENT BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
4. UTILITY PROTECTION
 UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLAS AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
5. POLLUTION CONTROLS
 USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR FURTHER EROSION CONTROL REQUIREMENTS.
6. FILLING VOIDS
 COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE A CRUSHED LIMESTONE AGGREGATE SIZE APPROVED BY THE VILLAGE ENGINEER. USE OF SATISFACTORY SOIL MATERIAL SHALL BE APPROVED BY THE SOILS ENGINEER AND PLACED PER THEIR DIRECTION AND APPROVAL. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 8" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.
7. DISPOSAL OF DEMOLISHED MATERIALS
 REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSE OF OFF SITE IN A LEGAL MANNER.
8. LANDSCAPE PROTECTION AND REMOVAL
 SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION AND REMOVAL.
9. MONITORING WELLS
 EXISTING MONITORING WELLS TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS. (COOK COUNTY ONLY. CONTRACTOR TO COORDINATE WITH DAVID RICHBOCK OF THE COOK COUNTY HEALTH DEPARTMENT (708-492-2000) FOR DIRECTION AND REQUIRED SEALING REPORT DOCUMENTATION.)
10. UNDERGROUND STORAGE TANKS
 THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.

DEMOLITION LEGEND	
	15' OF SURFACE COURSE TO BE MILLED AND PROPERLY DISPOSED OF BY CONTRACTOR
	SIDEWALK AND CONCRETE PAVEMENT AND STONE BASE TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR
	TREE TO BE REMOVED
	STRUCTURE TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR
	UTILITIES AND PCC CURB TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR

EXISTING TREES TO BE REMOVED. REFER TO LANDSCAPE PLANS FOR DETAILS (TYP.)

EXISTING TREES AND SHRUBS TO BE REMOVED. REFER TO LANDSCAPE PLANS FOR DETAILS (TYP.)

APPROXIMATE LOCATION OF EXISTING DRAINAGE DIVIDE PER CHRISTOPHER B. BURKE ENGINEERING LTD. PLANS DATED 11.12.01.

EXISTING TREES AND SHRUBS TO BE REMOVED. REFER TO LANDSCAPE PLANS FOR DETAILS (TYP.)

MATCHLINE SEE DWG. C2.2

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NO.	DATE	DESCRIPTION	
1	05-12-14	PER VERNON HILLS	
2	06-27-14	PER VERNON HILLS	

SEAL:

PROJECT NO.: 10068.MNRD
 FILE NAME: C2.1 Exc
 ORIGINAL ISSUE DATE: 03-14-14
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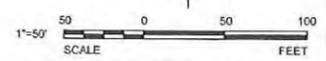
DESIGNED BY: RMW
 DRAWN BY: NRS
 CHECKED BY: JRB
 PROJECT MANAGER: JRB

MENARDS
 1860 N. MILWAUKEE AVE.

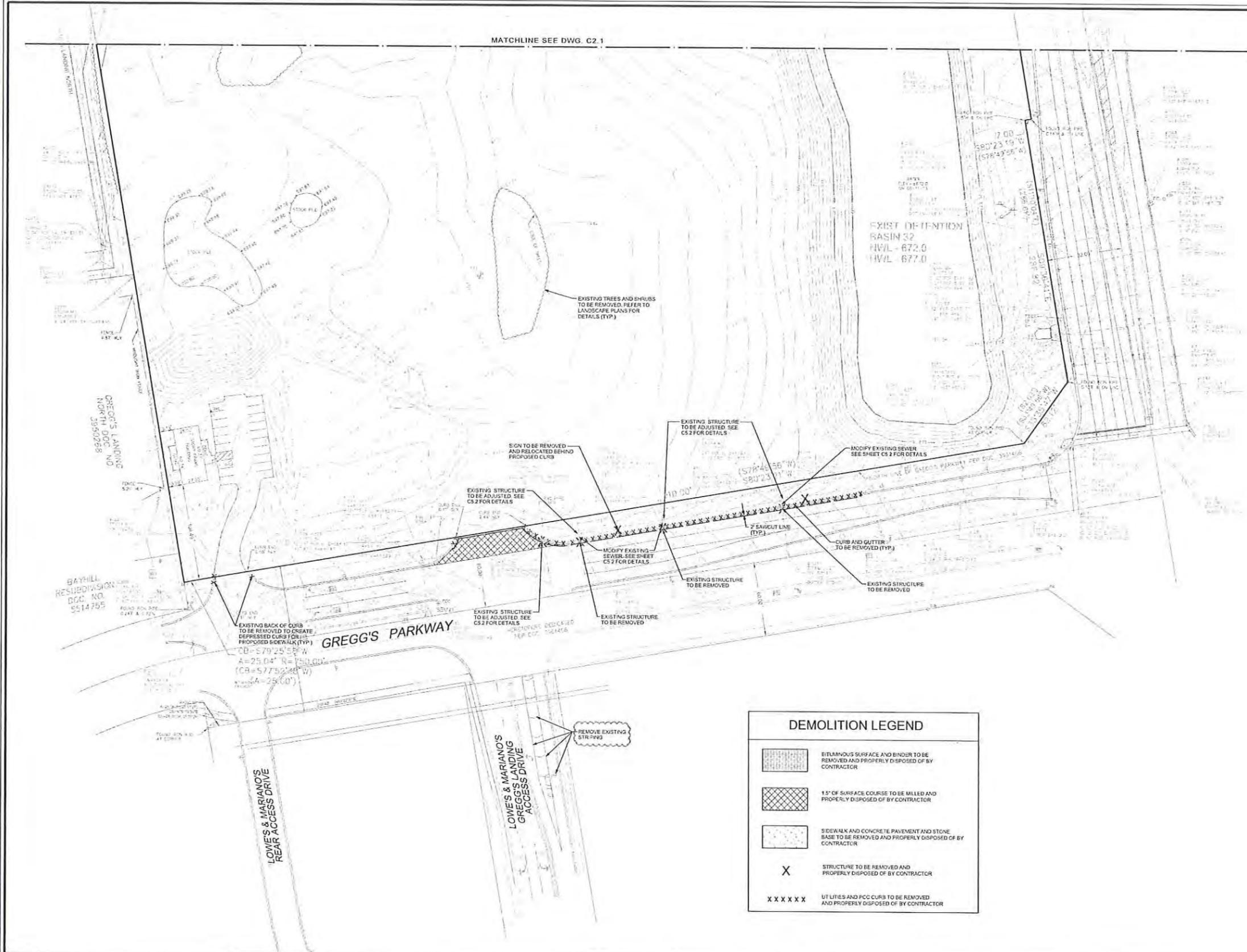
VERNON HILLS ILLINOIS

EXISTING CONDITIONS
 AND DEMOLITION PLAN - NORTH

DRAWING NO.
C2.1



MATCHLINE SEE DWG. C2.1



1. SOIL BORINGS
DATA ON SUBSURFACE CONDITIONS IS CONTAINED WITHIN THE GEOTECHNICAL REPORT PREPARED BY G2 CONSULTING GROUP AND DATED JULY 11, 2013. THIS REPORT AND THE RECOMMENDATIONS CONTAINED THEREIN ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN SOIL BORINGS. IT IS EXPRESSLY UNDERSTOOD THAT NEITHER THE OWNER NOR THE ENGINEER WILL BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR. THE DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT GUARANTEED TO REPRESENT ALL CONDITIONS THAT MAY BE ENCOUNTERED. THE DATA ON INDICATED SUBSURFACE CONDITIONS IS NOT PART OF THE CONTRACT DOCUMENTS AND NEITHER THE OWNER NOR THE ENGINEER MAKES ANY PROMISE, REPRESENTATION, GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, BY SUCH DATA IN REFERENCE TO THE SOIL BORINGS. ADDITIONAL TEST BORINGS AND OTHER EXPLORATORY OPERATIONS MAY BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MUST CONTACT THE ENGINEER BEFORE DISCUSSING ANY TEST FITS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ANY UNDERGROUND UTILITIES AND IS RESPONSIBLE FOR CONTACTING "ALJEY" (800-892-0123) AND/OR "DIGGER" (312-744-7000) FOR DETERMINATION OF THE LOCATION OF UNDERGROUND UTILITIES BEFORE ANY TEST FITS OR BORINGS ARE PERFORMED.
2. DEMOLITION
THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
 - SIDEWALK AND ON-SITE PAVEMENT
 - DEBRIS AND FOUNDATIONS FROM ALL DEMOLISHED STRUCTURES
 - ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
3. JOB CONDITIONS
OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURES AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. THE USE OF EXPLOSIVES OR AN OPEN FLAME FOR DEMOLITION ACTIVITIES WILL NOT BE PERMITTED. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. THE CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC TO PROVIDE SAFE PASSAGE FOR VEHICULAR AND PEDESTRIAN TRAFFIC. THIS INCLUDES APPROPRIATE SIGNAGE FOR CROSSING THE PUBLIC SIDEWALK, ROADWAY AND NECESSARY PARKING SPACES. ALL MAINTENANCE OF TRAFFIC SHALL BE PROVIDED BY THE MUNICIPALITY, COUNTY, AND DOT, WHERE CONFLICTING REQUIREMENTS EXIST. THE MORE STRINGENT REQUIREMENT SHALL GOVERN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THE ADJACENT BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
4. UTILITY PROTECTION
UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/COJUTS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
5. POLLUTION CONTROLS
USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR FURTHER EROSION CONTROL REQUIREMENTS.
6. FILLING VOIDS
COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. FILL MATERIAL SHALL BE A CRUSHED LIMESTONE AGGREGATE SIZE APPROVED BY THE VILLAGE ENGINEER. USE OF SATISFACTORY SOIL MATERIAL SHALL BE APPROVED BY THE SOILS ENGINEER AND PLACED PER THEIR DIRECTION AND APPROVAL. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.
7. DISPOSAL OF DEMOLISHED MATERIALS
REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSE OF OFF SITE IN A LEGAL MANNER.
8. LANDSCAPE PROTECTION AND REMOVAL
SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION AND REMOVAL.
9. MONITORING WELLS
EXISTING MONITORING WELLS TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS. (COOK COUNTY ONLY: CONTRACTOR TO COORDINATE WITH DAVID RICHSOCK OF THE COOK COUNTY HEALTH DEPARTMENT (708-492-3000) FOR DIRECTION AND REQUIRED SEALING REPORT DOCUMENTATION.)
10. UNDERGROUND STORAGE TANKS
THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.

DEMOLITION LEGEND

	BITUMINOUS SURFACE AND BINDER TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR
	1.5" OF SURFACE COURSE TO BE MILLED AND PROPERLY DISPOSED OF BY CONTRACTOR
	SIDEWALK AND CONCRETE PAVEMENT AND STONE BASE TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR
X	STRUCTURE TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR
XXXXXX	UTILITIES AND FCC CURBS TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR



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1	05-12-14	PER VERNON HILLS	
2	06-27-14	PER VERNON HILLS	

PROJECT NO. 10068.MNRD	DESIGNED BY. RMW
FILE NAME C2.2 ExC	DRAWN BY. NRS
ORIGINAL ISSUE DATE 03-14-14	CHECKED BY. JRB
SCALE 1"=50'	PROJECT MANAGER JRB

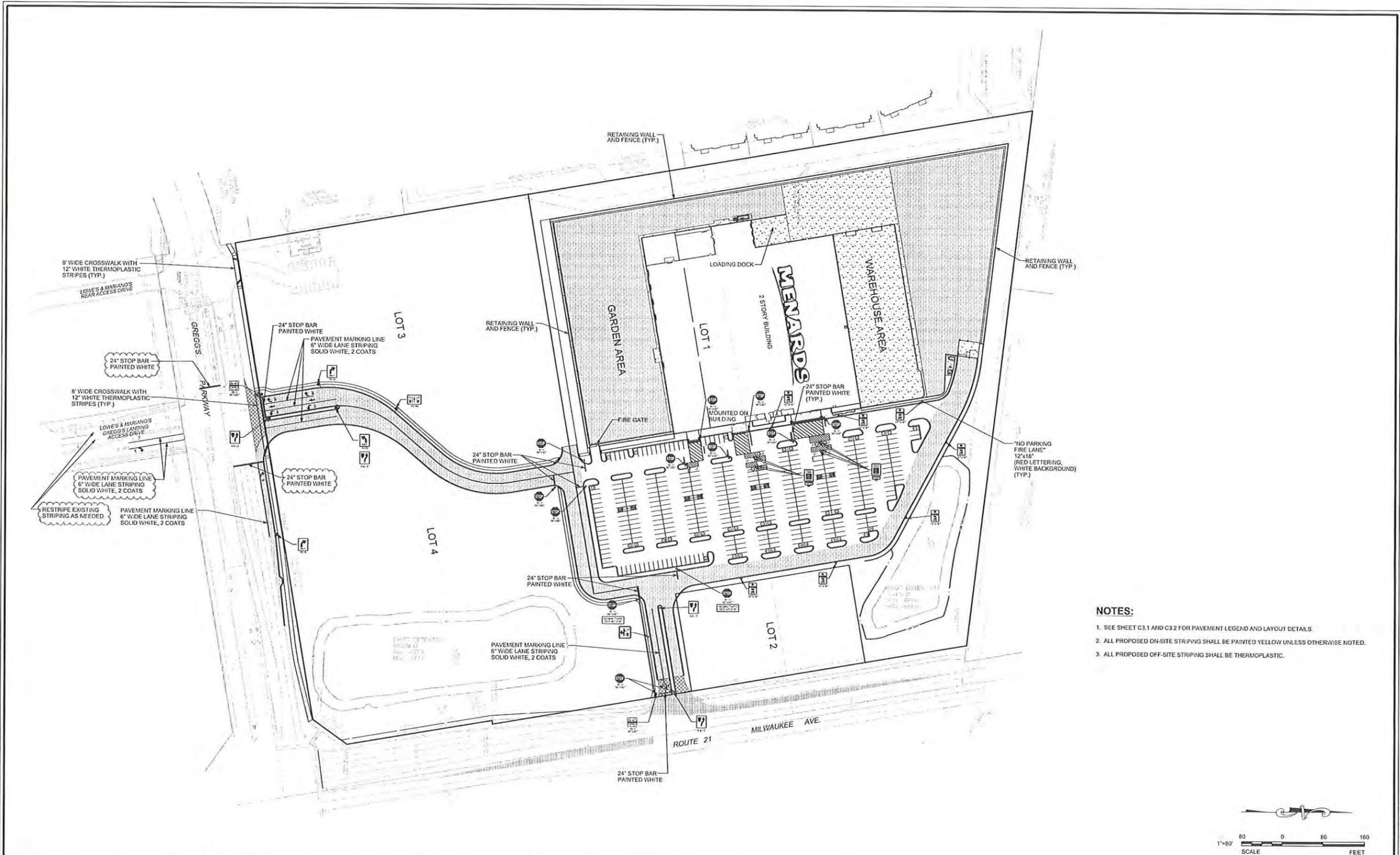
MENARDS
1860 N. MILWAUKEE AVE.
VERNON HILLS
ILLINOIS

**EXISTING CONDITIONS
AND DEMOLITION PLAN - SOUTH**

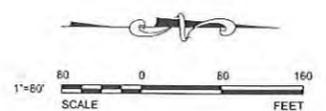
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DRAWING NO.

10068.MNRD - EXISTING CONDITIONS AND DEMOLITION PLAN - SOUTH

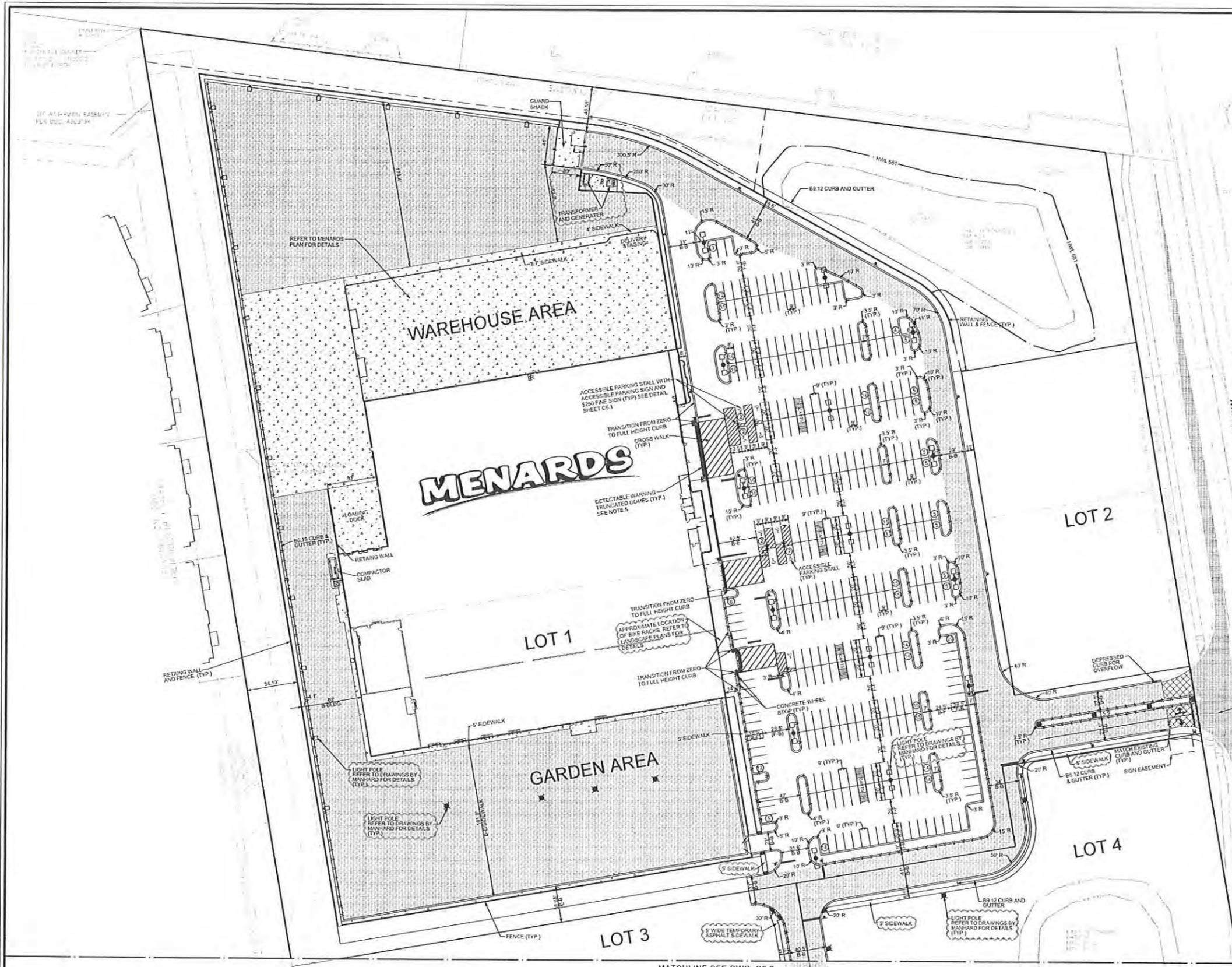


- NOTES:**
1. SEE SHEET C3.1 AND C3.2 FOR PAVEMENT LEGEND AND LAYOUT DETAILS.
 2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
 3. ALL PROPOSED OFF-SITE STRIPING SHALL BE THERMOPLASTIC.



<p>V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>	REVISIONS				PROJECT NO. 10068.MNRD DESIGNED BY: RMW FILE NAME: C3.0 Lay DRAWN BY: NRS ORIGINAL ISSUE DATE: 03-14-14 CHECKED BY: JRB SCALE: 1"=80' PROJECT MANAGER: JRB	MENARDS 1860 N. MILWAUKEE AVE. VERNON HILLS ILLINOIS	OVERALL LAYOUT AND SIGNAGE PLAN	DRAWING NO. C3.0
	NO.	DATE	DESCRIPTION	NO.				
	1	05-12-14	PER VERNON HILLS					
	2	06-27-14	PER VERNON HILLS					

10068.MNRD - OVERALL LAYOUT PLAN



- NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 3. ALL CURB AND GUTTER SHALL BE B6 12 UNLESS OTHERWISE NOTED.
 4. SEE SHEET C3.0 FOR PAVEMENT STRIPING AND SIGNAGE.
 5. ALL TRUNCATED DOME DETECTABLE WARNING SHALL BE A SMOR TILE OR SIMILAR, APPROVED BY THE VILLAGE ENGINEER, BRICK RED IN COLOR.

PAVING LEGEND

HEAVY DUTY BITUMINOUS PAVEMENT	2" 6" BITUMINOUS SURFACE COURSE (HMA MIX "D", NS0) 2" 5" BITUMINOUS BINDER COURSE (HMA L-19, NS0) PRIME COAT, MC-30 AT 0.30 GAL/SY 1" 7" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED
REGULAR BITUMINOUS PAVEMENT	2" 6" BITUMINOUS SURFACE COURSE (HMA MIX "D", NS0) 2" 5" BITUMINOUS BINDER COURSE (HMA L-19, NS0) PRIME COAT, MC-30 AT 0.30 GAL/SY 1" 7" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED
CONCRETE PAVEMENT	8" 1" C. CONCRETE PAVEMENT WITH (EXS 1/2 8" 2.5) W/W F. 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED
CONCRETE SIDEWALK	5" 1" C. CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED
TEMPORARY ASPHALT SIDEWALK	2" BITUMINOUS SURFACE COURSE (HMA MIX "D", NS0) 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED
MILL & RESURFACE BITUMINOUS PAVEMENT	1.5" EXISTING ASPHALT TO BE MILLED AND PROPERLY DISPOSED OFF 1.5" BITUMINOUS SURFACE COURSE (HMA MIX "D", NS0)

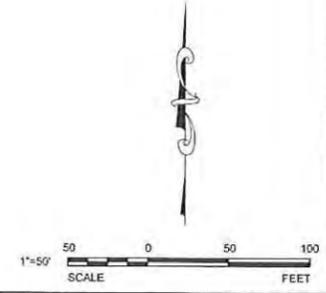
CURB LEGEND

	STANDARD PITCH B6 12 CONCRETE CURB AND GUTTER
	REVERSED PITCH B6 12 CONCRETE CURB AND GUTTER
	B6 12 CONCRETE DEPRESSED CURB AND GUTTER

PARKING SUMMARY

REGULAR STALLS =	305
ACCESSIBLE STALLS =	9
TOTAL STALLS =	315

SEE PLANS TITLED "MILWAUKEE AVENUE IMPROVEMENTS FOR MENARDS" FOR IMPROVEMENTS TO MILWAUKEE AVENUE



REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	05-12-14	PER VERNON HILLS			
2	06-27-14	PER VERNON HILLS			

PROJECT NO.	10068.MNRD	DESIGNED BY:	RMW
FILE NAME:	C3.1 LAY	DRAWN BY:	NRS
ORIGINAL ISSUE DATE:	03-14-14	CHECKED BY:	JRB
SCALE:	1"=50'	PROJECT MANAGER:	JRB

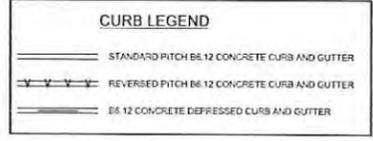
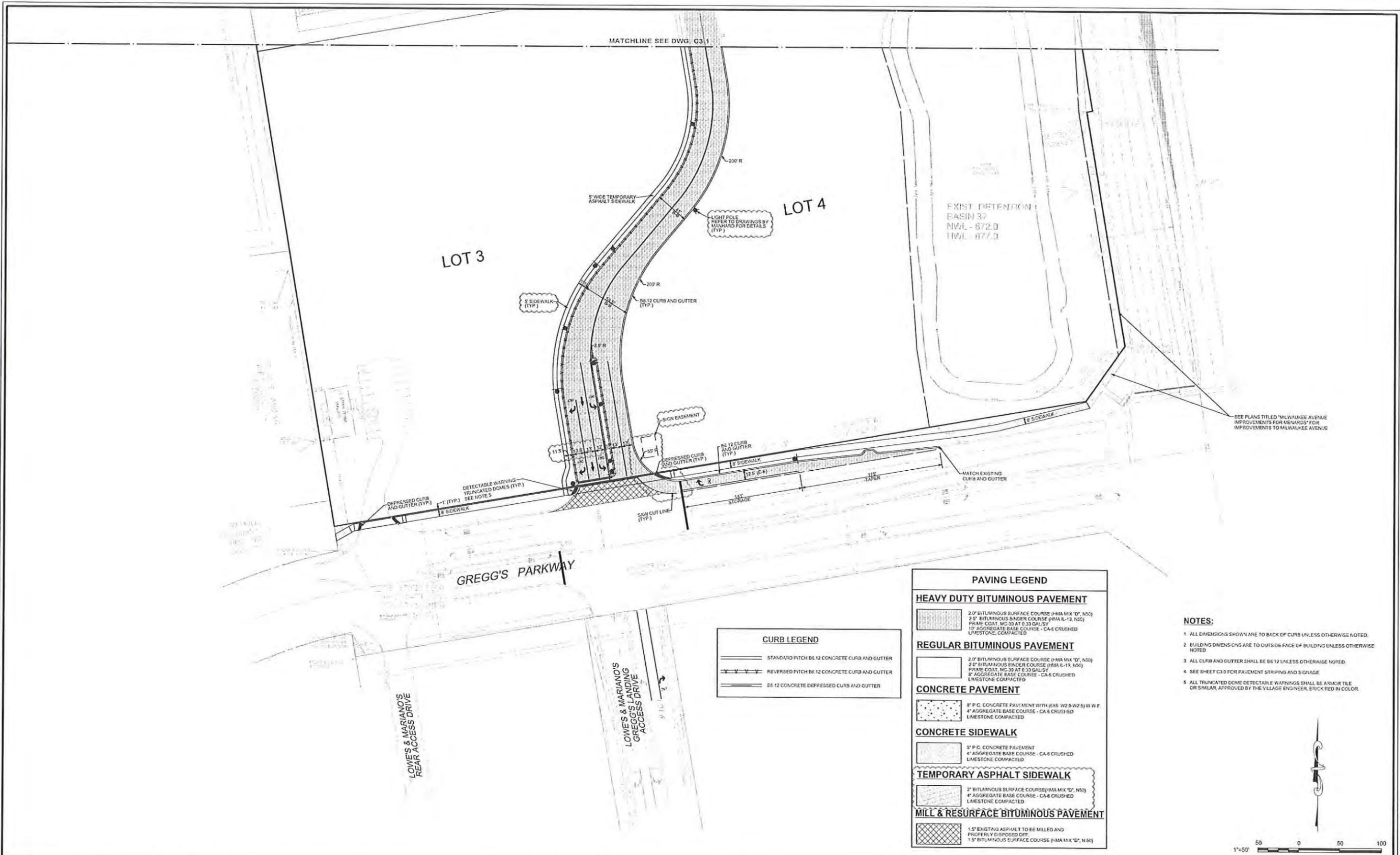
MENARDS
1860 N. MILWAUKEE AVE.

LAYOUT PLAN - NORTH

DRAWING NO.
C3.1

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PAVING LEGEND

HEAVY DUTY BITUMINOUS PAVEMENT

- 2" BITUMINOUS SURFACE COURSE (HMA MIX "D", N50)
- 2" BITUMINOUS BINDER COURSE (HMA B-13, N50)
- PRIME COAT, MC-30 AT 0.33 GAL/SY
- 1" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

REGULAR BITUMINOUS PAVEMENT

- 2" BITUMINOUS SURFACE COURSE (HMA MIX "D", N50)
- 2" BITUMINOUS BINDER COURSE (HMA B-13, N50)
- PRIME COAT, MC-30 AT 0.33 GAL/SY
- 1" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

CONCRETE PAVEMENT

- 8" P.C. CONCRETE PAVEMENT WITH (EKS. W2.5-W2.5) W.W.F.
- 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

CONCRETE SIDEWALK

- 5" P.C. CONCRETE PAVEMENT
- 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

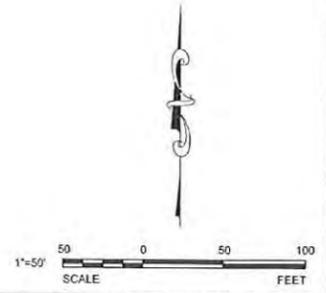
TEMPORARY ASPHALT SIDEWALK

- 2" BITUMINOUS SURFACE COURSE (HMA MIX "D", N50)
- 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED

MILL & RESURFACE BITUMINOUS PAVEMENT

- 1" EXISTING ASPHALT TO BE MILLED AND PROPERLY DISPOSED OFF.
- 1" BITUMINOUS SURFACE COURSE (HMA MIX "D", N50)

- NOTES:**
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
 - SEE SHEET C3.0 FOR PAVEMENT STRIPING AND SIGNAGE.
 - ALL TRUNCATED DOME DETECTABLE WARNING SHALL BE 4" X 4" TILE OR SIMILAR, APPROVED BY THE VILLAGE ENGINEER, BRICK RED IN COLOR.



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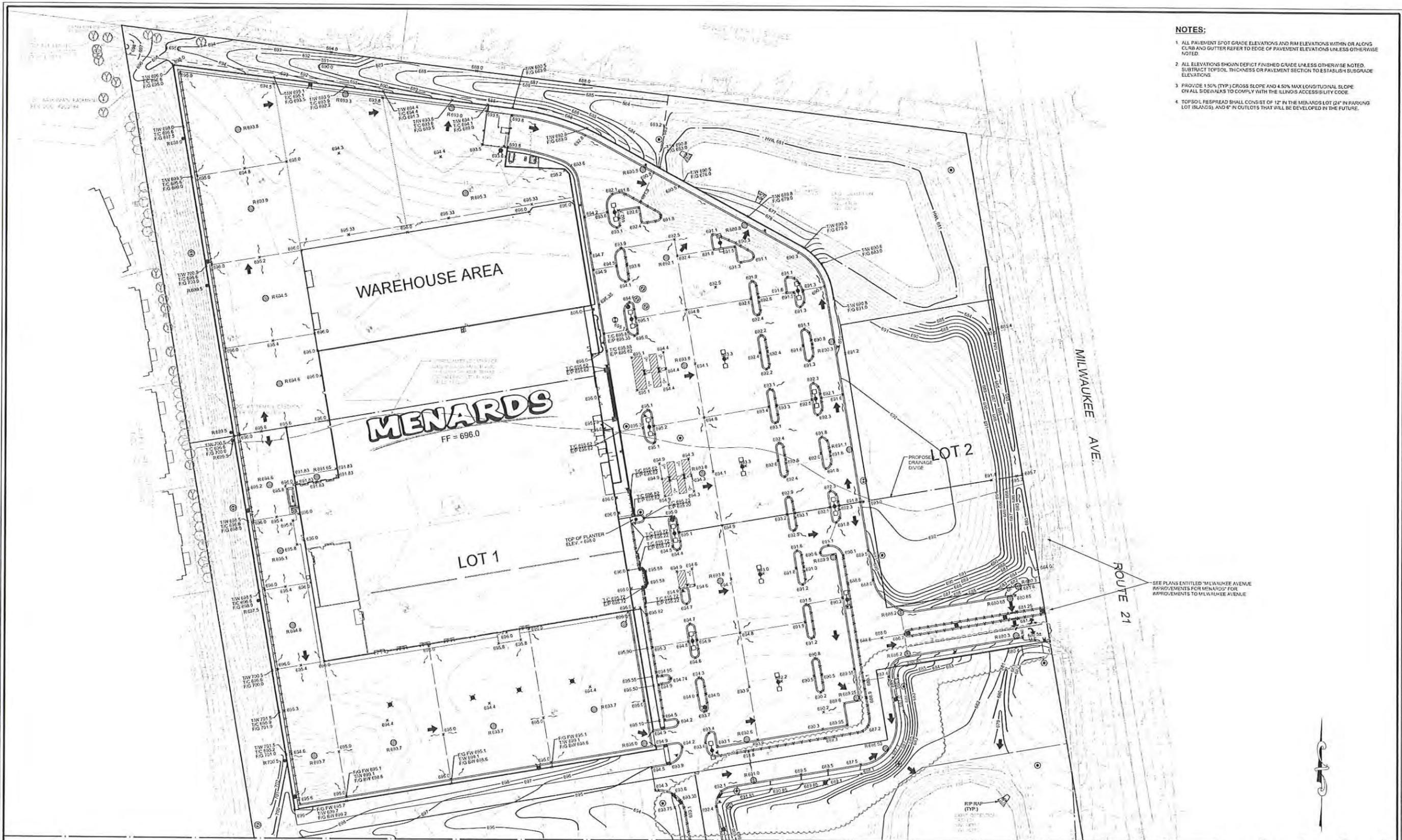
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FILE NAME	C3.2 Lay10068	DRAWN BY.	NRS
ORIGINAL ISSUE DATE	03-14-14	CHECKED BY.	JRB
SCALE	1"=50'	PROJECT MANAGER	JRB

MENARDS
1860 N. MILWAUKEE AVE.
VERNON HILLS
ILLINOIS

LAYOUT PLAN - SOUTH

DRAWING NO.
C3.2

10068.MNRD S04 - LAYOUT PLAN - SOUTH



- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN DEFICIET FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
 3. PROVIDE 1.50% (TYP.) CROSS SLOPE AND 4.50% MAX LONGITUDINAL SLOPE ON ALL SIDEWALKS TO COMPLY WITH THE ILLINOIS ACCESSIBILITY CODE.
 4. TOPSOIL RESPREAD SHALL CONSIST OF 12" IN THE MENARDS LOT (24" IN PARKING LOT ISLANDS) AND 6" IN OUTLOTS THAT WILL BE DEVELOPED IN THE FUTURE.

SEE PLANS ENTITLED "MILWAUKEE AVENUE IMPROVEMENTS FOR MENARDS" FOR IMPROVEMENTS TO MILWAUKEE AVENUE

MATCHLINE SEE DWG. C4.2



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SEAL:

PROJECT NO. 10068.MNRD
DESIGNED BY: RMW
FILE NAME: C4.1 GRD10068
ORIGINATOR: NRS
ORIGINAL ISSUE DATE: 03-14-14
SCALE: 1"=50'
PROJECT MANAGER: JRB

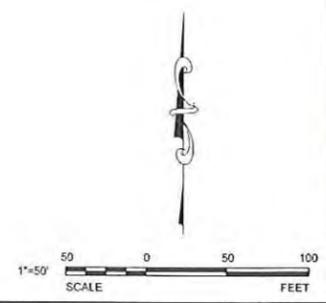
MENARDS
1860 N. MILWAUKEE AVE.
VERNON HILLS ILLINOIS

GRADING PLAN - NORTH

DRAWING NO. **C4.1**

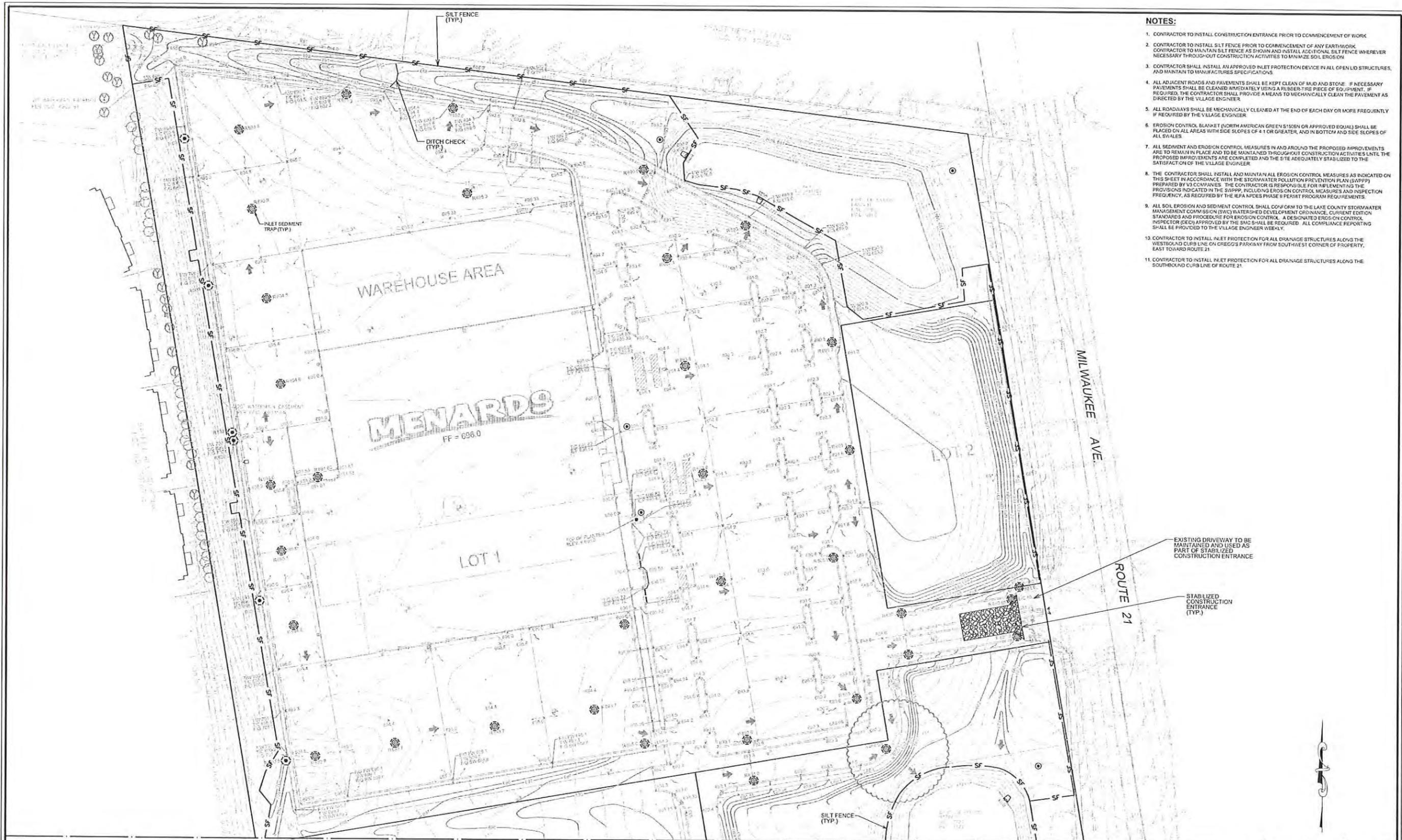


- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURBS AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
 3. PROVIDE 1.5% (TYP.) CROSS SLOPE AND 4.5% MAX LONGITUDINAL SLOPE ON ALL SIDEWALKS TO COMPLY WITH THE ILLINOIS ACCESSIBILITY CODE.
 4. TOPSOIL RESPREAD SHALL CONSIST OF 12" IN THE MENARDS LOT (24" IN PARKING LOT ISLANDS) AND 6" IN OUTLOTS THAT WILL BE DEVELOPED IN THE FUTURE.



<p>V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>	REVISIONS				SEAL: _____ PROJECT NO.: 10068.MNRD FILE NAME: C4.2 GRD ORIGINAL ISSUE DATE: 03-14-14 SCALE: 1"=50'	DESIGNED BY: RMW DRAWN BY: NRS CHECKED BY: JRB PROJECT MANAGER: JRB	MENARDS 1860 N. MILWAUKEE AVE.	GRADING PLAN - SOUTH	DRAWING NO. C4.2													
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10068.MNRD - GRADING PLAN - SOUTH



- NOTES:**
1. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK
 2. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
 3. CONTRACTOR SHALL INSTALL AN APPROVED INLET PROTECTION DEVICE IN ALL OPEN LID STRUCTURES, AND MAINTAIN TO MANUFACTURERS SPECIFICATIONS.
 4. ALL ADJACENT ROADS AND PAVEMENTS SHALL BE KEPT CLEAN OF MUD AND STONE. IF NECESSARY PAVEMENTS SHALL BE CLEANED IMMEDIATELY USING A RUBBER-TIRE PIECE OF EQUIPMENT. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE A MEANS TO MECHANICALLY CLEAN THE PAVEMENT AS DIRECTED BY THE VILLAGE ENGINEER.
 5. ALL ROADWAYS SHALL BE MECHANICALLY CLEANED AT THE END OF EACH DAY OR MORE FREQUENTLY IF REQUIRED BY THE VILLAGE ENGINEER.
 6. EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S152EN OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SIDE SLOPES OF 4:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF ALL SWALES.
 7. ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED TO THE SATISFACTION OF THE VILLAGE ENGINEER.
 8. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY V3 COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING PHASE II PERMIT PROGRAM REQUIREMENTS, FREQUENCY, AS REQUIRED BY THE ILEP NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.
 9. ALL SOIL EROSION AND SEDIMENT CONTROL SHALL CONFORM TO THE LAKE COUNTY STORMWATER MANAGEMENT COMMISSION (SWC) WATERSHED DEVELOPMENT ORDINANCE, CURRENT EDITION STANDARDS AND PROCEDURES FOR EROSION CONTROL. A DESIGNATED EROSION CONTROL INSPECTOR (DECI) APPROVED BY THE SWC SHALL BE REQUIRED. ALL COMPLIANCE REPORTING SHALL BE PROVIDED TO THE VILLAGE ENGINEER WEEKLY.
 10. CONTRACTOR TO INSTALL INLET PROTECTION FOR ALL DRAINAGE STRUCTURES ALONG THE WESTBOUND CURB LINE ON GREGG'S PARKWAY FROM SOUTHWEST CORNER OF PROPERTY, EAST TOWARD ROUTE 21.
 11. CONTRACTOR TO INSTALL INLET PROTECTION FOR ALL DRAINAGE STRUCTURES ALONG THE SOUTHBOUND CURB LINE OF ROUTE 21.

EXISTING DRIVEWAY TO BE MAINTAINED AND USED AS PART OF STABILIZED CONSTRUCTION ENTRANCE

STABILIZED CONSTRUCTION ENTRANCE (TYP.)

ROUTE 21

MILWAUKEE AVE.

MATCHLINE SEE DWG. C4.4



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	05-12-14	PER VERNON HILLS			
2	06-27-14	PER VERNON HILLS			

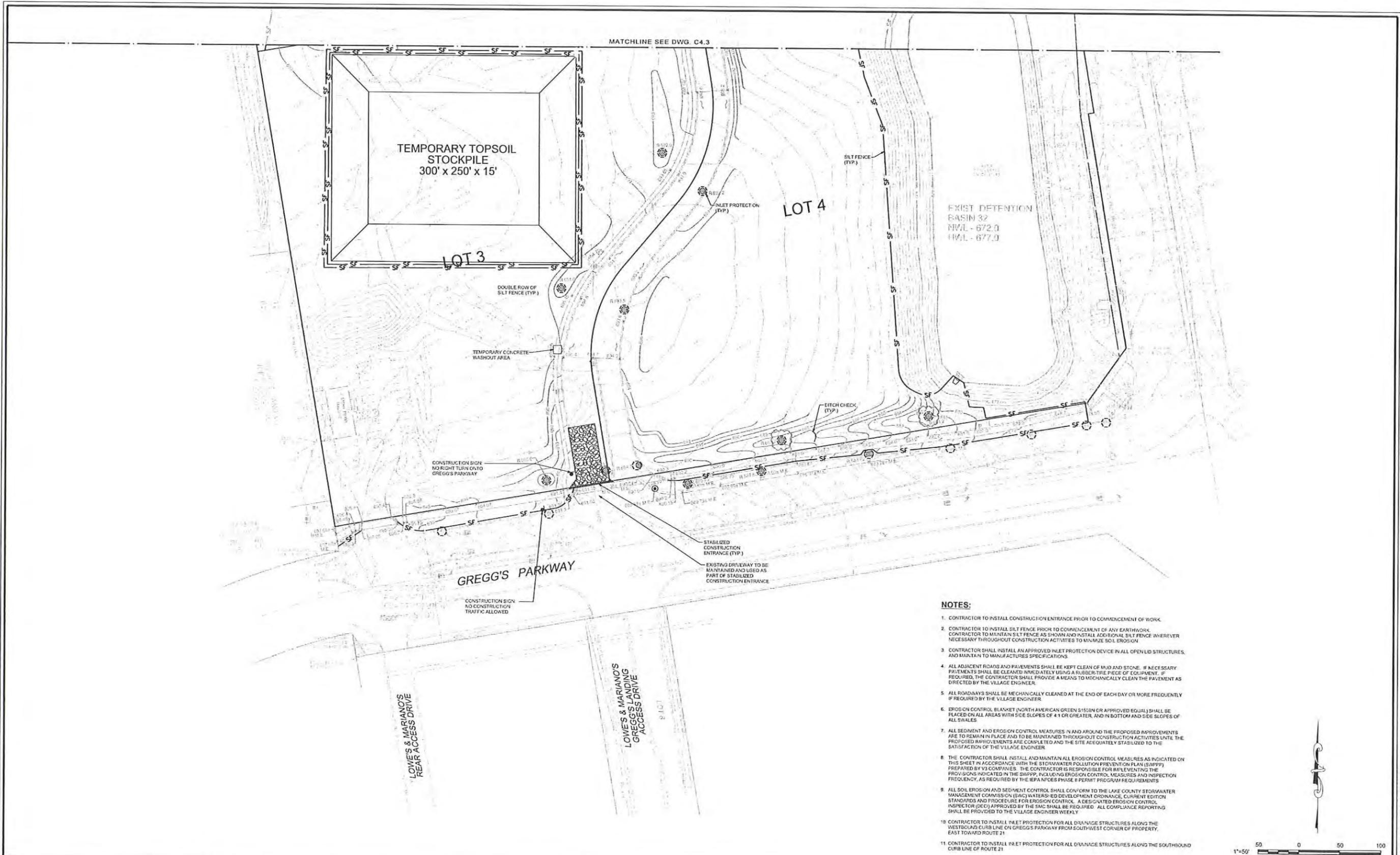
PROJECT NO. 10068.MNRD	DESIGNED BY: RMW
FILE NAME: C4.3 Ero10068	DRAWN BY: NRS
ORIGINAL ISSUE DATE: 03-14-14	CHECKED BY: JRB
SCALE: 1"=50'	PROJECT MANAGER: JRB

MENARDS
1860 N. MILWAUKEE AVE.
VERNON HILLS ILLINOIS

EROSION CONTROL PLAN - NORTH

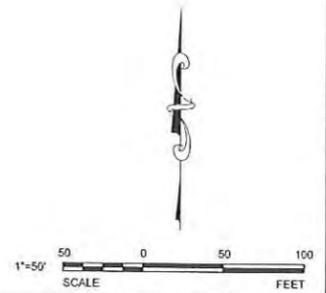
DRAWING NO.
C4.3

10068.MNRD - EROSION CONTROL PLAN - NORTH



NOTES:

1. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK.
2. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
3. CONTRACTOR SHALL INSTALL AN APPROVED INLET PROTECTION DEVICE IN ALL OPEN LID STRUCTURES, AND MAINTAIN TO MANUFACTURER'S SPECIFICATIONS.
4. ALL ADJACENT ROADS AND PAVEMENTS SHALL BE KEPT CLEAN OF MUD AND STONE. IF NECESSARY PAVEMENTS SHALL BE CLEANED IMMEDIATELY USING A RUBBER-TIRE PIECE OF EQUIPMENT. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE A MEANS TO MECHANICALLY CLEAN THE PAVEMENT AS DIRECTED BY THE VILLAGE ENGINEER.
5. ALL ROADWAYS SHALL BE MECHANICALLY CLEANED AT THE END OF EACH DAY OR MORE FREQUENTLY IF REQUIRED BY THE VILLAGE ENGINEER.
6. EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S155BN OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SIDE SLOPES OF 4:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF ALL SWALES.
7. ALL SEDIMENT AND EROSION CONTROL MEASURES, IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED TO THE SATISFACTION OF THE VILLAGE ENGINEER.
8. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY V3 COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.
9. ALL SOIL EROSION AND SEDIMENT CONTROL SHALL CONFORM TO THE LAKE COUNTY STORMWATER MANAGEMENT COMMISSION (SWC) WATER-EROD DEVELOPMENT ORDINANCE, CURRENT EDITION STANDARDS AND PROCEDURE FOR EROSION CONTROL. A DESIGNATED EROSION CONTROL INSPECTOR (DEC) APPROVED BY THE SMC SHALL BE REQUIRED. ALL COMPLIANCE REPORTING SHALL BE PROVIDED TO THE VILLAGE ENGINEER WEEKLY.
10. CONTRACTOR TO INSTALL INLET PROTECTION FOR ALL DRAINAGE STRUCTURES ALONG THE WESTBOUND CURB LINE ON GREGG'S PARKWAY FROM SOUTHWEST CORNER OF PROPERTY, EAST TOWARD ROUTE 21.
11. CONTRACTOR TO INSTALL INLET PROTECTION FOR ALL DRAINAGE STRUCTURES ALONG THE SOUTHBOUND CURB LINE OF ROUTE 21.



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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
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2	08-27-14	PER VERNON HILLS			

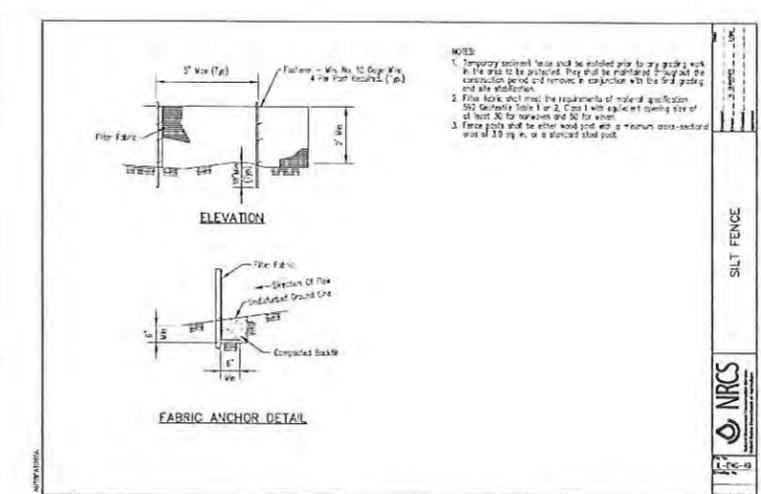
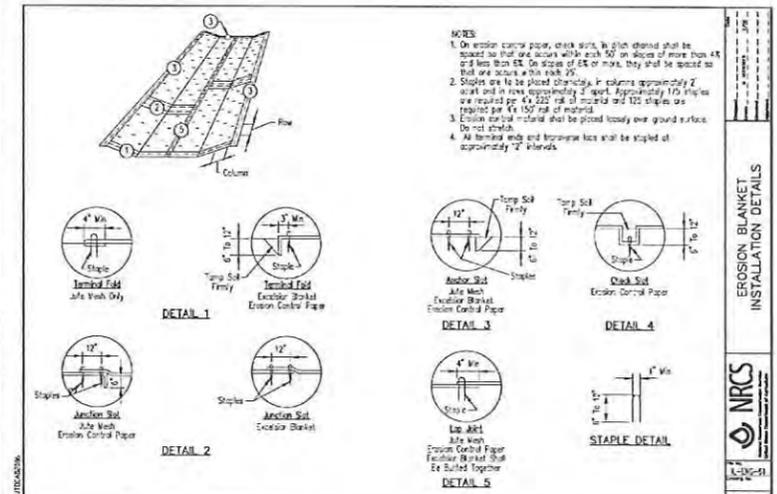
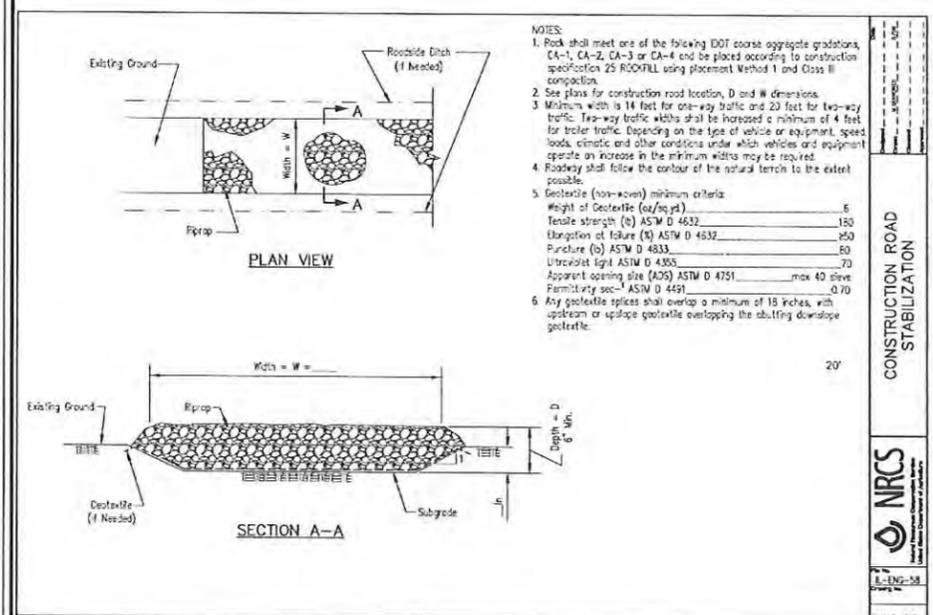
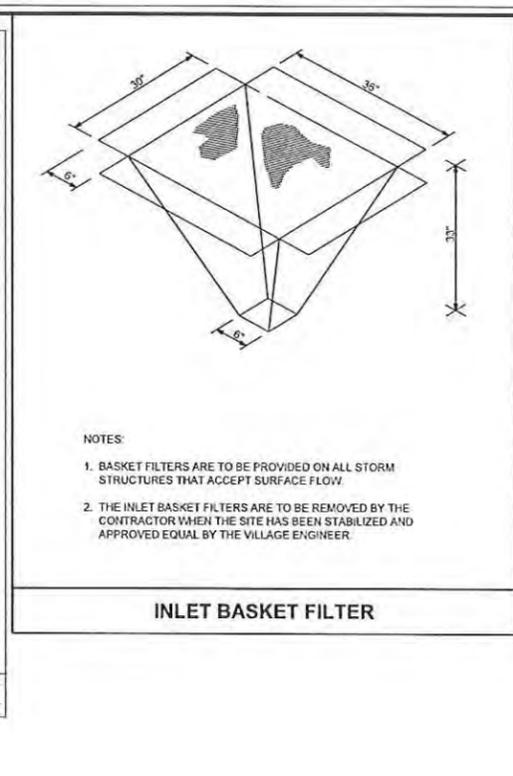
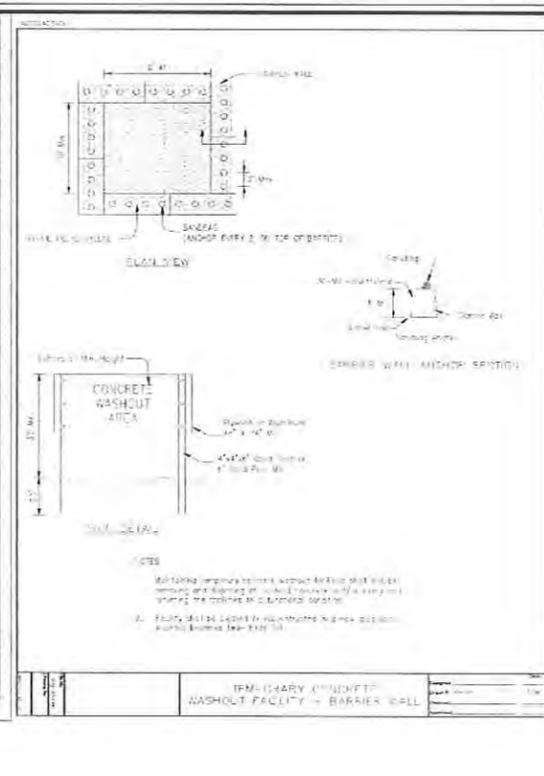
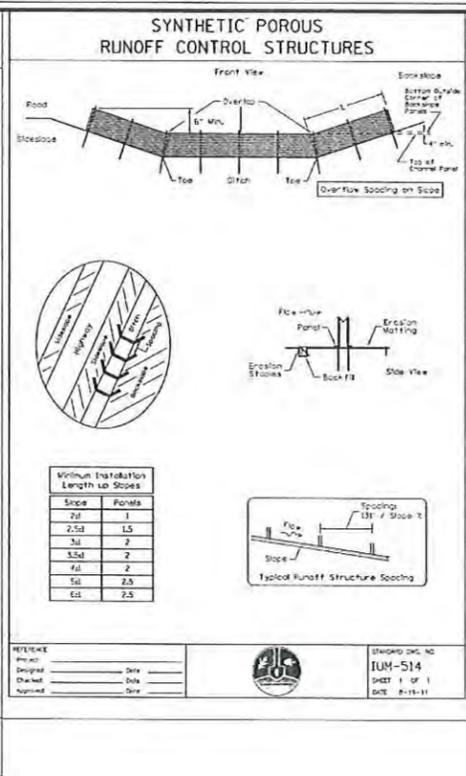
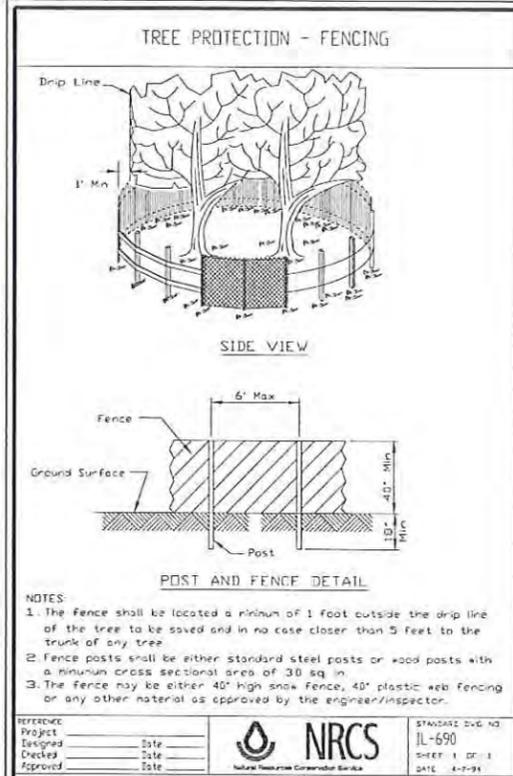
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 FILE NAME: C4.4 Ero10068
 ORIGINAL ISSUE DATE: 03-14-14
 SCALE: 1"=50'

DESIGNED BY: RMW
 DRAWN BY: NRS
 CHECKED BY: JRB
 PROJECT MANAGER: JRB

MENARDS
 1860 N. MILWAUKEE AVE.
 VERNON HILLS
 ILLINOIS

EROSION CONTROL PLAN - SOUTH

DRAWING NO.
C4.4



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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	05-12-14	PER VERNON HILLS			
2	06-27-14	PER VERNON HILLS			

PROJECT NO.: 10068.MNRD
FILE NAME: C4.5 EroDet10068
ORIGINAL ISSUE DATE: 03-14-14
SCALE: N.T.S.

DESIGNED BY: RMW
DRAWN BY: NRS
CHECKED BY: JRB
PROJECT MANAGER: JRB

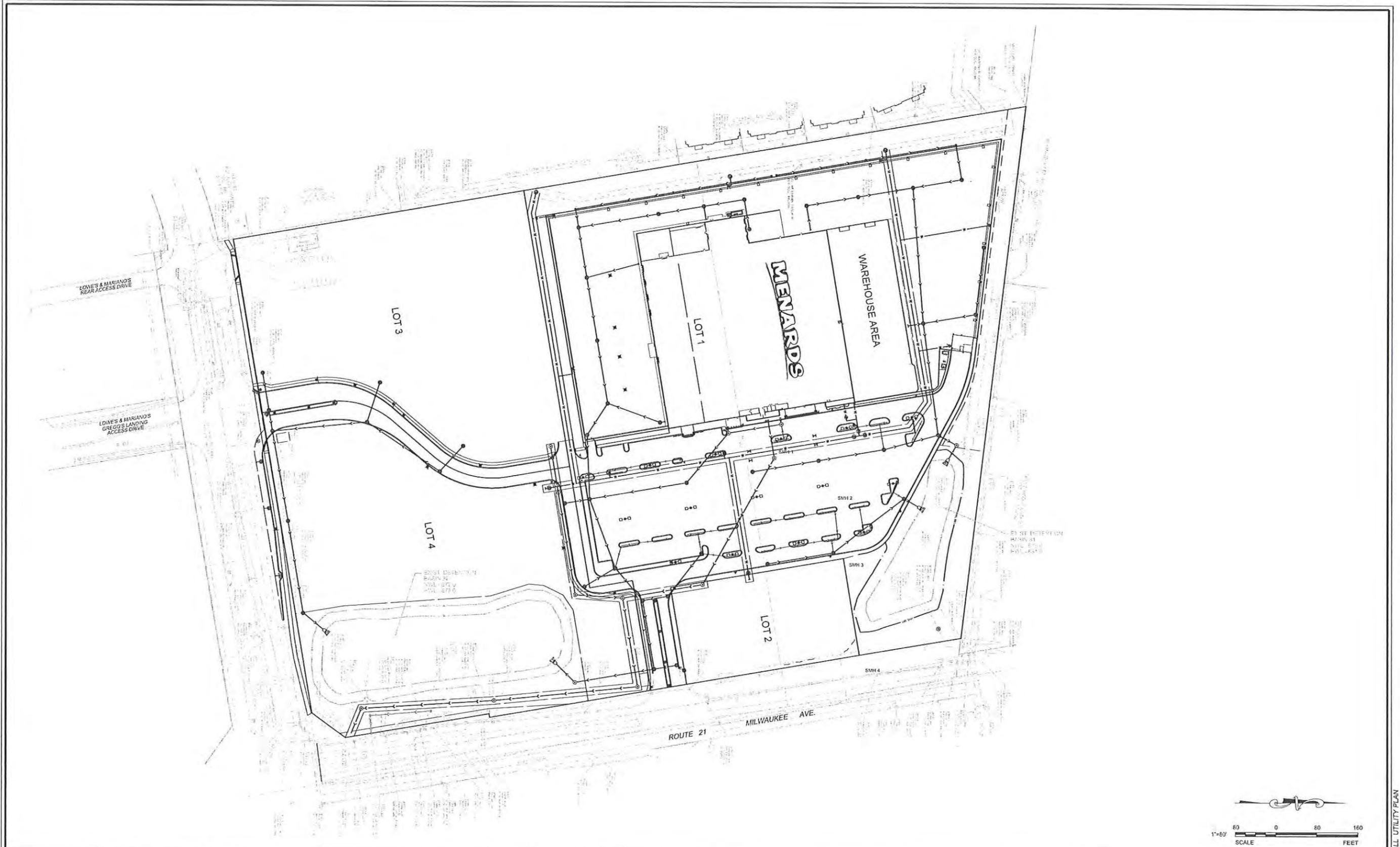
MENARDS
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ILLINOIS

EROSION CONTROL DETAILS

C4.5

DRAWING NO.

10068.MNRD - EROSION CONTROL DETAILS



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REVISIONS			
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1	05-12-14	PER VERNON HILLS	
2	06-27-14	PER VERNON HILLS	

SEAL:

PROJECT NO.: 10068.MNRD
 FILE NAME: C5.0 UU
 ORIGINAL ISSUE DATE: 03-14-14
 SCALE: 1"=80'

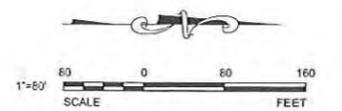
DESIGNED BY: RMW
 DRAWN BY: NRS
 CHECKED BY: JRB
 PROJECT MANAGER: JRB

MENARDS
 1860 N. MILWAUKEE AVE.

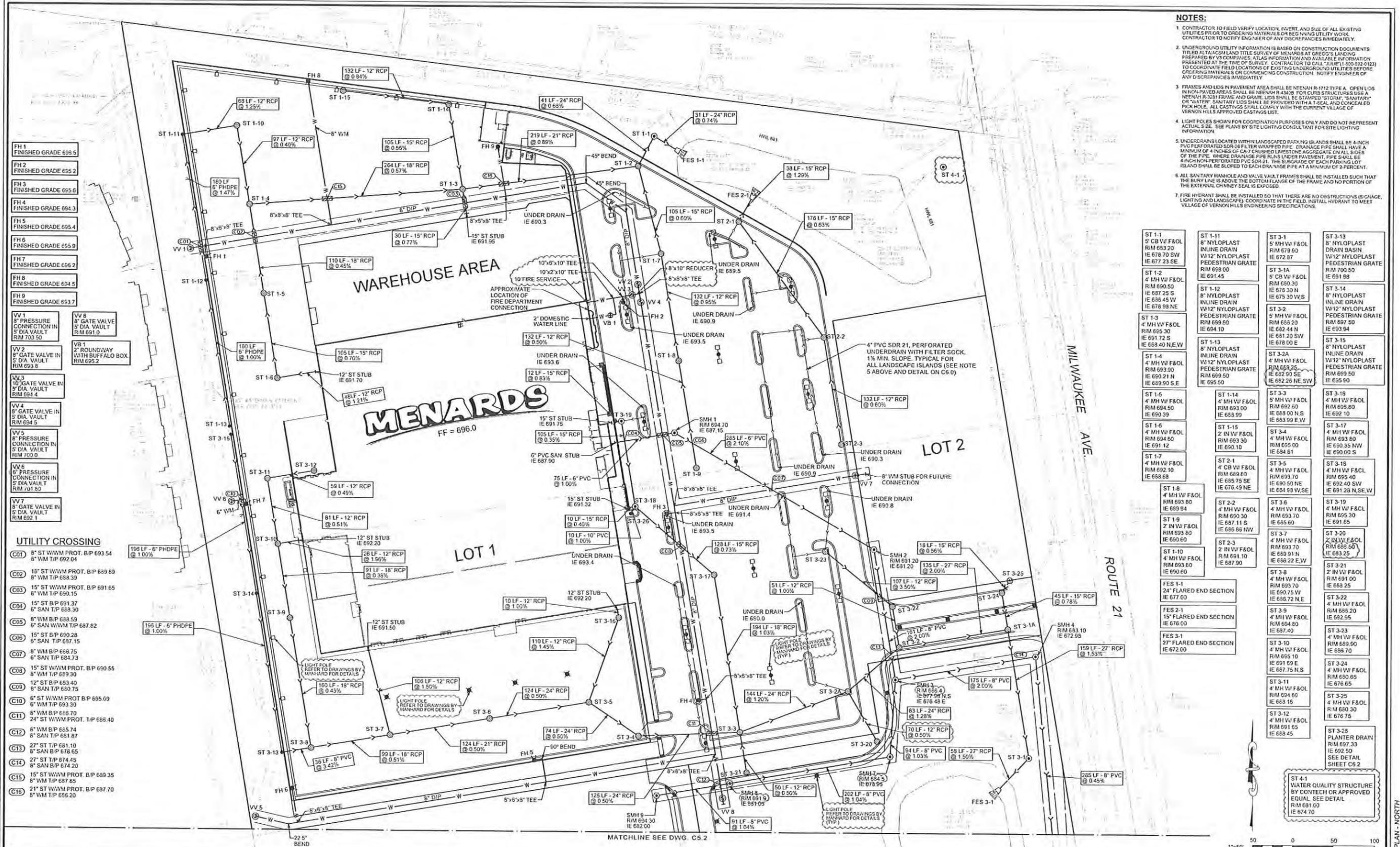
VERNON HILLS ILLINOIS

OVERALL UTILITY PLAN

DRAWING NO.
C5.0



- NOTES:**
- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - UNDERGROUND UTILITY INFORMATION IS BASED ON CONSTRUCTION DOCUMENTS TITLED ALTAIRACMA LAND TITLE SURVEY OF MENARDS AT GREGG'S LANDING PREPARED BY V3 COMPANIES, ATLAS INFORMATION AND AVALIABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR TO CALL "JULIE" (1-800-592-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - FRAMES AND LEGS IN PAVEMENT AREA SHALL BE NEENAH R-1712 TYPE A. OPEN LOS IN NON-PAVED AREAS SHALL BE NEENAH R-300. FOR CURB STRUCTURES USE A NEENAH R-301 FRAME AND GRATE. LEGS SHALL BE STAMPED "ST-1712" OR "WATER" SANITARY LOS SHALL BE PROVIDED WITH A T-SEAL AND CONCEALED PICK SHALL COMPLY WITH THE CURRENT VILLAGE OF VERNON HILLS APPROVED CASTINGS LIST.
 - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.
 - UNDERGRANDS LOCATED WITHIN LANDSCAPED PARKING ISLANDS SHALL BE 4-INCH PVC PERFORATED SDR-21 FILTER WRAPPED PIPE. DRAINAGE PIPE SHALL HAVE A MAXIMUM OF 4 INCHES OF CA-7 CRUSHED LIMESTONE AGGREGATE ON ALL SIDES OF THE PIPE. WHERE DRAINAGE PIPE RUNS UNDER PAVEMENT, PIPE SHALL BE 4-INCH NON-PERFORATED PVC SDR-21. THE SUBGRADE OF EACH PARKING LOT ISLAND SHALL BE SLOPED TO EACH DRAINAGE PIPE AT A MINIMUM OF 2 PERCENT.
 - ALL SANITARY MANHOLE AND VALVE VAULT FRAMES SHALL BE INSTALLED SUCH THAT THE SURVEY LINE IS ABOVE THE BOTTOM FLANGE OF THE FRAME AND NO PORTION OF THE EXTERNAL CHIMNEY SEAL IS EXPOSED.
 - FIRE HYDRANT SHALL BE INSTALLED SO THAT THERE ARE NO OBSTRUCTIONS (SIGNAGE, LIGHTING AND LANDSCAPE) COORDINATE IN THE FIELD. INSTALL HYDRANT TO MEET VILLAGE OF VERNON HILLS ENGINEERING SPECIFICATIONS.



ST 1-1 5' CB W F&O RIM 693.20 IE 678.70 SW IE 677.23 SE	ST 1-11 8' NYLOPLAST INLINE DRAIN W12' NYLOPLAST PEDESTRIAN GRATE RIM 693.00 IE 691.45	ST 3-1 8' NYLOPLAST F&O RIM 679.60 IE 672.87	ST 3-13 8' NYLOPLAST DRAIN BASIN W12' NYLOPLAST PEDESTRIAN GRATE RIM 679.60 IE 691.98
ST 1-2 4' MH W F&O RIM 690.50 IE 687.25 S IE 686.45 W IE 678.98 NE	ST 1-12 8' NYLOPLAST INLINE DRAIN W12' NYLOPLAST PEDESTRIAN GRATE RIM 695.50 IE 694.10	ST 3-2 5' MH W F&O RIM 665.20 IE 682.44 N IE 681.20 SW IE 678.00 E	ST 3-14 8' NYLOPLAST INLINE DRAIN W12' NYLOPLAST PEDESTRIAN GRATE RIM 695.50 IE 693.94
ST 1-3 4' MH W F&O RIM 695.30 IE 691.72 S IE 688.40 N.E.W	ST 1-14 4' MH W F&O RIM 693.50 IE 690.21 N IE 689.90 S.E	ST 3-2A 4' MH W F&O RIM 692.25 IE 682.25 N.E.S.W	ST 3-15 8' NYLOPLAST INLINE DRAIN W12' NYLOPLAST PEDESTRIAN GRATE RIM 699.50 IE 695.50
ST 1-5 4' MH W F&O RIM 694.50 IE 690.39	ST 1-15 4' MH W F&O RIM 693.30 IE 690.10	ST 3-3 5' MH W F&O RIM 692.50 IE 688.00 N.S. IE 683.99 E.W	ST 3-16 4' MH W F&O RIM 692.10 IE 692.10
ST 1-6 4' MH W F&O RIM 694.60 IE 691.12	ST 2-1 4' MH W F&O RIM 689.60 IE 685.75 SE IE 676.49 NE	ST 3-4 4' MH W F&O RIM 695.00 IE 684.61	ST 3-17 4' MH W F&O RIM 693.80 IE 690.35 NW IE 690.00 S
ST 1-7 4' MH W F&O RIM 692.10 IE 688.68	ST 2-2 4' MH W F&O RIM 693.30 IE 687.11 S IE 686.88 NW	ST 3-5 4' MH W F&O RIM 693.70 IE 690.50 NE IE 684.93 W.S.E	ST 3-18 4' MH W F&O RIM 695.40 IE 692.40 SW IE 691.28 N.S.E.W
ST 1-8 4' MH W F&O RIM 693.80 IE 689.94	ST 2-3 4' MH W F&O RIM 693.80 IE 690.60	ST 3-6 4' MH W F&O RIM 693.70 IE 685.60	ST 3-19 4' MH W F&O RIM 695.30 IE 691.65
ST 1-9 2' IN W F&O RIM 693.80 IE 690.60	ST 1-10 4' MH W F&O RIM 693.60 IE 690.60	ST 3-7 4' MH W F&O RIM 693.70 IE 689.91 N IE 686.22 E.W	ST 3-20 2' IN W F&O RIM 695.50 IE 683.25
FES 1-1 24' FLARED END SECTION IE 677.03	ST 3-8 4' MH W F&O RIM 691.00 IE 688.25	ST 3-8A 4' MH W F&O RIM 691.00 IE 688.25	ST 3-21 2' IN W F&O RIM 695.50 IE 683.25
FES 2-1 15' FLARED END SECTION IE 676.03	ST 3-9 4' MH W F&O RIM 694.80 IE 687.40	ST 3-9A 4' MH W F&O RIM 694.80 IE 687.40	ST 3-22 4' MH W F&O RIM 695.20 IE 682.95
FES 3-1 27' FLARED END SECTION IE 672.03	ST 3-10 4' MH W F&O RIM 695.10 IE 691.69 E IE 691.69 N.S	ST 3-10A 4' MH W F&O RIM 695.10 IE 691.69 E IE 691.69 N.S	ST 3-23 4' MH W F&O RIM 699.50 IE 695.70
	ST 3-11 4' MH W F&O RIM 694.60 IE 683.15	ST 3-11A 4' MH W F&O RIM 694.60 IE 683.15	ST 3-24 4' MH W F&O RIM 690.65 IE 676.65
	ST 3-12 4' MH W F&O RIM 691.65 IE 688.45	ST 3-12A 4' MH W F&O RIM 691.65 IE 688.45	ST 3-25 4' MH W F&O RIM 680.30 IE 676.75
	ST 3-13 4' MH W F&O RIM 691.65 IE 688.45	ST 3-13A 4' MH W F&O RIM 691.65 IE 688.45	ST 3-26 PLANTER DRAIN RIM 697.33 IE 692.50 SEE DETAIL SHEET C6.2
	ST 3-14 4' MH W F&O RIM 691.65 IE 688.45	ST 3-14A 4' MH W F&O RIM 691.65 IE 688.45	ST 4-1 WATER QUALITY STRUCTURE BY CONTECH OR APPROVED EQUAL. SEE DETAIL RIM 691.00 IE 674.70

- UTILITY CROSSING**
- CO1 8" ST W/M PROT. B.P 693.54
6" W/M T/P 692.04
 - CO2 18" ST W/M PROT. B.P 689.69
8" W/M T/P 688.39
 - CO3 15" ST W/M PROT. B.P 691.65
6" W/M T/P 691.15
 - CO4 15" ST B.P 691.37
6" SAN T/P 688.30
 - CO5 6" W/M B.P 688.49
6" SAN W/M T/P 687.82
 - CO6 15" ST B.P 690.28
6" SAN T/P 687.15
 - CO7 6" W/M B.P 688.75
6" SAN T/P 684.73
 - CO8 15" ST W/M PROT. B.P 690.55
6" W/M T/P 689.30
 - CO9 12" ST B.P 693.40
6" SAN T/P 690.75
 - C10 6" ST W/M PROT. B.P 695.09
6" W/M T/P 693.30
 - C11 6" W/M B.P 686.70
24" ST W/M PROT. T/P 686.40
 - C12 6" W/M B.P 685.74
6" SAN T/P 681.87
 - C13 27" ST T/P 681.10
6" SAN B.P 678.65
 - C14 27" ST T/P 674.45
6" SAN B.P 674.20
 - C15 15" ST W/M PROT. B.P 689.35
6" W/M T/P 687.85
 - C16 21" ST W/M PROT. B.P 697.70
6" W/M T/P 686.20

REVISIONS

NO	DATE	DESCRIPTION	NO	DATE	DESCRIPTION
1	05-12-14	PER VERNON HILLS			
2	06-27-14	PER VERNON HILLS			

PROJECT INFORMATION

PROJECT NO:	10068.MNRD	DESIGNED BY:	RMW
FILE NAME:	C5.1 UTIL 10068	DRAWN BY:	NRS
ORIGINAL ISSUE DATE:	03-14-14	CHECKED BY:	JRB
SCALE:	1"=50'	PROJECT MANAGER:	JRB

MENARDS
1860 N. MILWAUKEE AVE.
ILLINOIS

UTILITY PLAN - NORTH

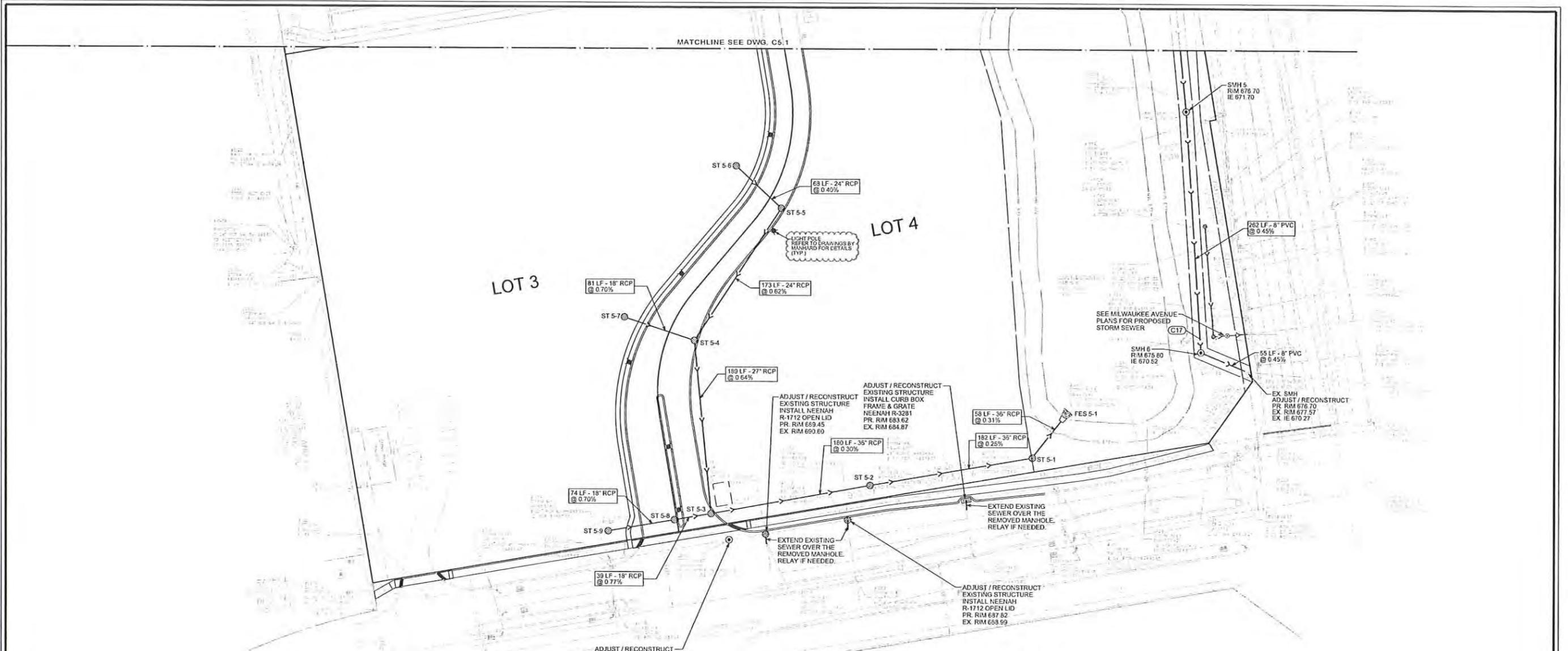
C5.1

10068.MNRD - UTILITY PLAN - NORTH

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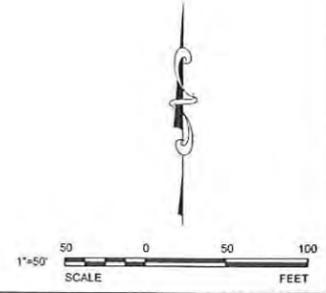
NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- UNDERGROUND UTILITY INFORMATION IS BASED ON CONSTRUCTION DOCUMENTS TITLED ALTA/ACSM LAND TITLE SURVEY OF MENARDS AT GREGG'S LANDING PREPARED BY V3 COMPANIES, ATLAS INFORMATION AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR TO CALL JULIE (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- FRAMES AND LIDS IN PAVEMENT AREA SHALL BE NEENAH R-1712 TYPE A. OPEN LIDS IN NON-PAVED AREAS SHALL BE NEENAH R-430B. FOR CURB STRUCTURES USE A NEENAH R-3281 FRAME AND GRATE. LIDS SHALL BE STAMPED "STORM", "SANITARY" OR "WATER". SANITARY LIDS SHALL BE PROVIDED WITH A T SEAL AND CONCEALED PICK HOLE. ALL CASTINGS SHALL COMPLY WITH THE CURRENT VILLAGE OF VERNON HILLS APPROVED CASTINGS LIST.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.
- UNDERDRAINS LOCATED WITHIN LANDSCAPED PARKING ISLANDS SHALL BE 4-INCH PVC PERFORATED SDR-26 FILTER WRAPPED PIPE. DRAINAGE PIPE SHALL HAVE A MINIMUM OF 4-INCHES OF CA-7 CRUSHED Limestone AGGREGATE ON ALL SIDES OF THE PIPE. WHERE DRAINAGE PIPE RUNS UNDER PAVEMENT, PIPE SHALL BE 4-INCH NON-PERFORATED PVC SDR-21. THE SUBGRADE OF EACH PARKING LOT ISLAND SHALL BE SLOPED TO EACH DRAINAGE PIPE AT A MINIMUM OF 2-PERCENT.
- ALL SANITARY MANHOLE AND VALVE VAULT FRAMES SHALL BE INSTALLED SUCH THAT THE BURY LINE IS ABOVE THE BOTTOM FLANGE OF THE FRAME AND NO PORTION OF THE EXTERNAL CHIMNEY SEAL IS EXPOSED.
- FIRE HYDRANT SHALL BE INSTALLED SO THAT THERE ARE NO OBSTRUCTIONS (SIGNAGE, LIGHTING AND LANDSCAPE) COORDINATE IN THE FIELD. INSTALL HYDRANT TO MEET VILLAGE OF VERNON HILLS ENGINEERING SPECIFICATIONS.

UTILITY CROSSING

(C17) EX. 24" ST BIP 671.50
8" SAN TIP 671.35

ST 5-1 5' CB W F&L RIM 681.20 IE 675.70 W IE 672.18 NE	ST 5-6 4' MH W F&L RIM 692.00 IE 687.60
ST 5-2 5' MH W F&L RIM 687.30 IE 681.70 W IE 678.15 NE	ST 5-7 4' MH W F&L RIM 694.00 IE 689.00
ST 5-3 5' MH W F&L RIM 689.70 IE 685.05 W IE 682.24 NE	ST 5-8 4' MH W F&L RIM 690.00 IE 685.73
ST 5-4 5' MH W F&L RIM 693.50 IE 688.25	ST 5-9 4' MH W F&L RIM 690.00 IE 685.25
ST 5-5 5' MH W F&L RIM 692.20 IE 687.33	FES 5-1 36" FLARED END SECTION IE 672.00



REVISIONS			
NO.	DATE	DESCRIPTION	
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2	06-27-14	PER VERNON HILLS	

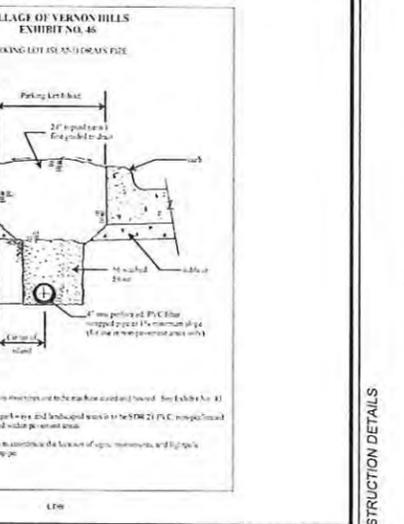
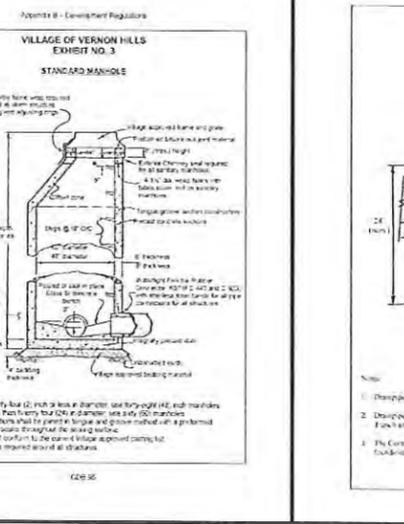
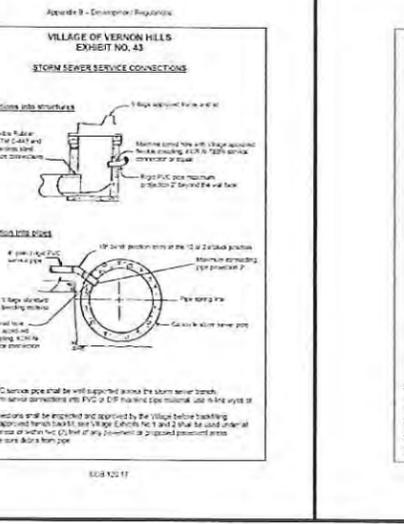
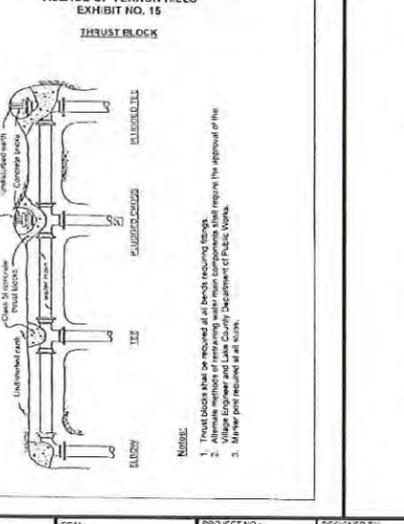
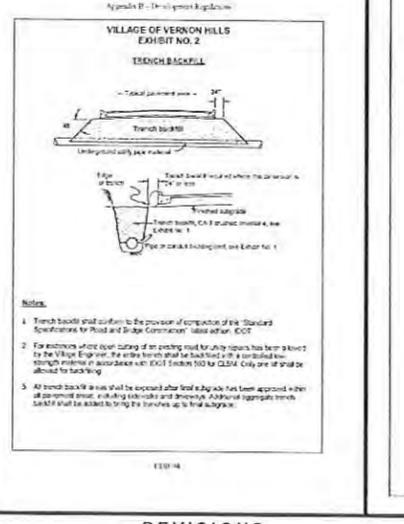
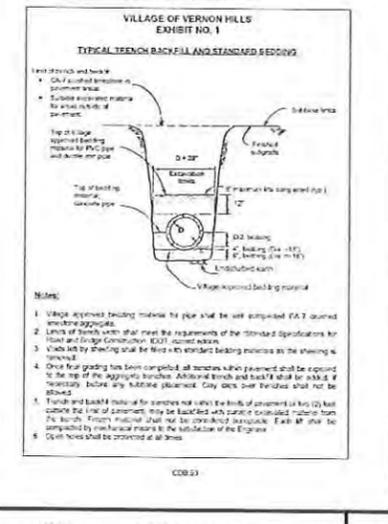
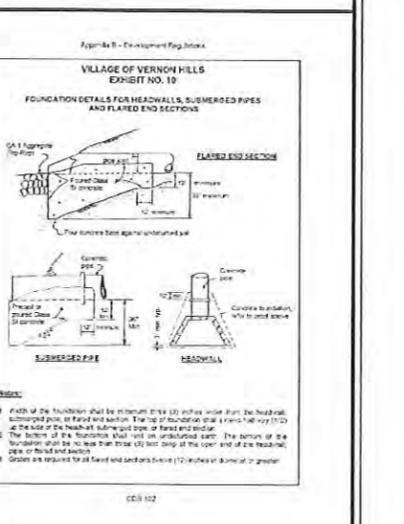
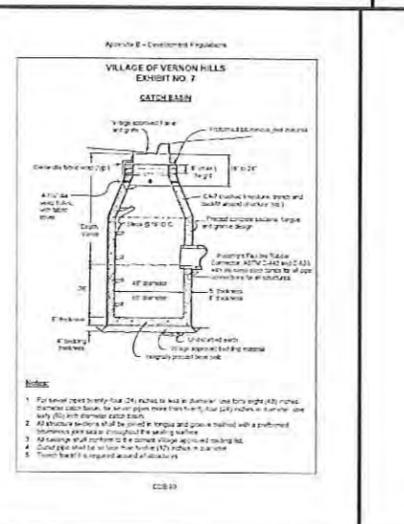
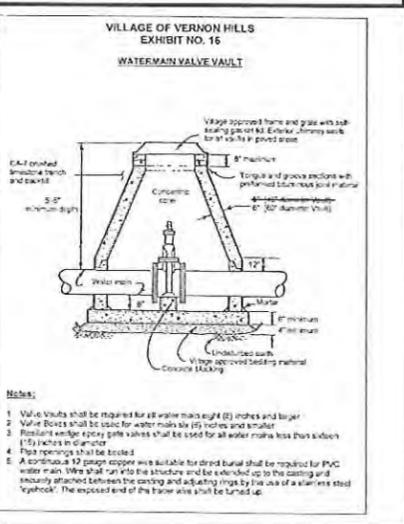
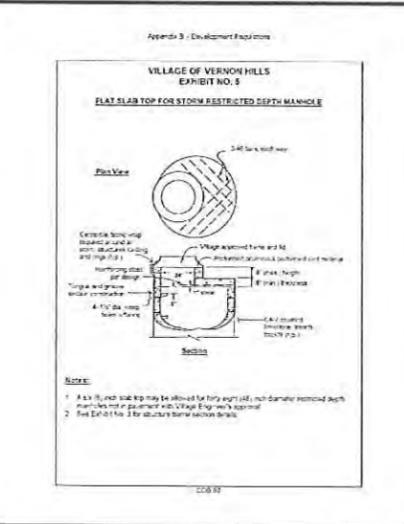
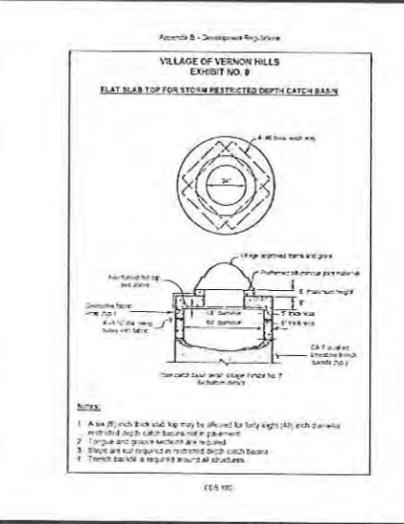
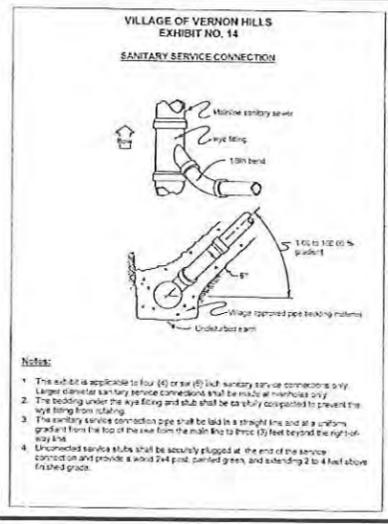
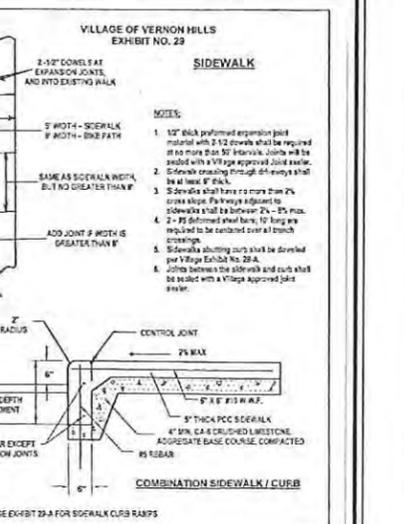
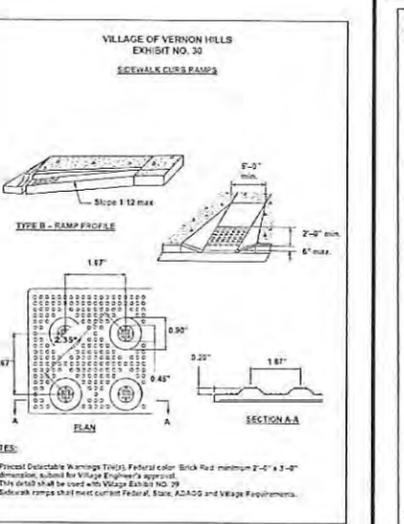
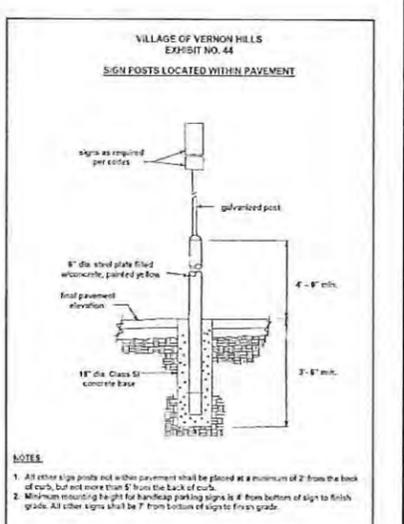
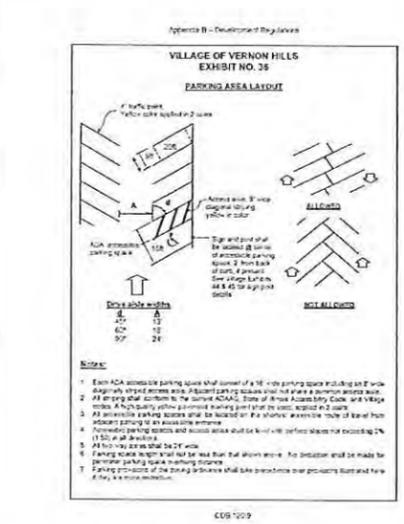
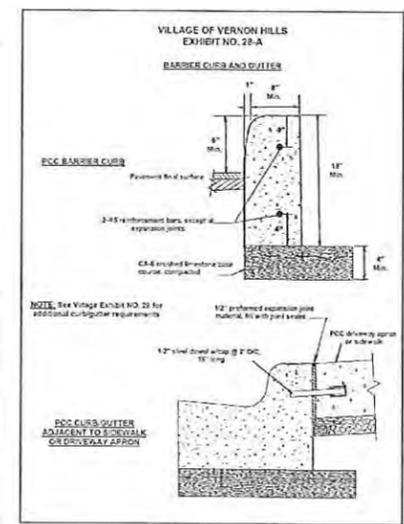
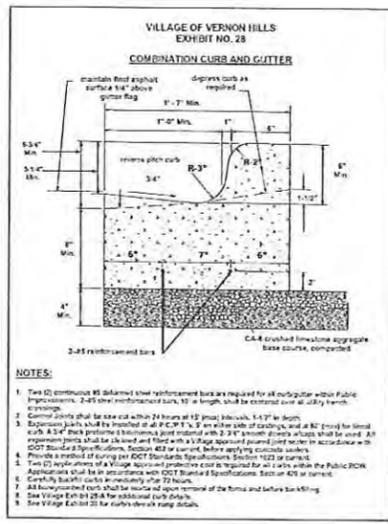
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FILE NAME C5.2 UTL10068	DRAWN BY NRS
ORIGINAL ISSUE DATE 03-14-14	CHECKED BY JRB
SCALE 1"=50'	PROJECT MANAGER JRB

MENARDS
1860 N. MILWAUKEE AVE.
VERNON HILLS ILLINOIS

UTILITY PLAN - SOUTH

C5.2





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Woodridge, IL 60517
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REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
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2	06-27-14	PER VERNON HILLS			

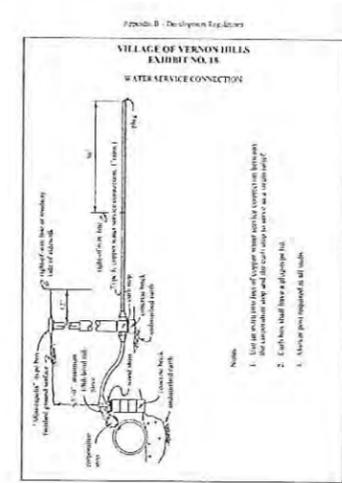
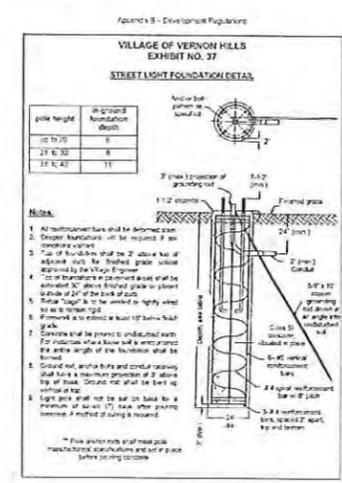
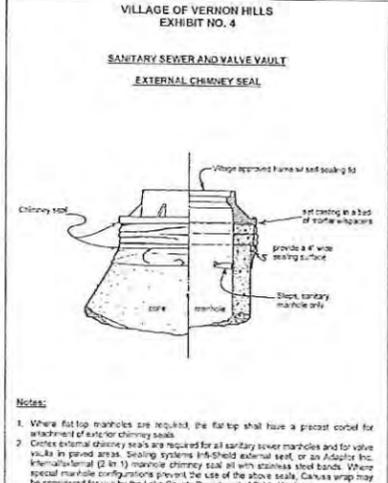
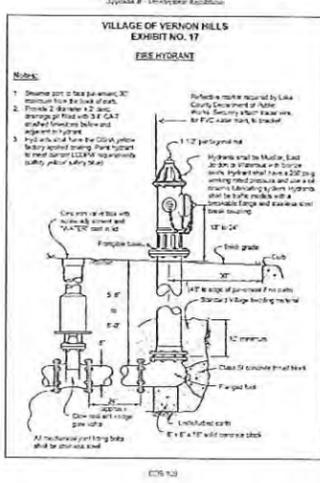
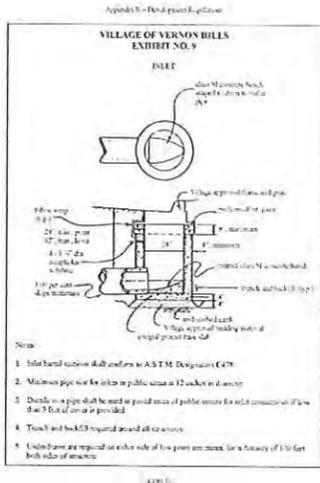
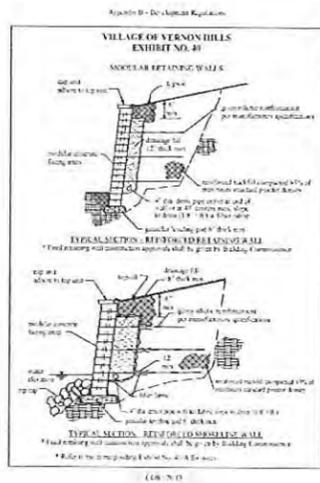
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FILE NAME: C6.0 DET10068
ORIGINAL ISSUE DATE: 03-14-14
SCALE: NTS

DESIGNED BY: RMW
DRAWN BY: NRS
CHECKED BY: JRB
PROJECT MANAGER: JRB

MENARDS
1860 N. MILWAUKEE AVE.
VERNON HILLS ILLINOIS

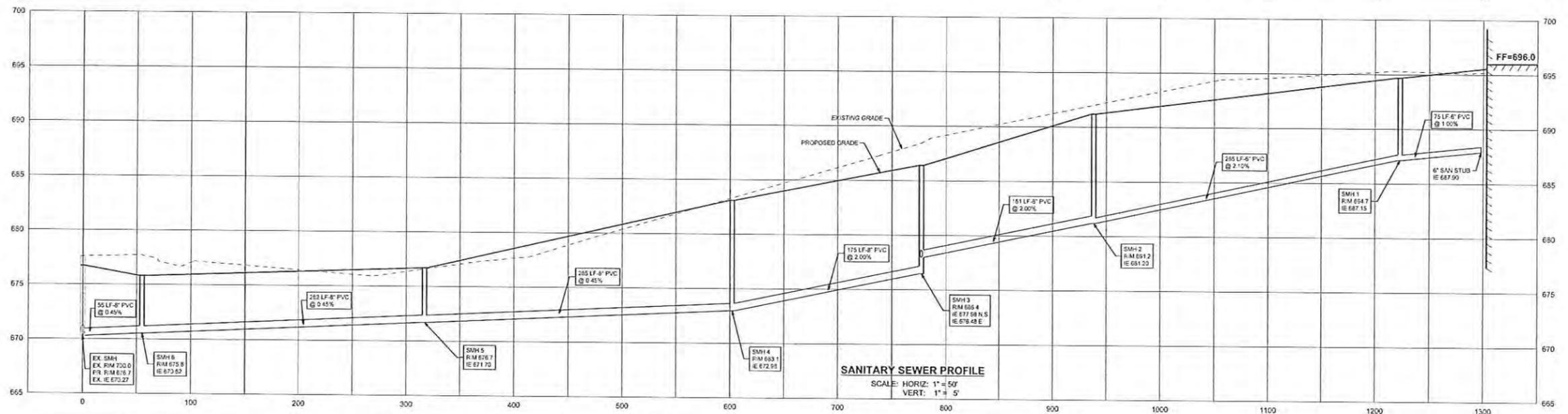
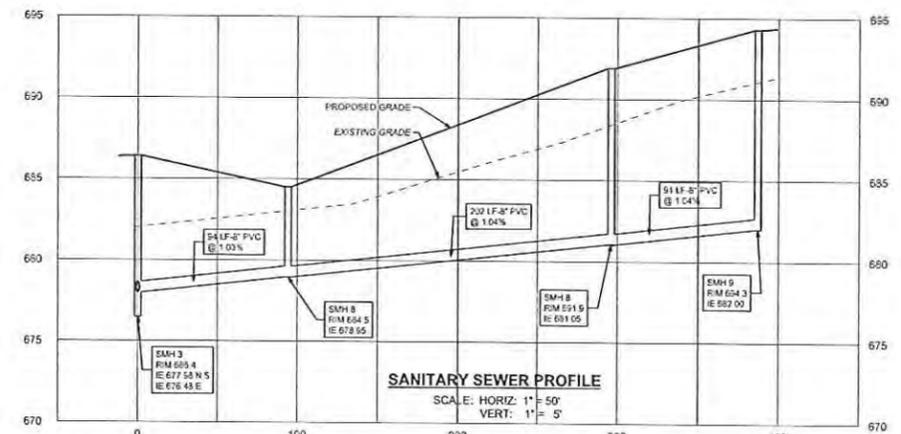
CONSTRUCTION DETAILS
C6.0

DRAWING NO.



SEE SHEET C-1 FOR ADDITIONAL HYDRANT NOTES

INTERNAL CHIMNEY SEAL NOT ALLOWED



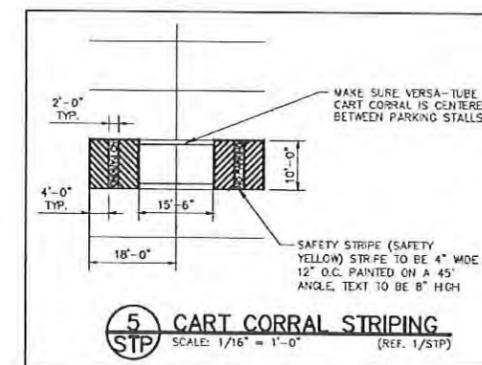
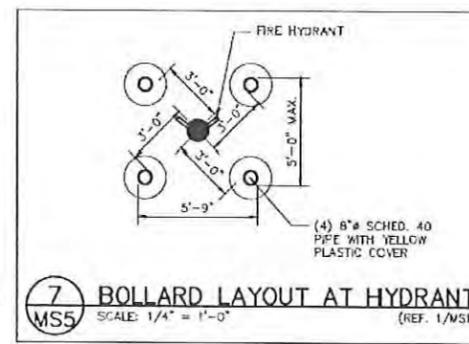
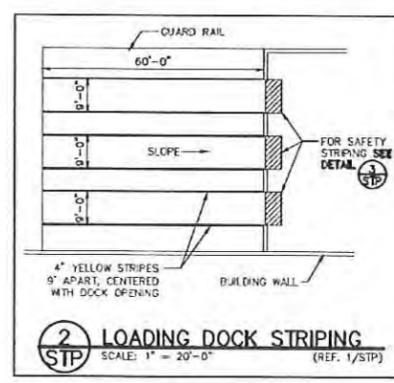
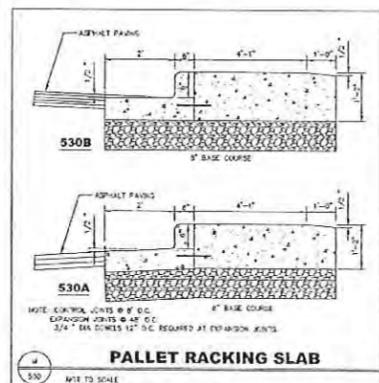
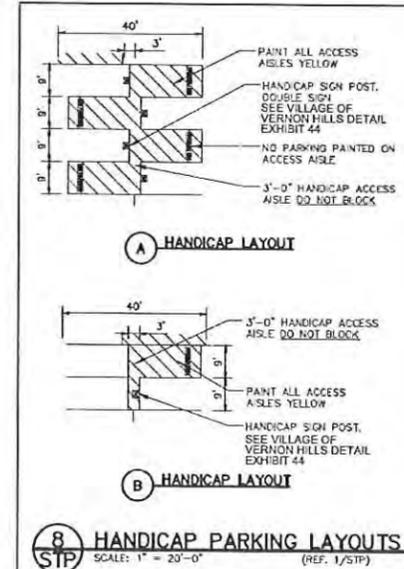
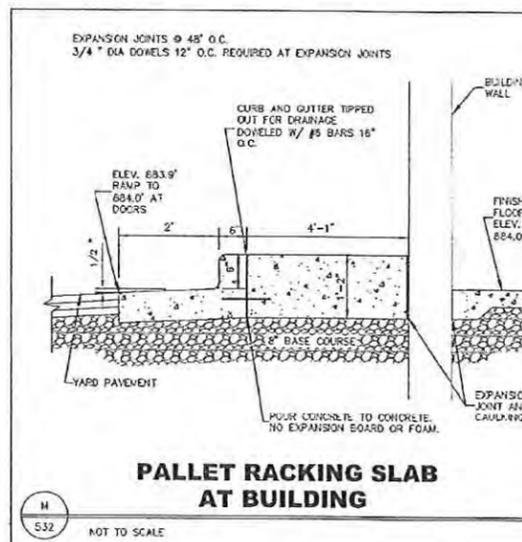
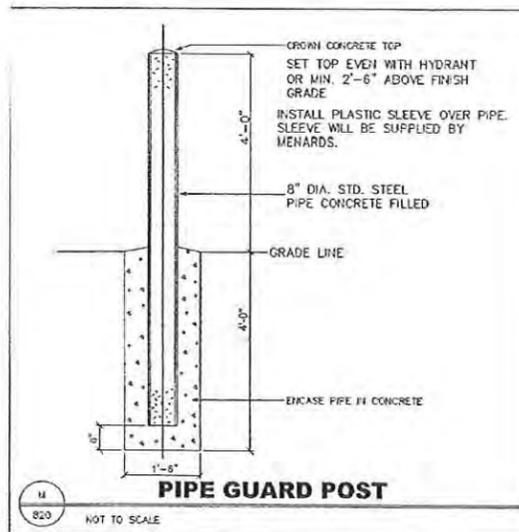
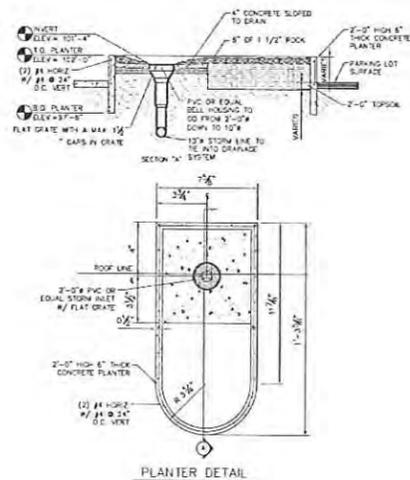
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REVISIONS			
NO.	DATE	DESCRIPTION	
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2	06-27-14	PER VERNON HILLS	

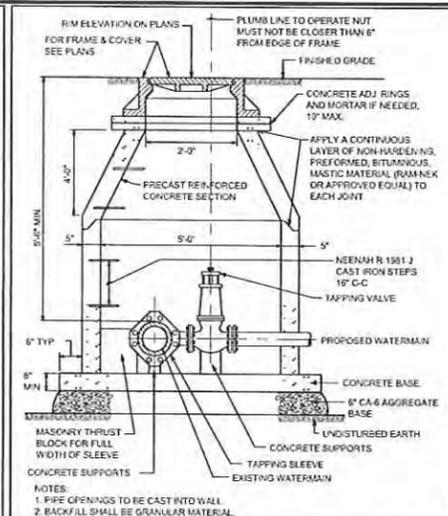
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FILE NAME	DRAWN BY
C6.1.DET	NRS
ORIGINAL ISSUE DATE	CHECKED BY
03-14-14	JRB
SCALE	PROJECT MANAGER
AS NOTED	JRB

MENARDS
1860 N. MILWAUKEE AVE.
ILLINOIS

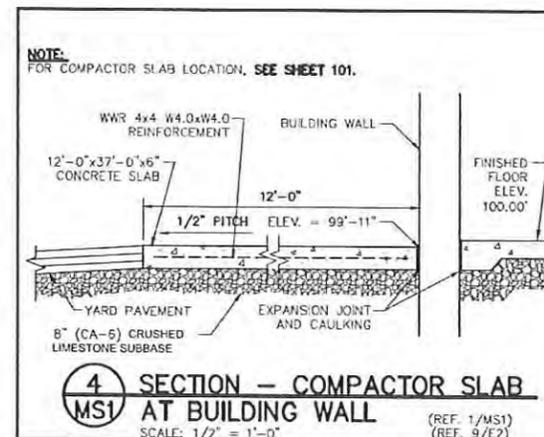
CONSTRUCTION DETAILS AND
SANITARY SEWER PROFILES
DRAWING NO. C6.1



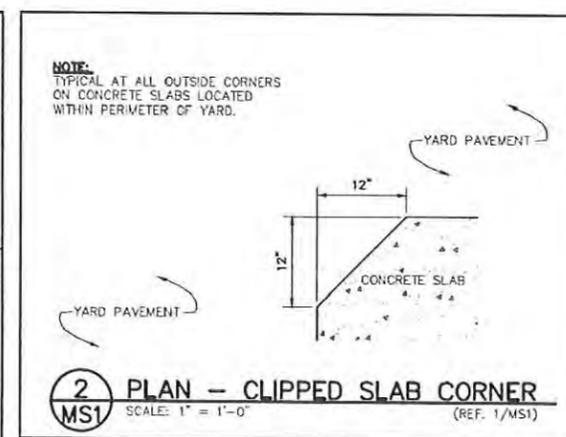
ACCESSIBLE PARKING SIGN



TYPICAL PRESSURE CONNECTION



SECTION - COMPACTOR SLAB AT BUILDING WALL



PLAN - CLIPPED SLAB CORNER



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PROJECT NO. 10068.MNRD	DESIGNED BY RMW
FILE NAME C6.2 DET10068	DRAWN BY NRS
ORIGINAL ISSUE DATE 03-14-14	CHECKED BY JRB
SCALE NTS	PROJECT MANAGER JRB

MENARDS
1860 N. MILWAUKEE AVE.

VERNON HILLS

ILLINOIS

CONSTRUCTION DETAILS

DRAWING NO.

C6.2

FINAL ENGINEERING PLANS FOR MILWAUKEE AVENUE IMPROVEMENTS FOR MENARDS VERNON HILLS, ILLINOIS

RECEIVED

JUN 27 2014

COMMUNITY DEVELOPMENT
DEPARTMENT

INDEX OF DRAWINGS

- TITLE SHEET
- C1.0 GENERAL NOTES, LEGEND AND ABBREVIATIONS
- C2.0 EXISTING CONDITIONS AND DEMOLITION
- C3.0 LAYOUT AND PAVING PLAN
- C4.0 GRADING AND EROSION CONTROL PLAN
- C5.0 UTILITY PLAN
- C6.0 CONSTRUCTION DETAILS
- C6.1 CONSTRUCTION DETAILS

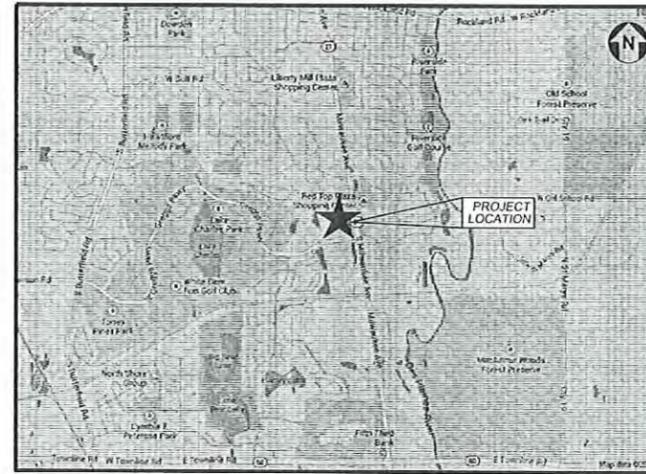
PROJECT TEAM

OWNER

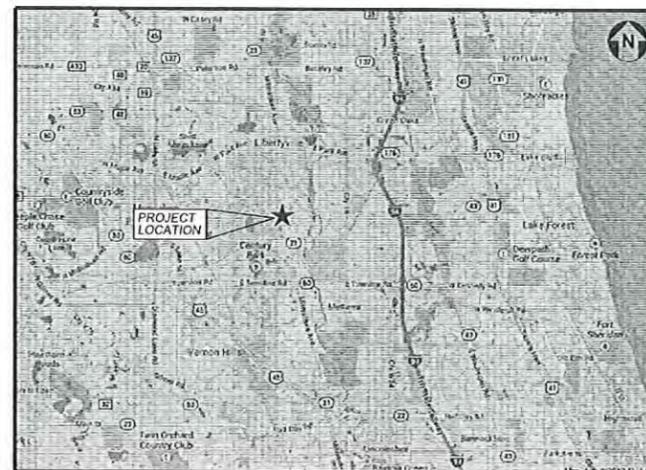
Menards, Inc.
5101 Menard Drive
Eau Claire, WI 54703-9625
715-876-6213
Contact: Jim Carlson

ENGINEER

V3 Companies
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200 voice
630 724 9202 fax
Project Manager: John Brown, P.E.
Project Engineer: Martin Iwanicki, P.E.



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

BENCHMARKS

STATION DESIGNATION: SBM#1
ESTABLISHED BY: SMITH ENGINEERING CONSULTANTS, INC.

ELEVATION: 693.45 (PUBLISHED AND HELD)
DATUM: NAVD83
DESCRIPTION:
CUT "X" IN THE EAST NOSE OF A CONCRETE CURB ISLAND LOCATED ALONG THE CENTERLINE OF GREG'S PARKWAY AND APPROXIMATELY 803 FEET WEST OF THE CENTERLINE OF ROUTE 21.

STATION DESIGNATION: SBM#2
ESTABLISHED BY: V3 COMPANIES

ELEVATION: 682.39 (MEASURED)
DATUM: NAVD83
DESCRIPTION:
WEST EDGE OF LIGHT STANDARD LOCATED ON THE EAST SIDE OF ROUTE 21 AND NORTH OF THE ENTRANCE TO SITE.

REVISIONS

NO.	DATE	DESCRIPTION	SHEETS REVISED	REV BY
1	05-12-14	PER VERNON HILLS	/	/
2	06-27-14	PER VERNON HILLS	/	/

ORIGINAL ISSUE DATE: MARCH 14, 2014

PROFESSIONAL ENGINEER'S CERTIFICATION

I, JOHN R. BROWN, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF MENARDS BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____ DAY OF _____, A.D., 2014.

ILLINOIS LICENSED PROFESSIONAL ENGINEER: 062-050103
MY LICENSE EXPIRES ON NOVEMBER 30, 2015

ILLINOIS LICENSED DESIGN FIRM NO. 184-000902



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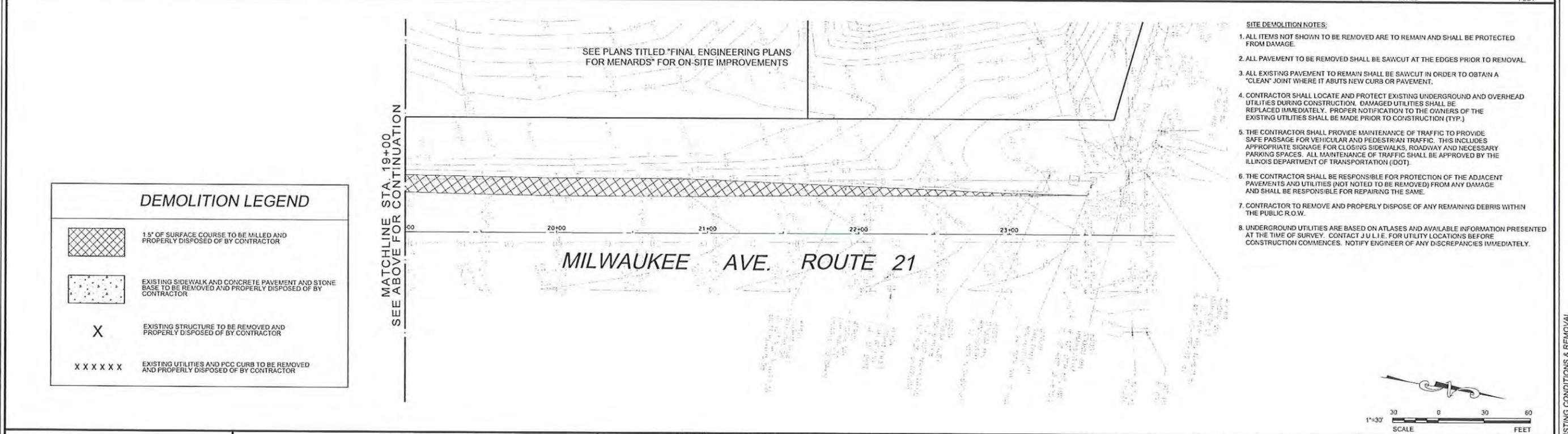
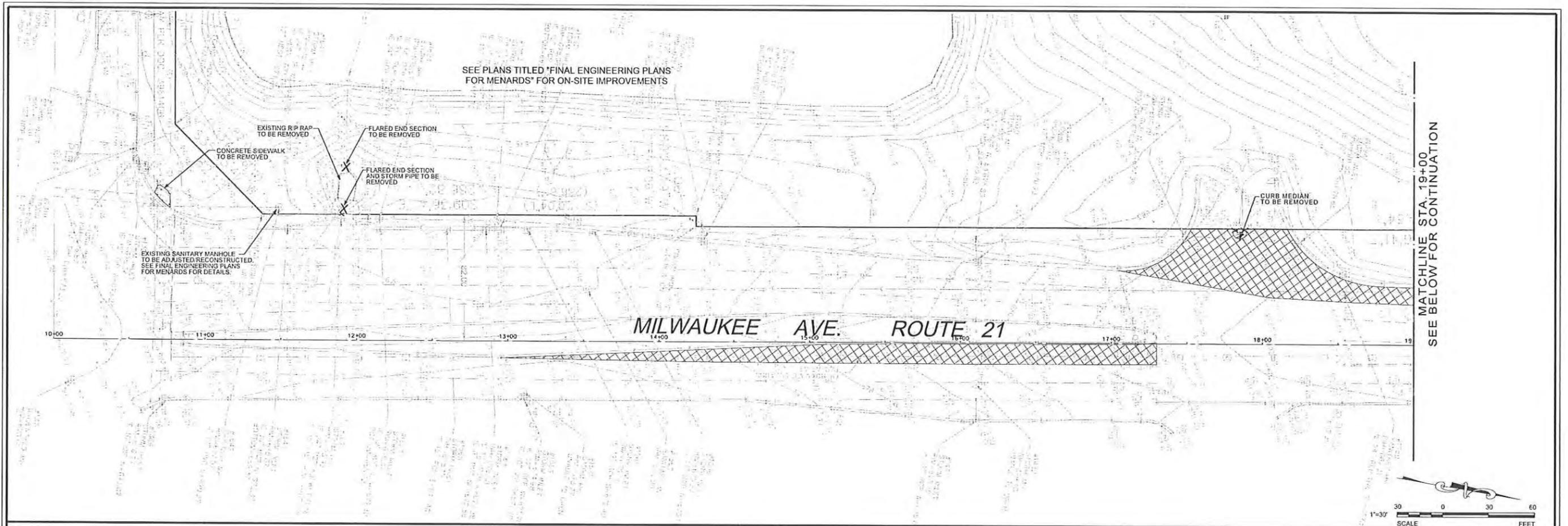
Joint
Utility
Locating
Information
for
Excavators

Call 48 hours before you dig
(Excluding Sat., Sun & Holidays)

Visio, Vertere, Virtute... The Vision to Transform with Excellence

THIS DOCUMENT IS THE PROPERTY OF V3 COMPANIES AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 COMPANIES.

10068 06/16 - MILWAUKEE AVE IMPROVEMENTS FOR MENARDS

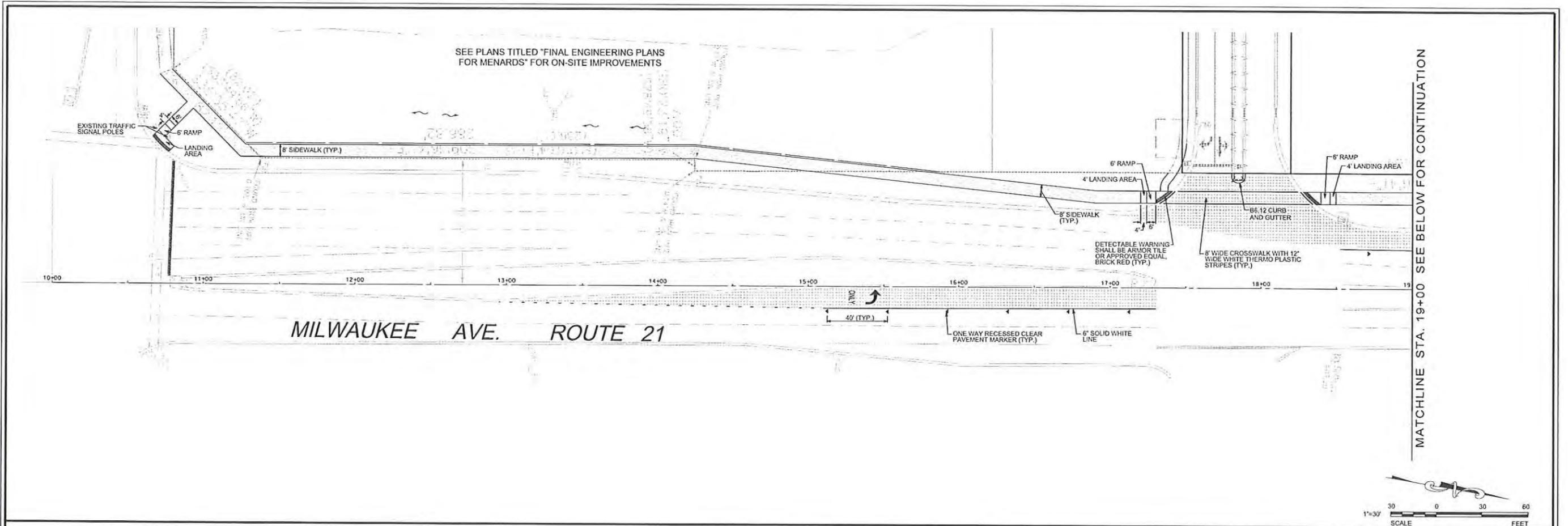


- SITE DEMOLITION NOTES:**
1. ALL ITEMS NOT SHOWN TO BE REMOVED ARE TO REMAIN AND SHALL BE PROTECTED FROM DAMAGE.
 2. ALL PAVEMENT TO BE REMOVED SHALL BE SAWCUT AT THE EDGES PRIOR TO REMOVAL.
 3. ALL EXISTING PAVEMENT TO REMAIN SHALL BE SAWCUT IN ORDER TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURBS OR PAVEMENT.
 4. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. DAMAGED UTILITIES SHALL BE REPLACED IMMEDIATELY. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE PRIOR TO CONSTRUCTION (TYP.)
 5. THE CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC TO PROVIDE SAFE PASSAGE FOR VEHICULAR AND PEDESTRIAN TRAFFIC. THIS INCLUDES APPROPRIATE SIGNAGE FOR CLOSING SIDEWALKS, ROADWAY AND NECESSARY PARKING SPACES. ALL MAINTENANCE OF TRAFFIC SHALL BE APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT).
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THE ADJACENT PAVEMENTS AND UTILITIES (NOT NOTED TO BE REMOVED) FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
 7. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ANY REMAINING DEBRIS WITHIN THE PUBLIC R.O.W.
 8. UNDERGROUND UTILITIES ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTACT J.U.L.I.E. FOR UTILITY LOCATIONS BEFORE CONSTRUCTION COMMENCES. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

DEMOLITION LEGEND

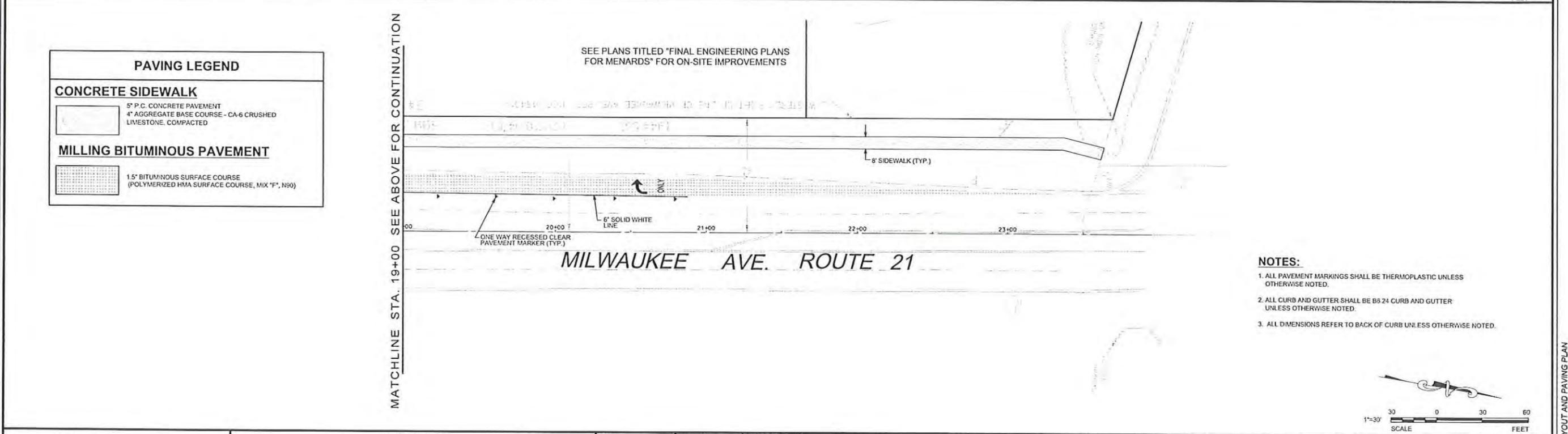
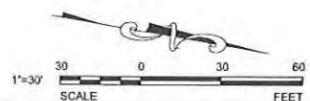
	15' OF SURFACE COURSE TO BE MILLED AND PROPERLY DISPOSED OF BY CONTRACTOR
	EXISTING SIDEWALK AND CONCRETE PAVEMENT AND STONE BASE TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR
	EXISTING STRUCTURE TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR
	EXISTING UTILITIES AND PCC CURB TO BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR

<p>V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>	<p align="center">REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>05-12-14</td> <td>PER VERNON HILLS</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>06-27-14</td> <td>PER VERNON HILLS</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	1	05-12-14	PER VERNON HILLS				2	06-27-14	PER VERNON HILLS				<p>PROJECT NO.: 10068 OFF SITE FILE NAME: C2.0 ECP ORIGINAL ISSUE DATE: 03-14-14 SCALE: 1"=30'</p>	<p>DESIGNED BY: MBI DRAWN BY: NRS CHECKED BY: JRB PROJECT MANAGER: JRB</p>	<p align="center">MILWAUKEE AVENUE IMPROVEMENTS FOR MENARDS</p>	<p align="center">EXISTING CONDITIONS AND DEMOLITION</p>	<p>DRAWING NO. C2.0</p>
	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION																			
1	05-12-14	PER VERNON HILLS																							
2	06-27-14	PER VERNON HILLS																							
<p>SEAL:</p>	<p>VERNON HILLS ILLINOIS</p>	<p>ILLINOIS</p>	<p>10068 OFFSITE - EXISTING CONDITIONS & REMOVAL</p>																						



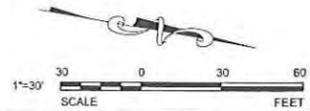
MATCHLINE STA. 19+00 SEE BELOW FOR CONTINUATION

MILWAUKEE AVE. ROUTE 21



MATCHLINE STA. 19+00 SEE ABOVE FOR CONTINUATION

MILWAUKEE AVE. ROUTE 21



PAVING LEGEND	
CONCRETE SIDEWALK	
	5" P.C. CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE - CA-6 CRUSHED LIMESTONE, COMPACTED
MILLING BITUMINOUS PAVEMENT	
	1.5" BITUMINOUS SURFACE COURSE (POLYMERIZED HMA SURFACE COURSE, MIX "F", N90)

- NOTES:**
1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER SHALL BE B5 24 CURB AND GUTTER UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS REFER TO BACK OF CURB UNLESS OTHERWISE NOTED.

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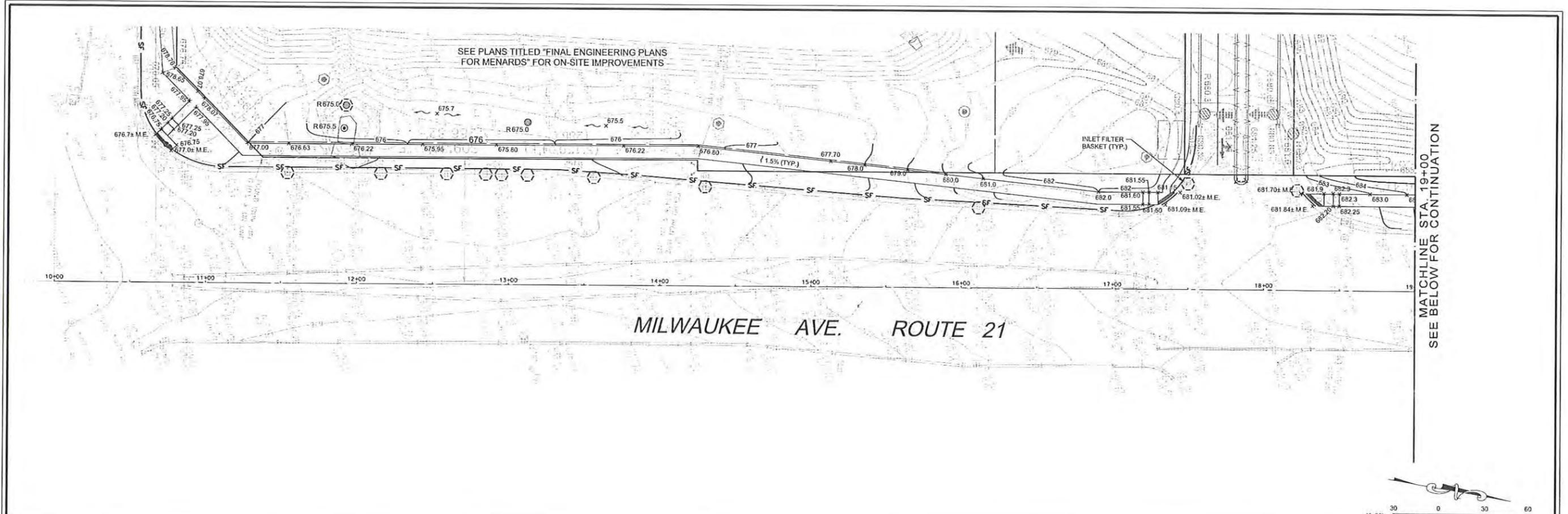
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SCALE: 1"=30'	PROJECT MANAGER: JRB

MILWAUKEE AVENUE IMPROVEMENTS FOR MENARDS

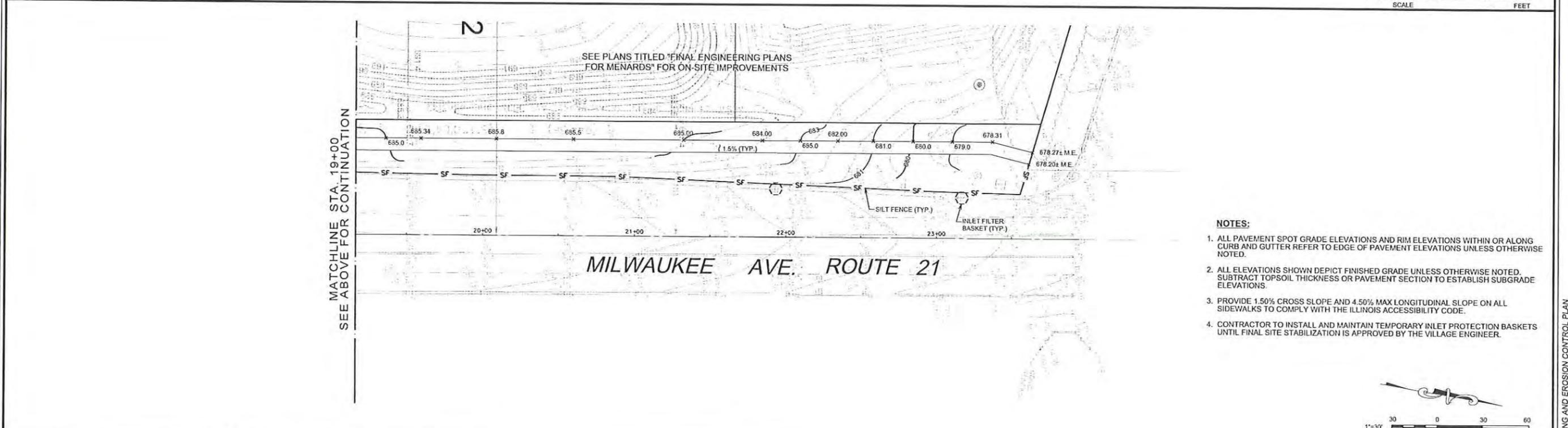
VERNON HILLS ILLINOIS

LAYOUT AND PAVING PLAN

DRAWING NO.
C3.0



MATCHLINE STA. 19+00
SEE BELOW FOR CONTINUATION



MATCHLINE STA. 19+00
SEE ABOVE FOR CONTINUATION

- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
 3. PROVIDE 1.50% CROSS SLOPE AND 4.50% MAX LONGITUDINAL SLOPE ON ALL SIDEWALKS TO COMPLY WITH THE ILLINOIS ACCESSIBILITY CODE.
 4. CONTRACTOR TO INSTALL AND MAINTAIN TEMPORARY INLET PROTECTION BASKETS UNTIL FINAL SITE STABILIZATION IS APPROVED BY THE VILLAGE ENGINEER.



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REVISIONS			
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1	05-12-14	PER VERNON HILLS	
2	06-27-14	PER VERNON HILLS	

SEAL

PROJECT NO.
10068 OFF SITE
FILE NAME
C4.0 GRD
ORIGINAL ISSUE DATE
03-14-14
SCALE
1"=30'

DESIGNED BY
MBI
DRAWN BY
NRS
CHECKED BY
JRB
PROJECT MANAGER
JRB

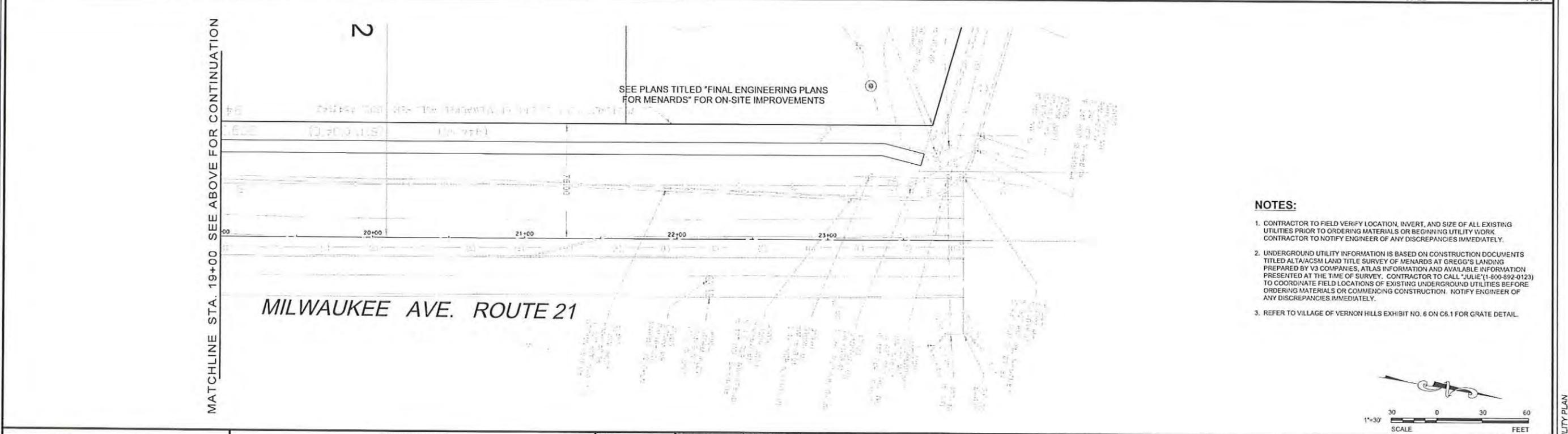
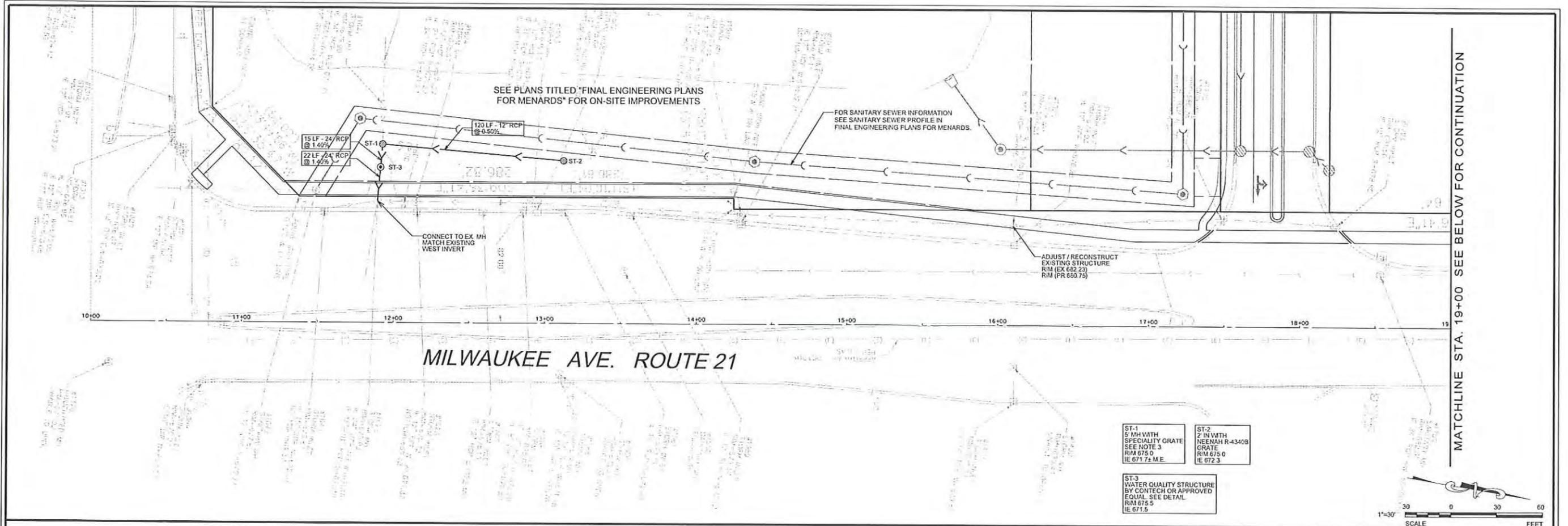
**MILWAUKEE AVENUE IMPROVEMENTS
FOR MENARDS**

VERNON HILLS ILLINOIS

GRADING AND EROSION CONTROL PLAN

DRAWING NO.
C4.0

10068 OFFSITE - GRADING AND EROSION CONTROL PLAN



- NOTES:**
- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - UNDERGROUND UTILITY INFORMATION IS BASED ON CONSTRUCTION DOCUMENTS TITLED ALTA/ACSM LAND TITLE SURVEY OF MENARDS AT GREGG'S LANDING PREPARED BY V3 COMPANIES, ATLAS INFORMATION AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - REFER TO VILLAGE OF VERNON HILLS EXHIBIT NO. 6 ON C6.1 FOR GRATE DETAIL.

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REVISIONS					
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2	06-27-14	FER VERNON HILLS			

PROJECT NO.
10068 OFF SITE

FILE NAME
C5.0 Util

ORIGINAL ISSUE DATE
03-14-14

SCALE
1"=30'

DESIGNED BY
MBI

DRAWN BY
NRS

CHECKED BY
JRB

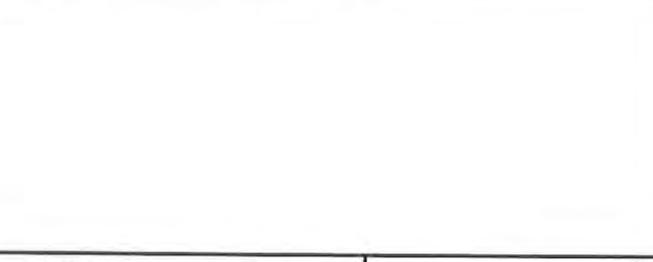
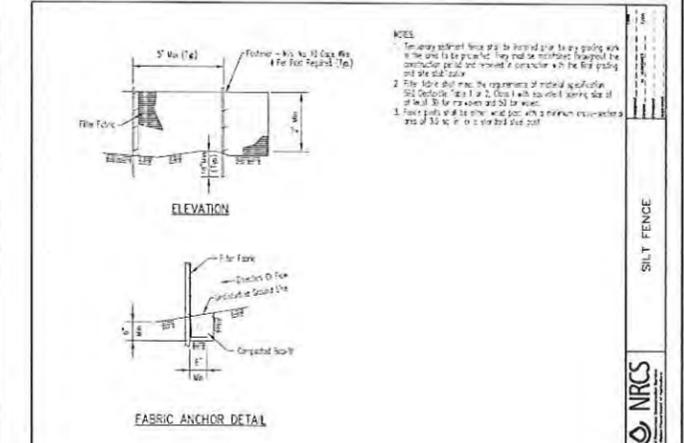
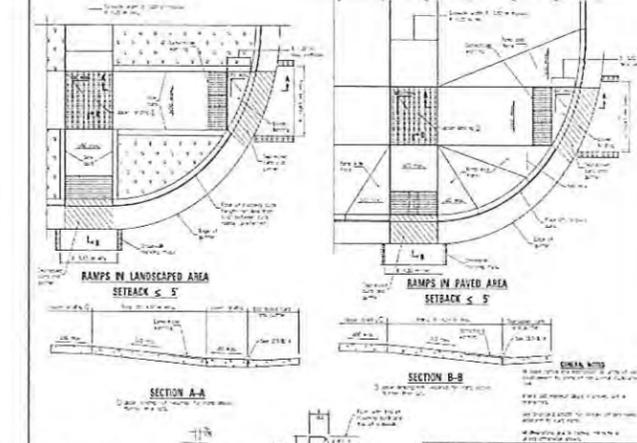
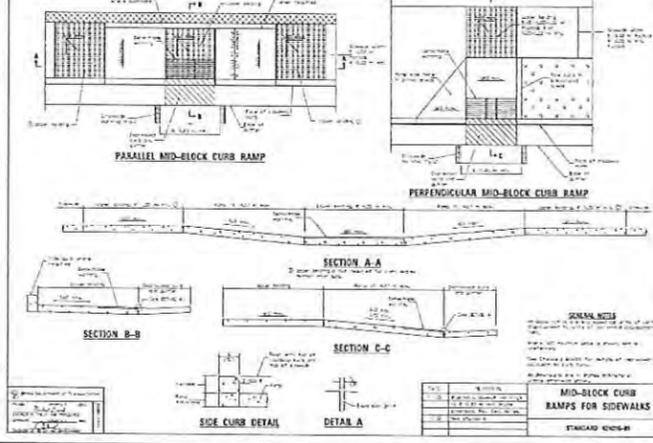
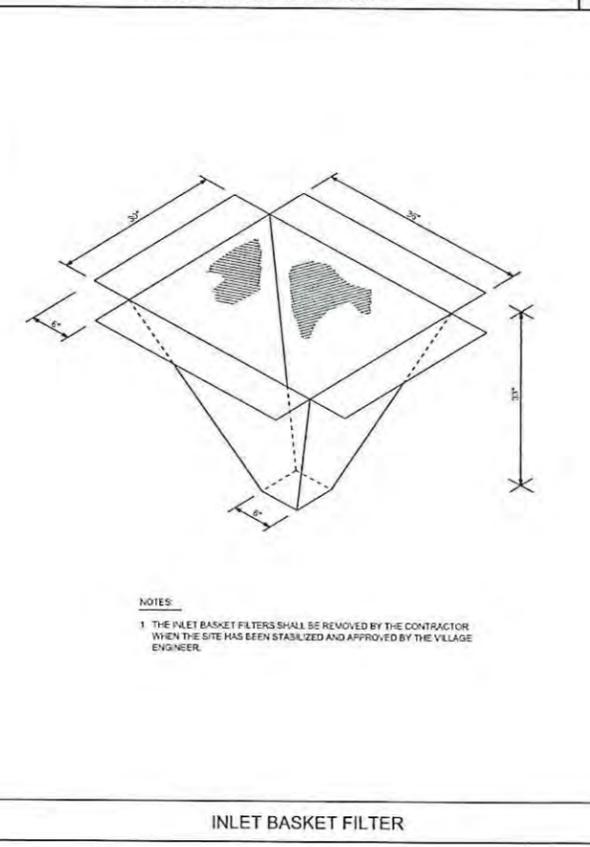
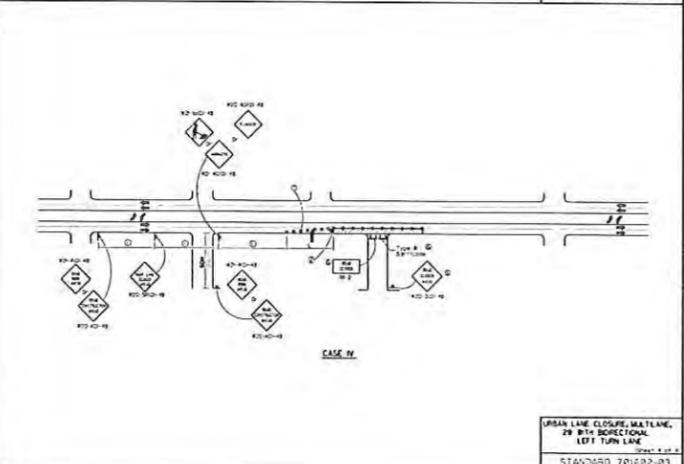
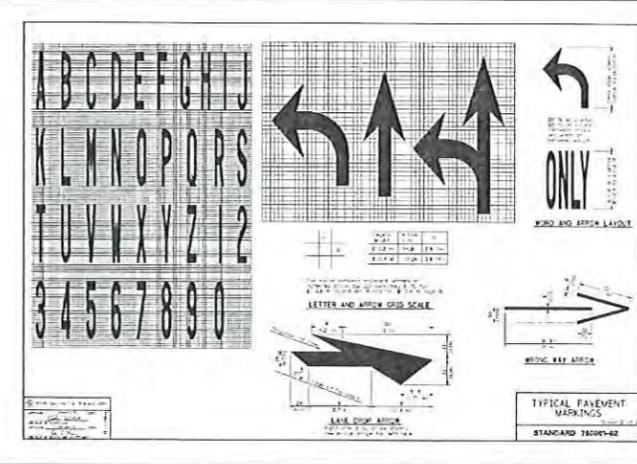
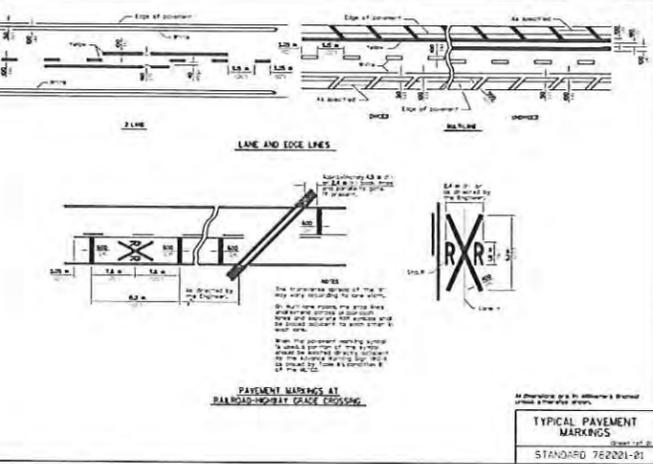
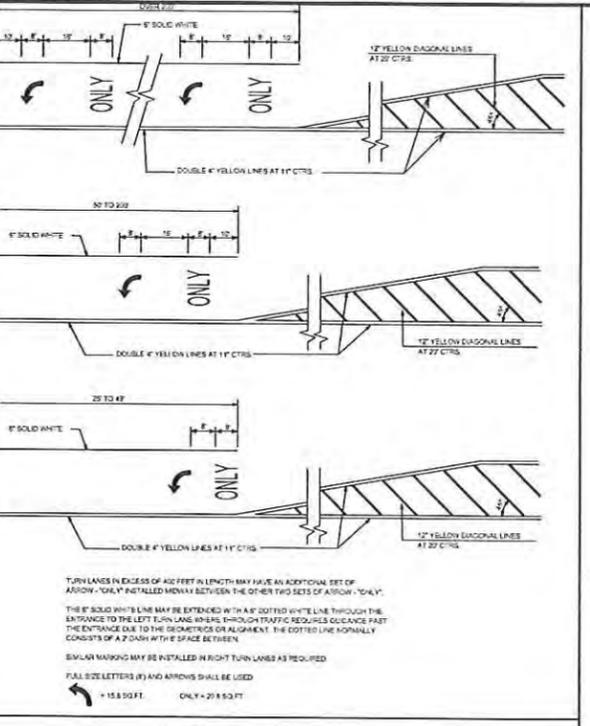
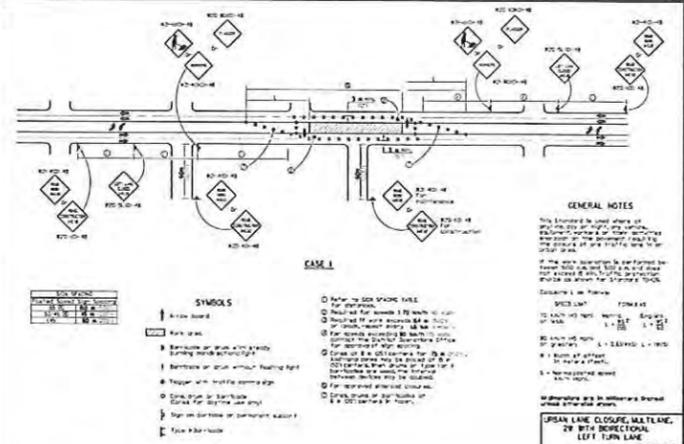
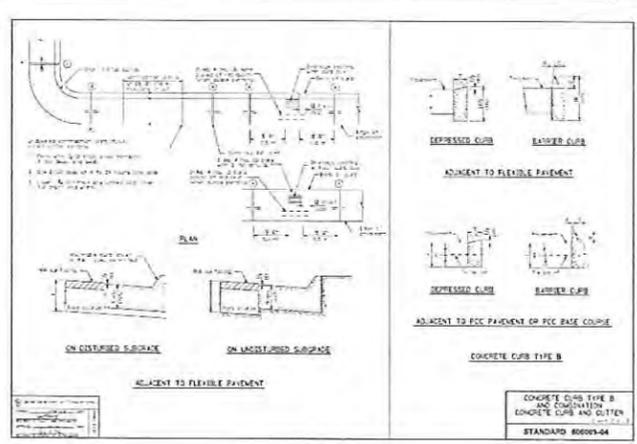
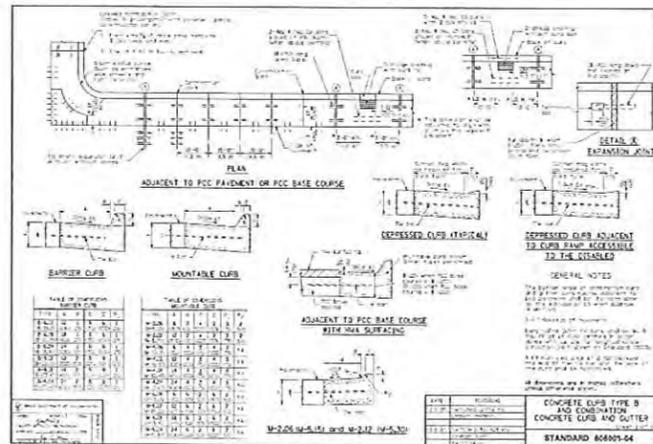
PROJECT MANAGER
JRB

MILWAUKEE AVENUE IMPROVEMENTS FOR MENARDS

VERNON HILLS ILLINOIS

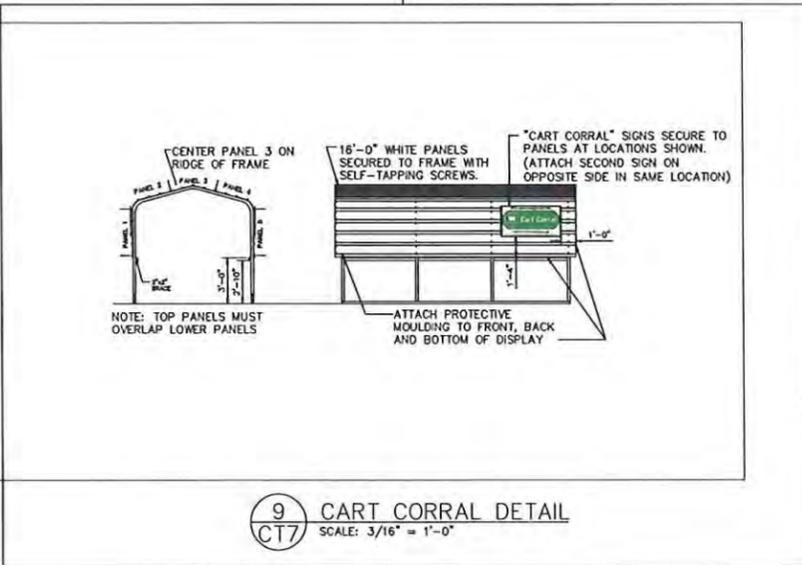
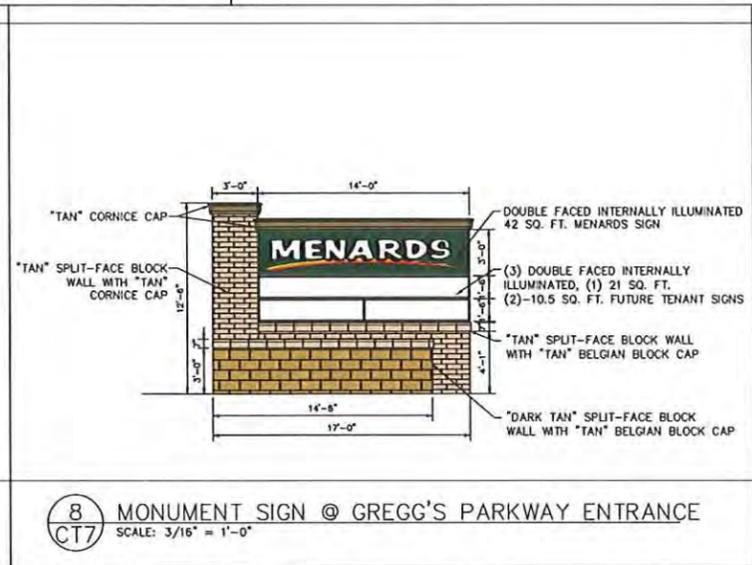
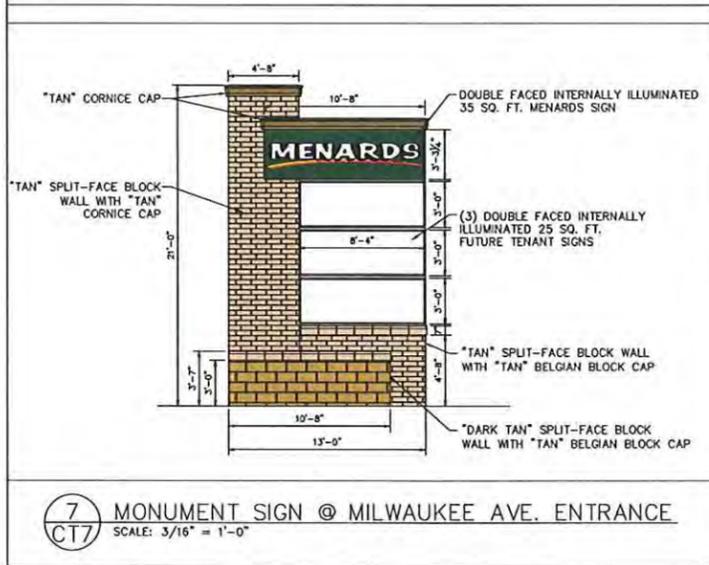
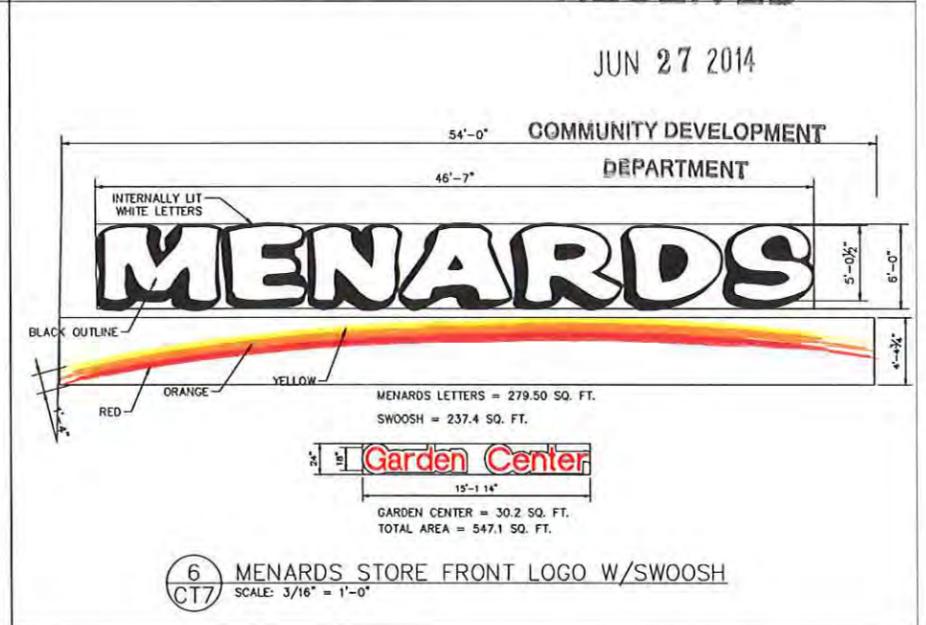
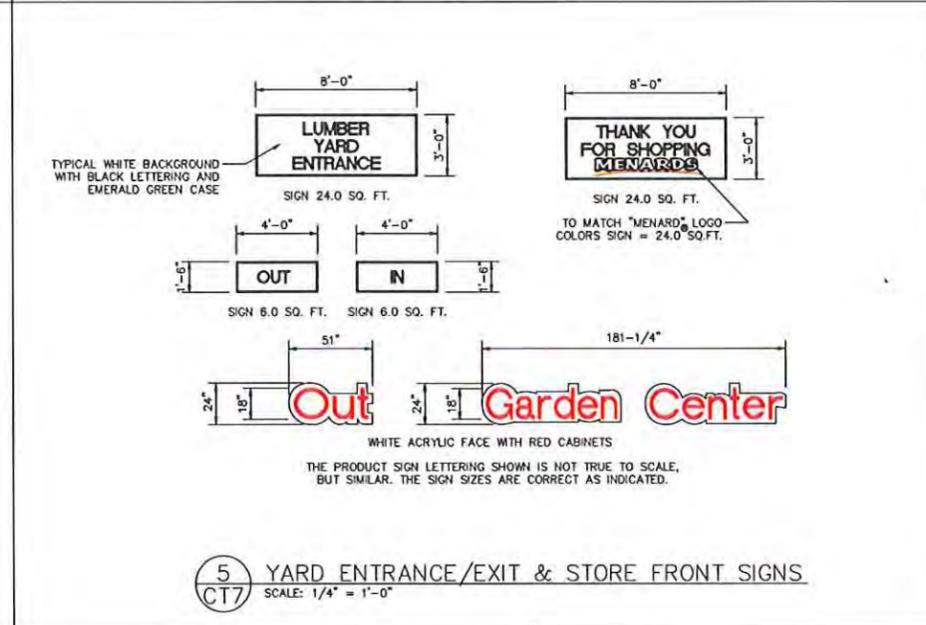
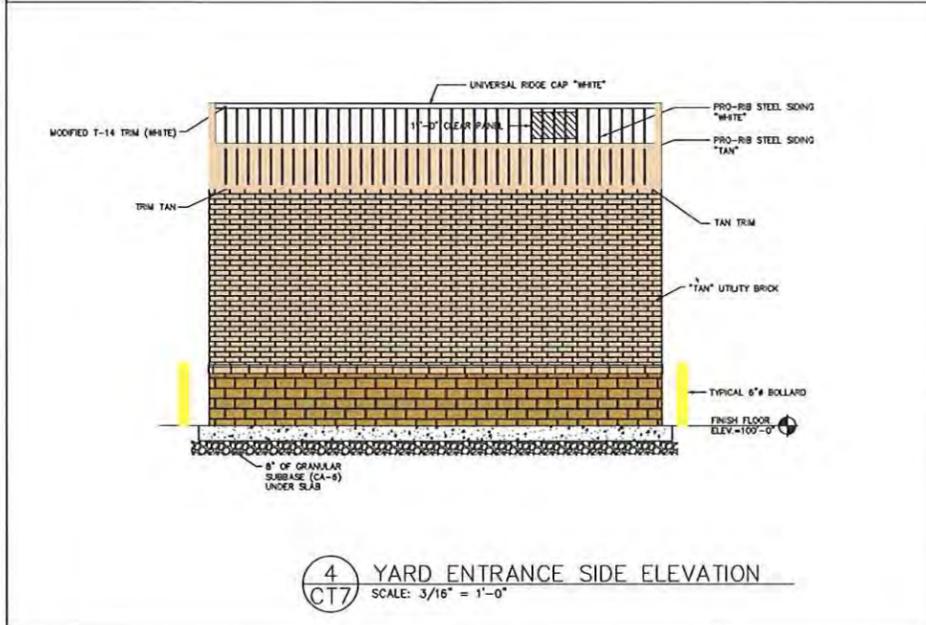
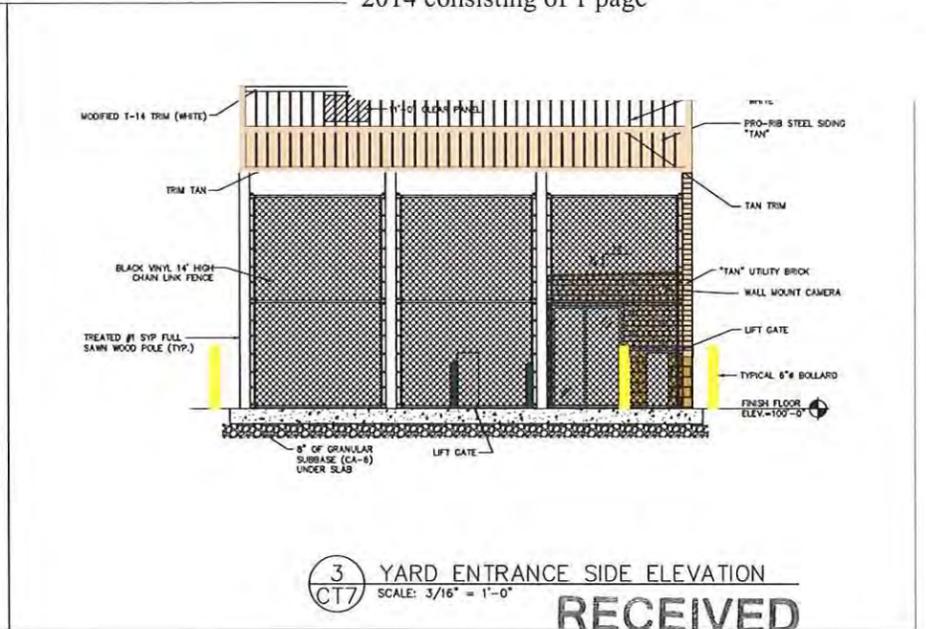
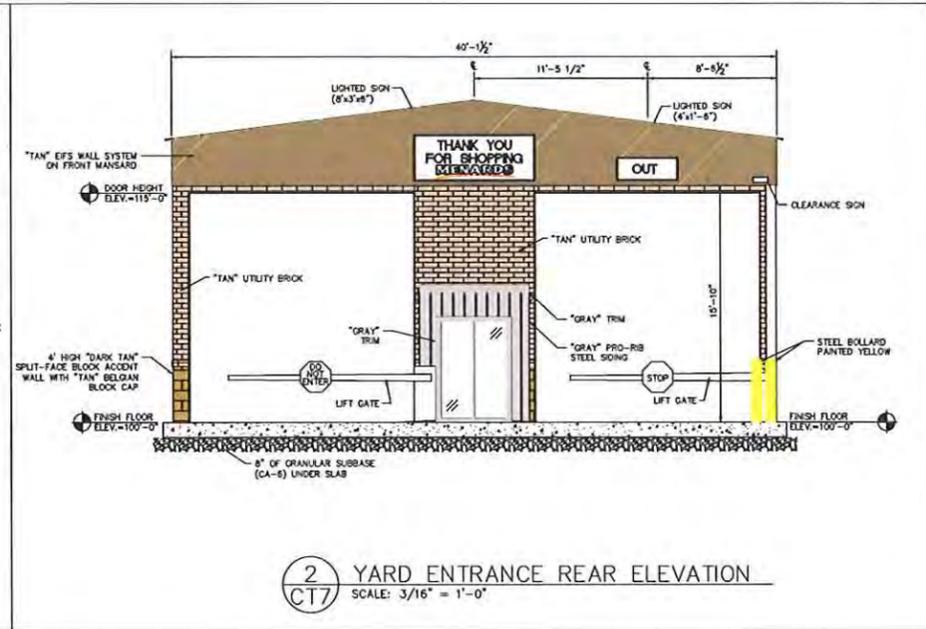
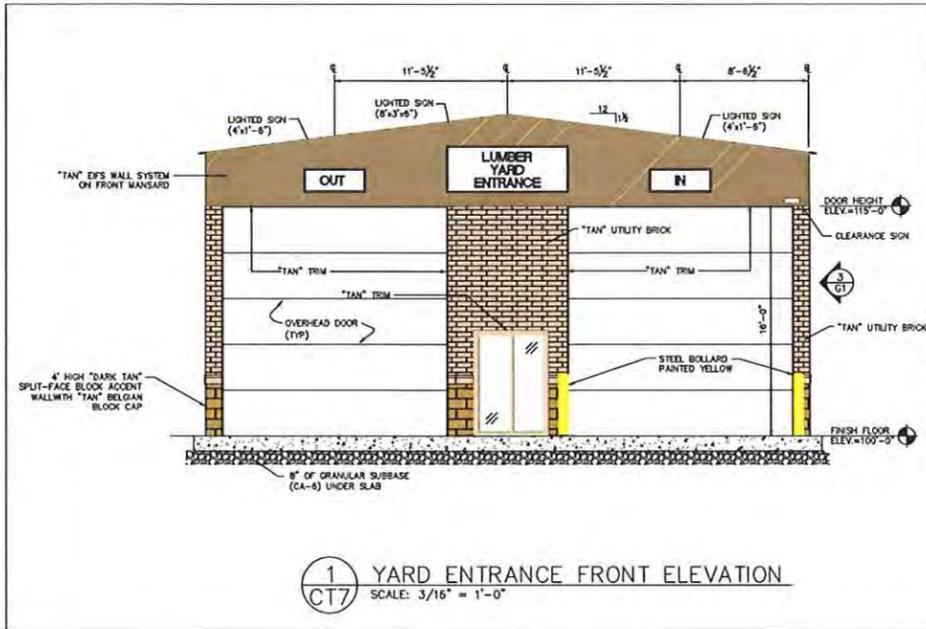
UTILITY PLAN

DRAWING NO.
C5.0



<p>V3 Companies 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone 630.724.9202 fax www.v3co.com</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO</th> <th>DATE</th> <th>DESCRIPTION</th> <th>NO</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>05-12-14</td> <td>PERVON HILLS</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>06-27-14</td> <td>PERVON HILLS</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		NO	DATE	DESCRIPTION	NO	DATE	DESCRIPTION	1	05-12-14	PERVON HILLS				2	06-27-14	PERVON HILLS				<p>PROJECT NO: 10068 OFF SITE</p> <p>FILE NAME: C6.0 Det</p> <p>ORIGINAL ISSUE DATE: 03-14-14</p> <p>SCALE: N.T.S.</p>	<p>DESIGNED BY: MBI</p> <p>DRAWN BY: NRS</p> <p>CHECKED BY: JRB</p> <p>PROJECT MANAGER: JRB</p>	<p>MILWAUKEE AVENUE IMPROVEMENTS FOR MENARDS</p> <p>VERNON HILLS ILLINOIS</p>	<p>CONSTRUCTION DETAILS</p> <p>C6.0</p>	<p>DRAWING NO.</p>
	NO	DATE	DESCRIPTION	NO	DATE	DESCRIPTION																			
1	05-12-14	PERVON HILLS																							
2	06-27-14	PERVON HILLS																							
<p>THIS DOCUMENT IS THE PROPERTY OF V3 COMPANIES AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 COMPANIES.</p>		<p>PROJECT NO: 10068 OFF SITE</p> <p>FILE NAME: C6.0 Det</p> <p>ORIGINAL ISSUE DATE: 03-14-14</p> <p>SCALE: N.T.S.</p>		<p>DESIGNED BY: MBI</p> <p>DRAWN BY: NRS</p> <p>CHECKED BY: JRB</p> <p>PROJECT MANAGER: JRB</p>		<p>MILWAUKEE AVENUE IMPROVEMENTS FOR MENARDS</p> <p>VERNON HILLS ILLINOIS</p>		<p>CONSTRUCTION DETAILS</p> <p>C6.0</p>		<p>DRAWING NO.</p>															

10068 OFF SITE - CONSTRUCTION DETAILS



SIGN LEGEND

	QTY	DESCRIPTION	HEIGHT	LENGTH	SQ. FT.
MAIN STORE	1	MENARDS	6'-0"	46'-7"	279.5
	1	SWOOSH	1'-4"	54'-0"	72.0
	1	Out	2'-0"	4'-3"	8.5
GATE CANOPY	1	Garden Center	2'-0"	15'-1 1/4"	30.2
	1	LUMBER YARD ENTRANCE	3'-0"	8'-0"	24.0
	1	THANK YOU FOR SHOPPING	3'-0"	8'-0"	24.0
	2	OUT	1'-6"	4'-0"	12.0
	1	IN	1'-6"	4'-0"	6.0

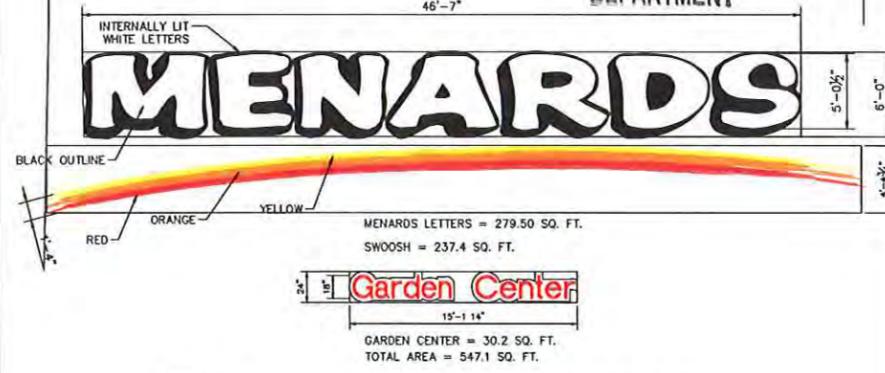
TOTAL SQ. FOOTAGE = 456.20

MENARDS
Vernon Hills, Illinois
Yard Entrance, Cart Corral and Signage Plan
May 09, 2014
Scale: as noted CT7

RECEIVED

JUN 27 2014

COMMUNITY DEVELOPMENT DEPARTMENT

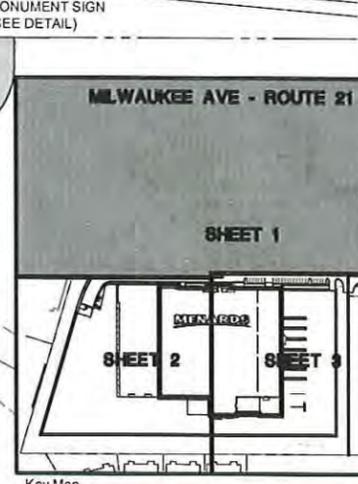
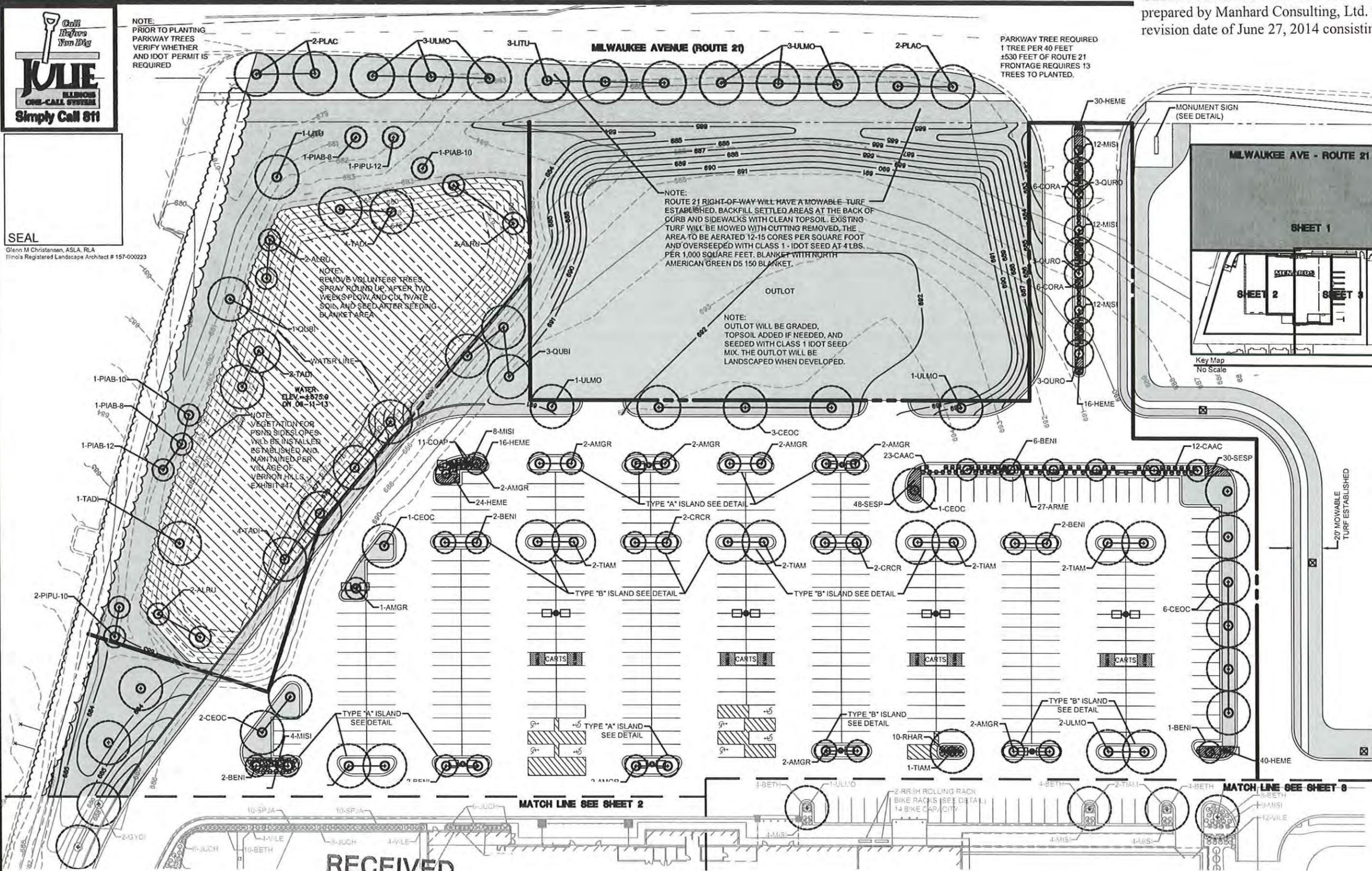




NOTE:
PRIOR TO PLANTING
PARKWAY TREES
VERIFY WHETHER
AND IDOT PERMIT IS
REQUIRED

PARKWAY TREE REQUIRED
1 TREE PER 40 FEET
±530 FEET OF ROUTE 21
FRONTAGE REQUIRES 13
TREES TO PLANTED.

SEAL
Glenn M. Christensen, ASLA, RLA
Illinois Registered Landscape Architect # 157-000223



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PROPOSED MENARDS - 1860 NORTH MILWAUKEE
VILLAGE OF VERNON HILLS, IL
EAST-LANDSCAPE-PLAN

RECEIVED
JUN 27 2014

East Section Landscape Plan
Scale:

COMMUNITY DEVELOPMENT
DEPARTMENT

NOTE:
SEE PLANT LIST ON SHEET 2

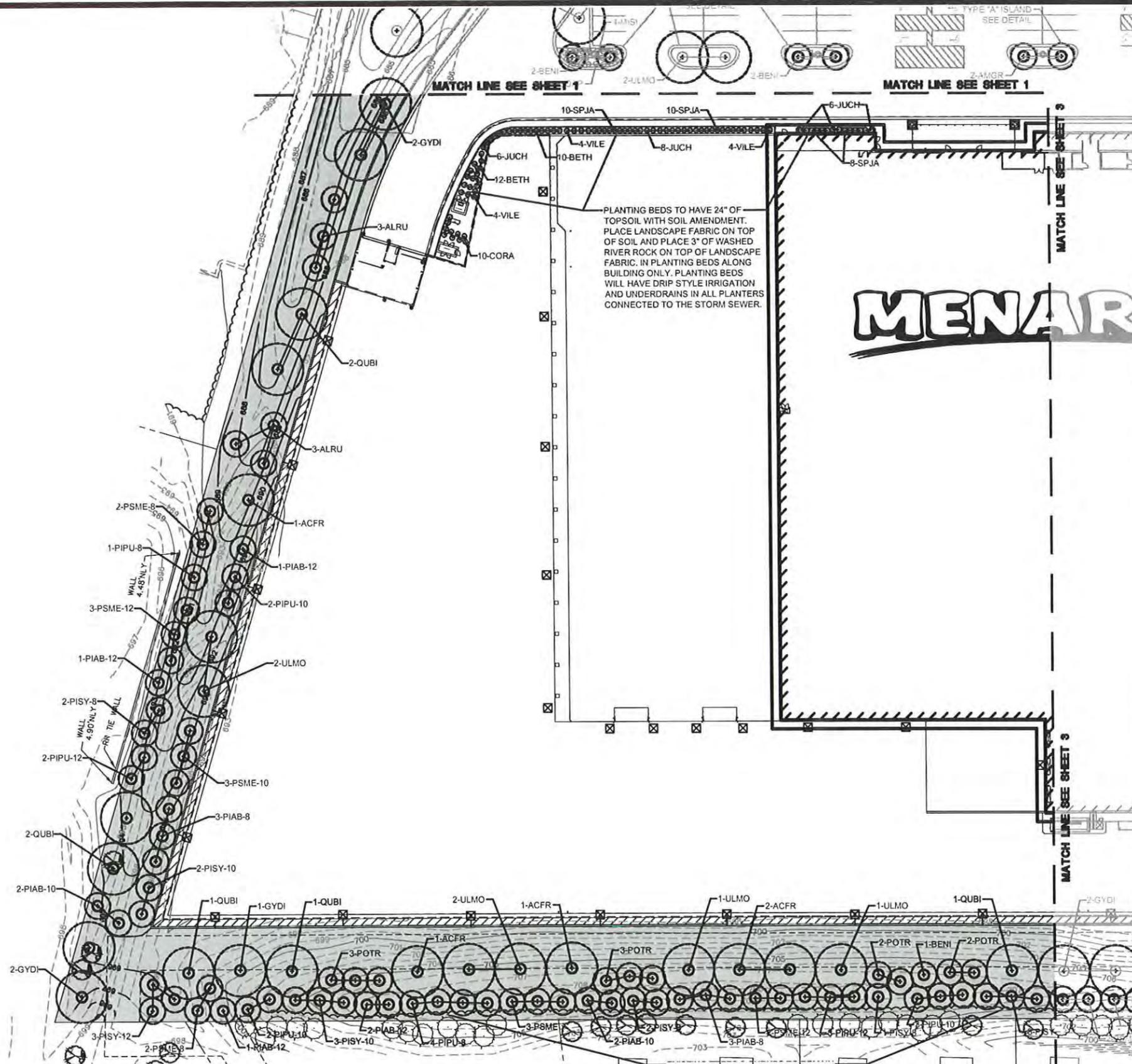
Legend

- TURF AREA
- MESIC COMMUNITY SEEDING - PER VILLAGE OF VERNON HILLS EXHIBIT #47 (SEE DETAIL SHEET)

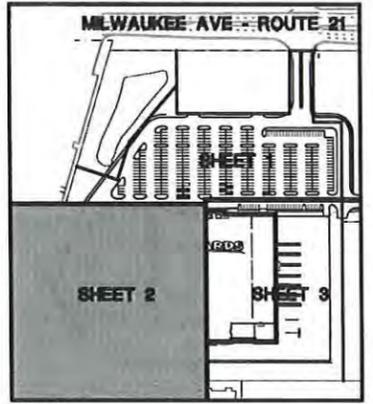
1" = 30'-0"



PROJ. NO. 130439
PROJ. ASSOC. JTB
DRAWN BY: JTB
DATE: 6-27-14
SCALE: 1"=30'
SHEET
1 OF 6
MENARDS 130439



MENARDS



Preliminary Plant List

Key	Quantity	Name	COMMON Botanical	Size	Comments	Native
ACT	8	MAMMO MAPLE	Acer x Freemanii 'Mammo'	3" BB		Variety of Native
ADM	15	GREEN COLUMN BLACK MAPLE	Acer nigrum 'Green Column'	1" BB		Variety of Native
ALRU	12	SPECKLED ALDER	Alnus rugosa	3" BB		Native
AMSR	17	AUTUMN BRILLIANCE SERVICE BERRY	Amelanchier grandiflora 'Autumn Brilliance'	3" BB		Variety of Native
ARME	91	BLACK CHERRY BERRY	Aronia melanocarpa 'Elate'	3"		Native
BEN	16	RIVER BIRCH	Betula nigra	8-10' BB	3 stem dumps	Native
BETH	42	ROSE GLOW BARBERRY	Berberis thunbergii 'Rose Glow'	18" x 45 Container	Planted 3'0" on center	
CAAG	151	KARL FOENSTER FEATHER REED GRASS	Calamagrostis andersonii 'Karl Foerster'	#3 Container	Planted 3'0" on center	
DEOC	11	COMMON HACKBERRY	Celastrus occidentalis	3" BB		Native
ODAP	232	CRANBERRY COTONEASTER	Cotoneaster acutata	24" #1 Container	Planted 2'0" on center	
CORA	36	GRAY DOGWOOD	Comus racemosa	3"	Planted 4'0" on center	Native
CRCR	4	THORNLESS CRUSGALL HAWTHORN	Crataegus crusgalli 'nemis'	2-10' BB		Variety of Native
FOVO	30	NORTHERN GOLD FOREST THAI Forsythia	Forsythia 'Northern Gold'	3"	Planted 1'0" on center	
GYDI	10	KENTUCKY COFFEETREE	Gymnocladus dioica	1" BB		Native
HME	225	HAPPY RETURNS DAYLILY	Heimerialis 'Happy Returns'	#2 Container	Planted 2'0" on center	
JUCH	34	GREEN SARGENT JUNIPER	Juniperus chinensis 'Sargentii'	18" x 45 Container	Planted 3'0" on center	
LITU	8	TULIP TREE	Liriodendron tulipifera	3" BB		Native
MSI	125	PURPLE FLAME GRASS	Miscanthus sinensis 'Purpureus'	#3 Container	Planted 3'0" on center	
PAB-8	10	NORWAY SPRUCE	Picea abies	3" BB		
PAB-13	8	NORWAY SPRUCE	Picea abies	12' BB		
PAB-12	7	NORWAY SPRUCE	Picea abies	12' BB		
PIAB-8	12	GREEN COLORADO SPRUCE	Picea pungens	8' BB		
PIAB-10	12	GREEN COLORADO SPRUCE	Picea pungens	12' BB		
PIAB-12	13	GREEN COLORADO SPRUCE	Picea pungens	12' BB		
PIAB-10	10	SCOTCH PINE	Pinus sylvestris	3" BB		
PIAB-10	7	SCOTCH PINE	Pinus sylvestris	10' BB		
PIAB-12	12	SCOTCH PINE	Pinus sylvestris	12' BB		
PLAC	4	BLOODGOOD LONDON PLANETREE	Platanus acerifolia 'Bloodgood'	1" BB		
POTR	17	QUAKING ASPEN	Populus tremuloides	3" BB		Native
PSME-8	10	DOUGLAS FIR	Pseudotsuga menziesii	3" BB		
PSME-10	9	DOUGLAS FIR	Pseudotsuga menziesii	10' BB		
PSME-12	11	DOUGLAS FIR	Pseudotsuga menziesii	12' BB		
QUBI	12	SWAMP WHITE OAK	Quercus bicolor	1" BB		
QUIRO	15	COLUMNAR ENGLISH OAK	Quercus robur 'Fastigiata'	1" BB		
RVAR	274	GRASS LOW FRAGRANT SUMAC	Rhus aromatica 'Grass Low'	18" x 45 Container	Planted 3'0" on center	Variety of Native
SESP	113	AUTUMN JOY SEDUM	Sedum spectabile 'Autumn Joy'	#2 Container	Planted 3'0" on center	
SPIA	28	LITTLE PRINCESS SPirea	Spiraea japonica 'Little Princess'	18" x 45 Container	Planted 3'0" on center	
TADI	8	COMMON BALDOPRESS	Taxodium distichum	1" BB		
THOC	21	TECHNY ARBORVITAE	Thuja occidentalis 'Tectony'	8' BB		
TIAM	11	REDMOND LINEN	Tilia americana 'Redmond'	1" BB		Variety of Native
ULMO	25	ACQUADE ELM	Ulmus 'Mortini'	1" BB		Variety of Native
VILE	24	MANNBERRY VIBURNUM	Viburnum lentago	3"	Planted 4'0" on center	Native

Northwest Section Landscape Plan
Scale:

1" = 30'-0"

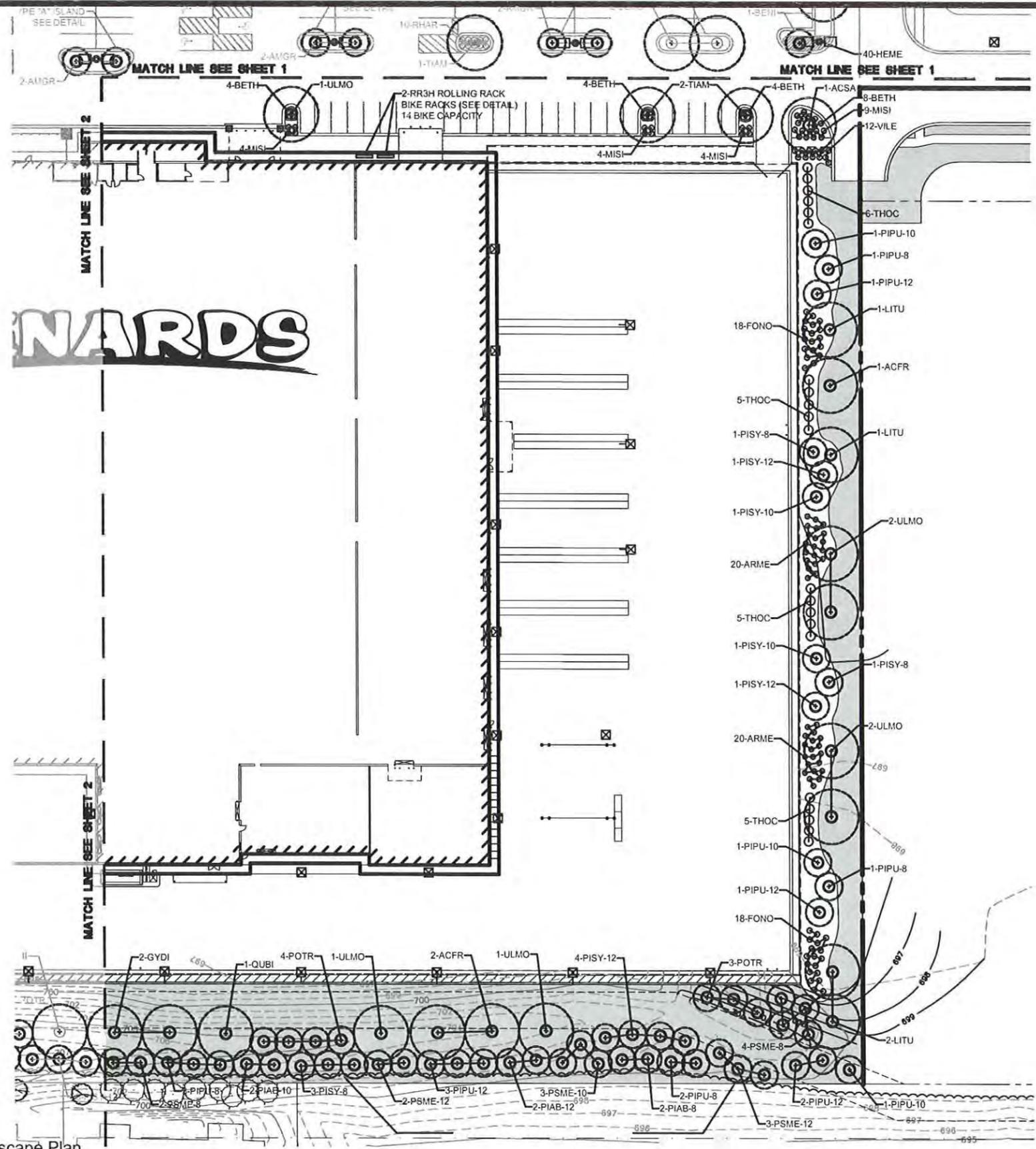


MENARDS
Vernon Hills, Illinois

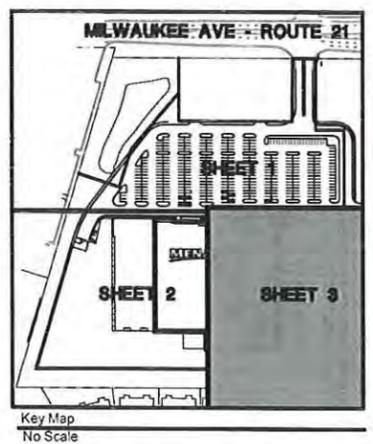
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PROPOSED MENARDS - 1860 NORTH MILWAUKEE
 VILLAGE OF VERNON HILLS, IL
 NORTH-LANDSCAPE-PLAN

SHEET
2 OF **6**
 MWH 130438



MENARDS



General Notes

1. The landscape contractor is required to contact 'JULIE', the municipal County, or state public works department, and any other public or private agency necessary for utility location prior to any construction.
2. All areas outside of bedlines are to be sodded or treated with seed and blanket, verify type with owners representatives.
3. Verify all dimensions in the field.
4. Always insure positive drainage when grading and placing plant materials.
5. Place a minimum of 4" of shredded bark mulch in planting beds and around all plantings.
6. Plant sizes are minimums. The contractor shall meet all size requirements listed. Container sizes shall conform to the requirements set by the American Standards for Nursery Stock.
7. All plant material shall conform to the latest edition of American Standards for Nursery Stock published by the American Association of Nurserymen.
8. The quantities in the Plant Schedule are provided to the Landscape Contractor as a convenience. It is the Landscape Contractors responsibility to verify all quantities and availability of plants and materials shown on the plan and schedule prior to submitting a bid. If selected, the Landscape Contractor shall make provisions necessary to have the necessary material to complete the landscape installation by the established deadlines.
9. All landscape parking islands shall be crowned to a height of 6".

Southwest Section Landscape Plan

Scale:

1" = 30'-0"



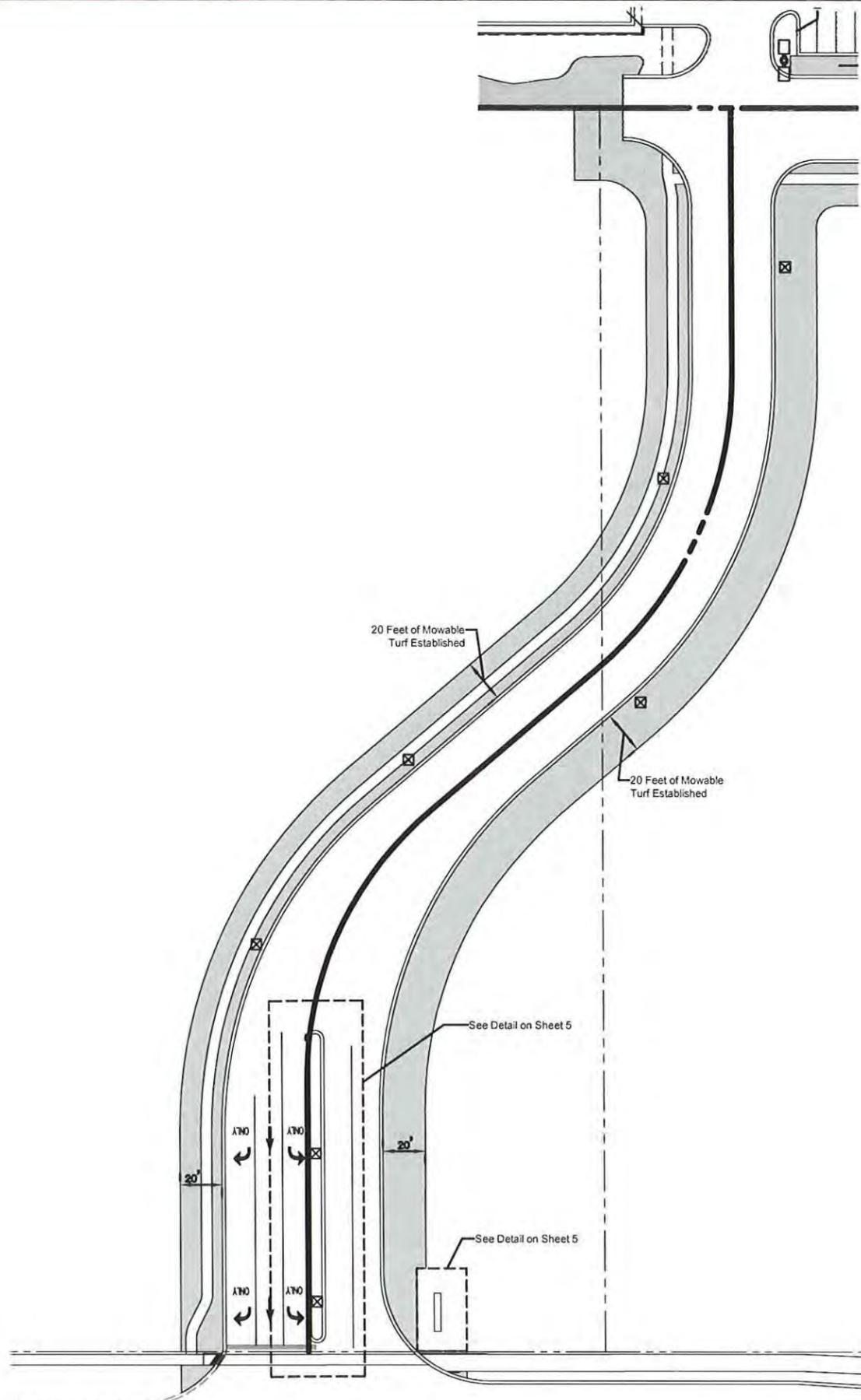
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Vernon Hills, Illinois

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PROPOSED MENARDS - 1860 NORTH MILWAUKEE
VILLAGE OF VERNON HILLS, IL
SOUTH-LANDSCAPE-PLAN

PROJ. NO.	186
PROJ. ASSOC.	001
DATE	8-27-14
SCALE	1"=30'

SHEET
3 OF **6**
MENARD 130438



Access Road Detail
Scale:

1" = 30'-0"



ROLLING RACK
The gentle design and high strength of the Dero Rolling Rack...
DERO

ROLLING RACK Specifications and Space Use

Product: Dero Rolling Rack
Capacity: 2000-3000 lbs
Material: 3" x 3" x 1/4" Galvalume Steel
Installation: In ground, must be installed in concrete base...
Space Use: Max 5' x 3' x 1' 1/2'...
Rolling Rack: For use with all Dero 1/2" x 1/2" x 1/4"...

VILLAGE OF VERNON HILLS - VILLAGE EXHIBIT #47

MESIC COMMUNITY (SEEDS)

(N.W.L. to top of slope) 4:1 Slope. See Typical Planting Section

A. BED PREPARATION

Existing vegetative growth should be removed or killed with an approved herbicide (Rodeo). Till surface of seedbed to 2'-4" and till as close as possible to waterline. Lightly compact soil with roller, cuti-packer, or similar implement. Omit tilling if using a no-till seed drill.

B SEEDING

Specified seed or equal shall be refrigerated for at least 90 days prior to installation. The seed must be of wild ecotype. No hybrids or cultivars may be included. Mix seed with an equal volume of coarse sand, vermiculite or oats. Seed mixes shall contain at least 70% of the species listed and no one species shall constitute more than 10% of the total seed mix by weight. Any deviation from the plant list is to be submitted to the Village for review and approval prior to installation. Broadcast seeds evenly either by hand or no-till seeder, cyclone spreader, or shoulder mount spreader. Spread seed in different directions to cover evenly. If not included in seed mix, plant nurse crop of seed oats at 40 lbs/acre with seed mix. Roll seed into soil to 1/4" depth with cuti-packer or similar implement.

No seeding should occur until N.W.L. is reached and sustained within Detention Pond.

C. SEEDING DATES

May 15 - June 30
July 1 - October 31 (irrigation twice per week for 60 days)
November 1 - December 1 (dormant seeding)

D. FABRIC INSTALLATION

Install erosion control blanket, North American Green SC 250 or equal along N.W.L., 6' 5" width, 1/2" width or 3/25" below water and 1/2" width or 3/25" above water around perimeter of pond. Install North American green DS 75 from limits of SC250 to top of slope. Install as per manufacturer's guidelines. For exact locations, see Exhibit No. 47.

ACCEPTANCE

MESIC COMMUNITY (SEEDS)

At the beginning of the second growing season, the following conditions shall be met:
COVERAGE: 25% of each plant community shall be covered with vegetation.
PRESENCE: 40% of the species shall be alive and present.
ABUNDANCE: 60% of the vegetation should be native species of the permanent matrix.

At the beginning of the third growing season, the following conditions shall be met:

COVERAGE: 50% of each plant community shall be covered with vegetation.
PRESENCE: 60% of the species shall be alive and present.
ABUNDANCE: 80% of the vegetation should be native species of the permanent matrix.

MAINTENANCE

1ST YEAR: Mow at 6" when the oats set seed heads. Mow again when competitive weeds are at 8"-12" in height. Cut back to 6" with flail type mower two or three times during the first season.

2nd YEAR: Keep area mowed at 12" to control weed competition. Mow in late May and late June. Maintain goose barrier control for 2 years. Then remove fencing, lath, and monofilament.

3rd YEAR: Prescribed/controlled burn the area in mid-Spring. If burning is not an option, mow again to control weeds but remove the clippings. Do not burn or mow after new plant growth has reached 1/2" or taller.

LONG - TERM MANAGEMENT: Employ the services of a qualified and licensed company to manage prairie plantings and control species deemed detrimental such as Purple Loosestrife, Canada Thistle, Reed Canary Grass, Queen Anne's Lace, Sweet Clover, Cattails, Common Teasel, Ragweeds, Buckhorn and Sandbar Willow.

MESIC COMMUNITY - SEED MIX

Grasses and Sedges	POUNDS/ACRE
Andropogon gerardi (Big Blue Stem)	3,000
Andropogon scoparius (Little Blue Stem)	3,000
Elymus Canadensis (Virginia Wild Rye)	0.188
Elymus virginicus (Virginia Wild Rye)	0.188
Panicum virgatum (Switchgrass)	0.250
Sorghastrum nutans (Indian Grass)	4,500
Avena sativa (Oats)	40,000
Wildflowers	
Aster laevis (Smooth Dull Aster)	0.125
Aster novae-angliae (New England Aster)	0.125
Baptisia leucantha (White Wild Indigo)	0.125
Coreopsis tripteris (Tall Coreopsis)	0.188
Echinacea purpurea (Purple Coneflower)	0.250
Eryngium yuccifolium (Rattlesnake Master)	0.250
Helianthus grosseserratus (Sawtooth Sunflower)	0.188
Helopsis helianthoides (Flare Sunflower)	0.188
Liathris aspera (Rough Blazing Star)	0.025
Monarda fistulosa (Wild Bergamot)	0.125
Petalostemum purpureum (Purple Prairie Clover)	0.188
Pycnanthemum virginianum (Mountain Mint)	0.016
Ratibida pinnata (Yellow Coneflower)	0.250
Rudbeckia hirta (Black-Eyed Susan)	0.188
Rudbeckia subtomentosa (Sweet Black-Eyed Susan)	0.18
Silphium laciniatum (Compass Plant)	0.125
Silphium terebinthinaceum (Prairie Dock)	0.063
Solidago rigida (Stiff Goldenrod)	0.125
Tradescantia chiocensis (Spiderwort)	0.090
Vernonia fasciculata (Common Ironweed)	0.188
Veronicastrum virginicum (Culver's Root)	0.063
Zizia aptera (Heartleaved Alexander)	0.125

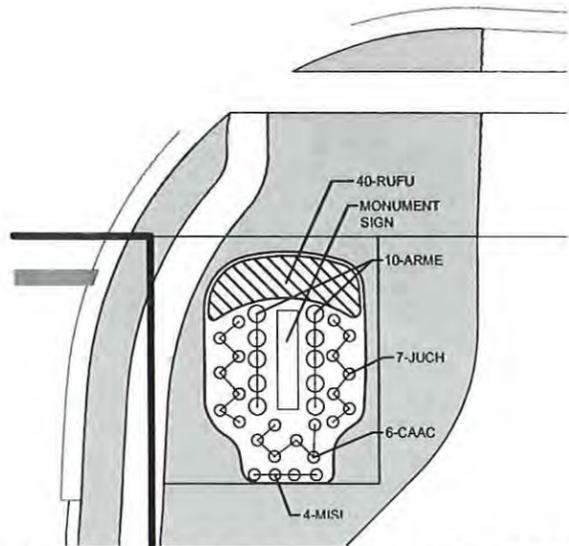
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PROPOSED MENARDS - 1860 NORTH MILWAUKEE
VILLAGE OF VERNON HILLS, IL
LANDSCAPE-DETAILS

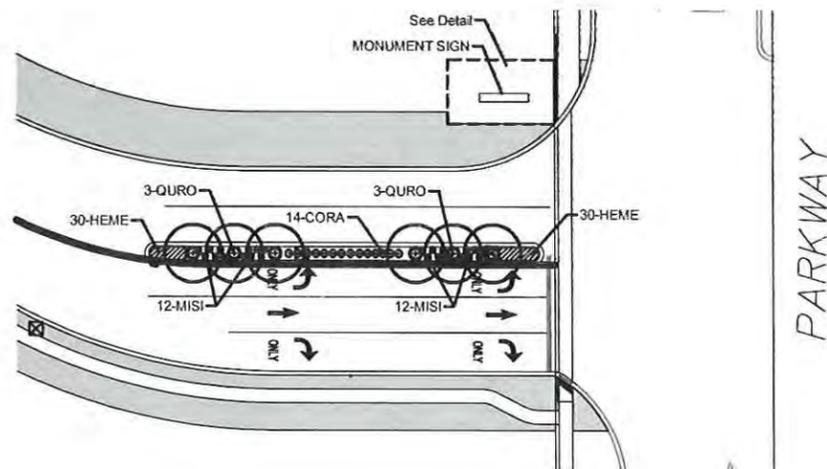
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SHEET 4 OF 6
MENARDS 130438



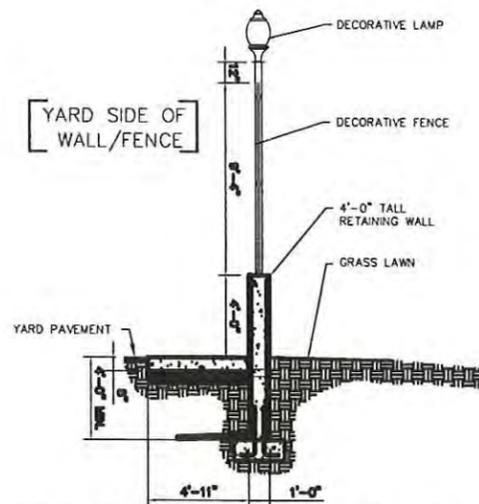
Vernon Hills, Illinois



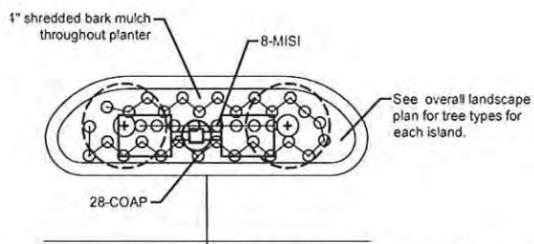
MILWAUKEE AVENUE SIGN - PLANTING DETAIL
SCALE: 1" = 10'-0"



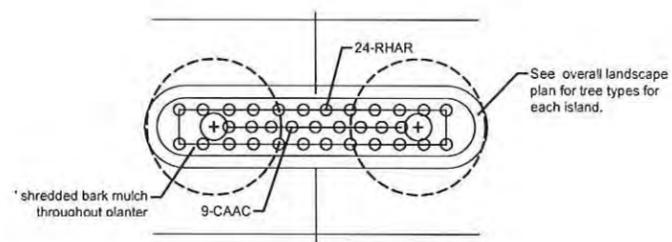
GREGG'S PARKWAY ENTRY ISLAND - PLANTING DETAIL
SCALE: 1" = 30'-0"



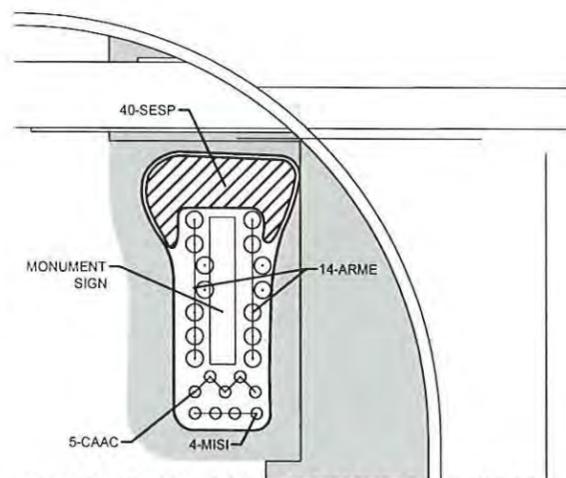
WROUGHT IRON FENCE SECTION
SCALE: 1/4" = 1'-0"



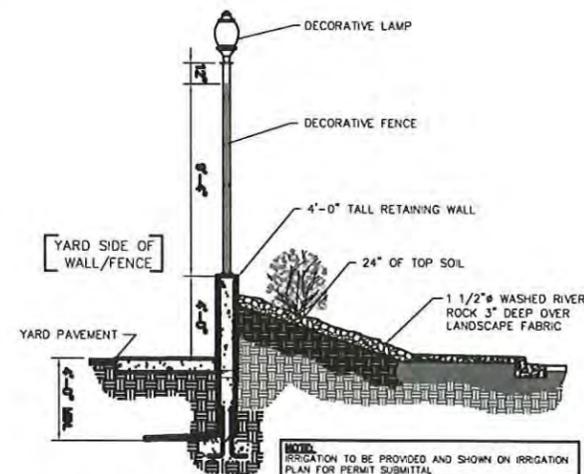
Type "A" ISLAND - PLANTING DETAIL (6 TOTAL)
SCALE: 1" = 10'-0"



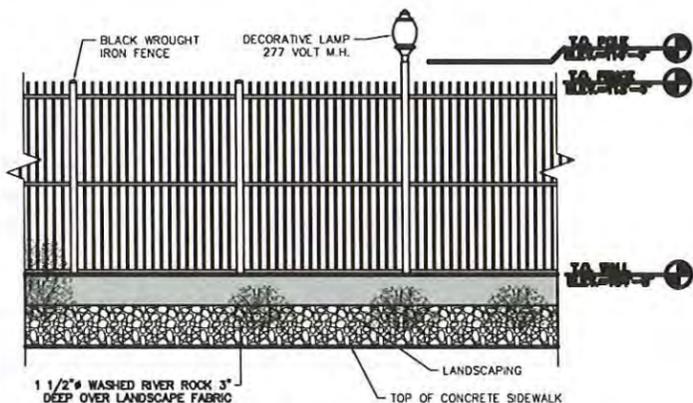
Type "B" ISLAND - PLANTING DETAIL (11 TOTAL)
SCALE: 1" = 10'-0"



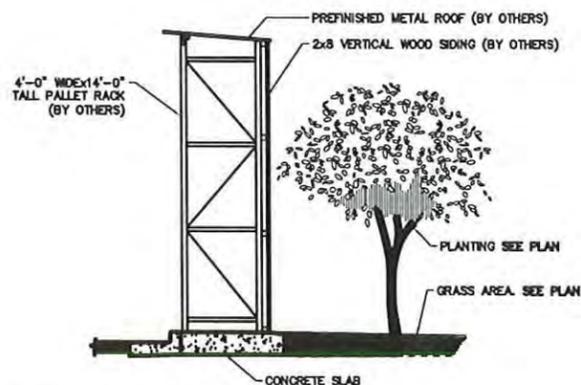
GREGG'S PARKWAY MONUMENT SIGN - PLANTING DETAIL
SCALE: 1" = 10'-0"



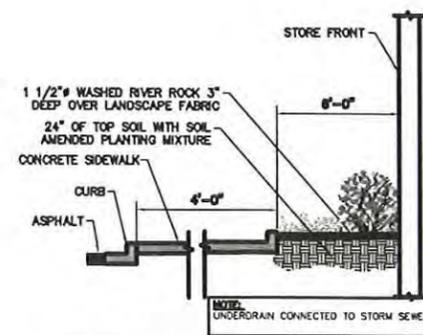
GARDEN CENTER PLANTER SECTION
SCALE: 1/4" = 1'-0"



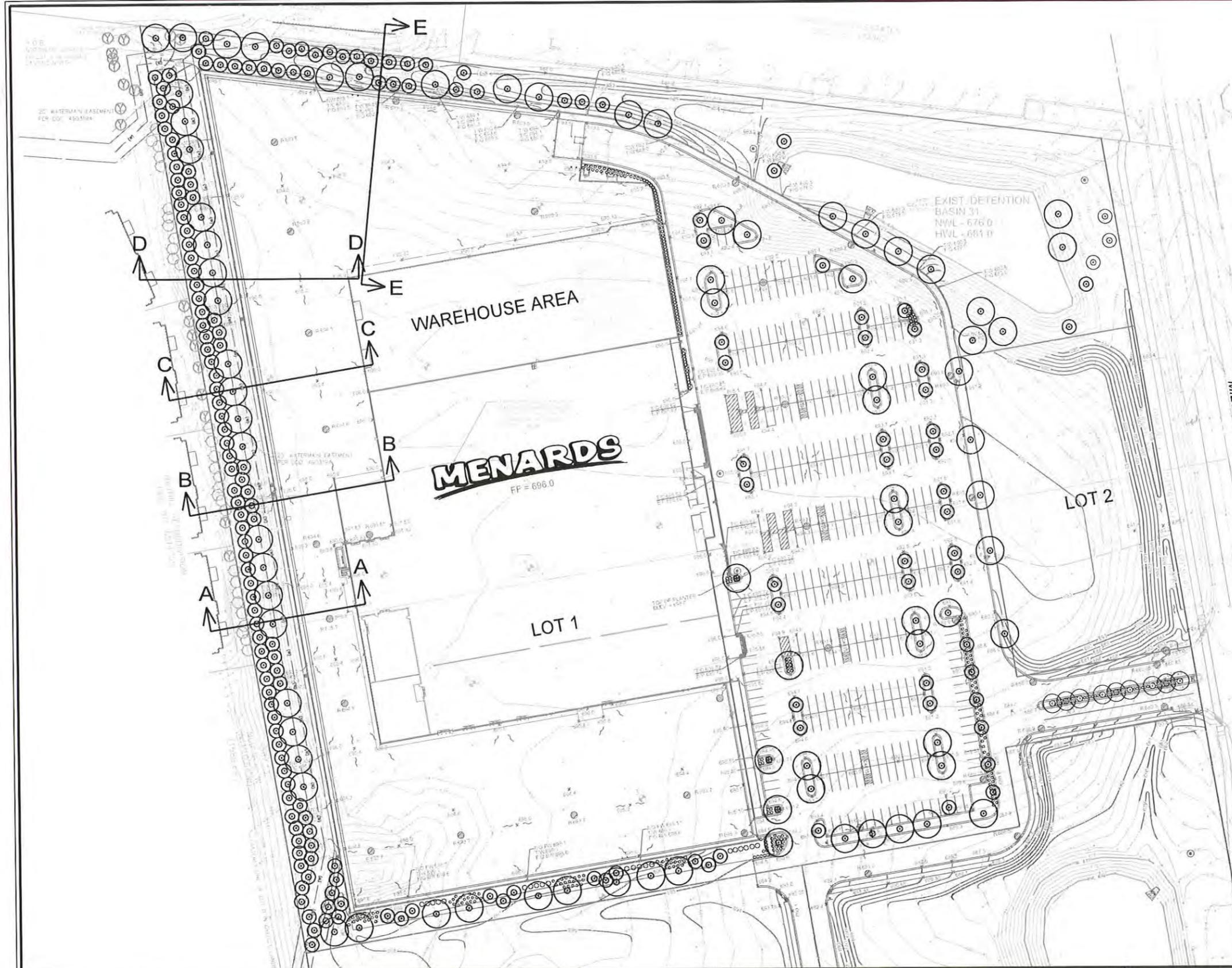
DECORATIVE FENCE ELEVATION
SCALE: 1/4" = 1'-0"



SCREENING/PALLET RACKING DETAIL
SCALE: 1/4" = 1'-0"

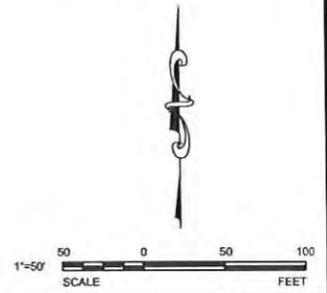


FRONT PLANTER SECTION
SCALE: 1/4" = 1'-0"



NOTES:
 1. PROPOSED LANDSCAPE SHOWN PER PLANS
 COMPLETED BY MANHARD CONSULTING LTD.
 DATED 06/27/2014.

RECEIVED
 JUN 30 2014
 COMMUNITY DEVELOPMENT
 DEPARTMENT



V3
 V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

REVISIONS			
NO	DATE	DESCRIPTION	
1	05-12-14	PER VERNON HILLS	
2	06-27-14	PER VERNON HILLS	

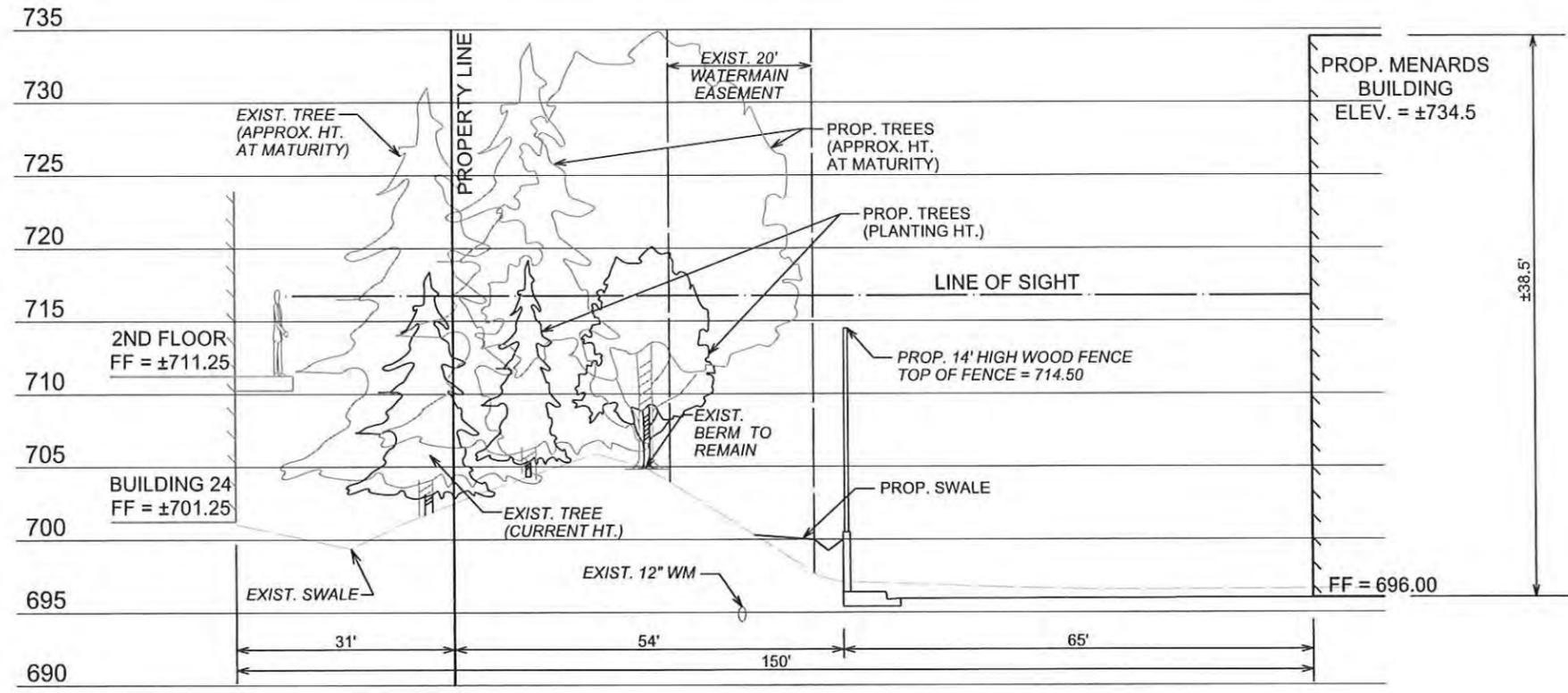
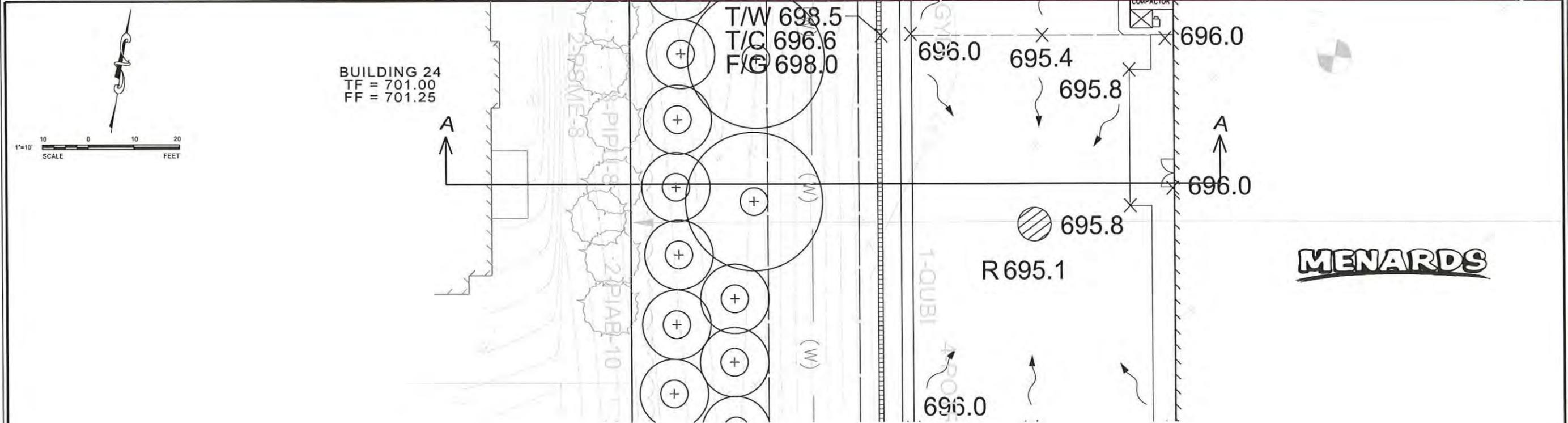
PROJECT NO: 10068.MNRD
 DESIGNED BY: RMW
 FILE NAME: CS LOCATION EXH
 DRAWN BY: NRS
 ORIGINAL ISSUE DATE: 03-14-14
 CHECKED BY: JRB
 SCALE: 1"=50'
 PROJECT MANAGER: JRB

MENARDS
 1860 N. MILWAUKEE AVE.
 VERNON HILLS
 ILLINOIS

CROSS SECTIONS LOCATION EXHIBIT

DRAWING NO
EX

10068.MNRD - CROSS SECTIONS LOCATION EXHIBIT



NOTES:
 1. PROPOSED LANDSCAPE SHOWN PER PLANS COMPLETED BY MANHARD CONSULTING LTD. DATED 06/27/2014.



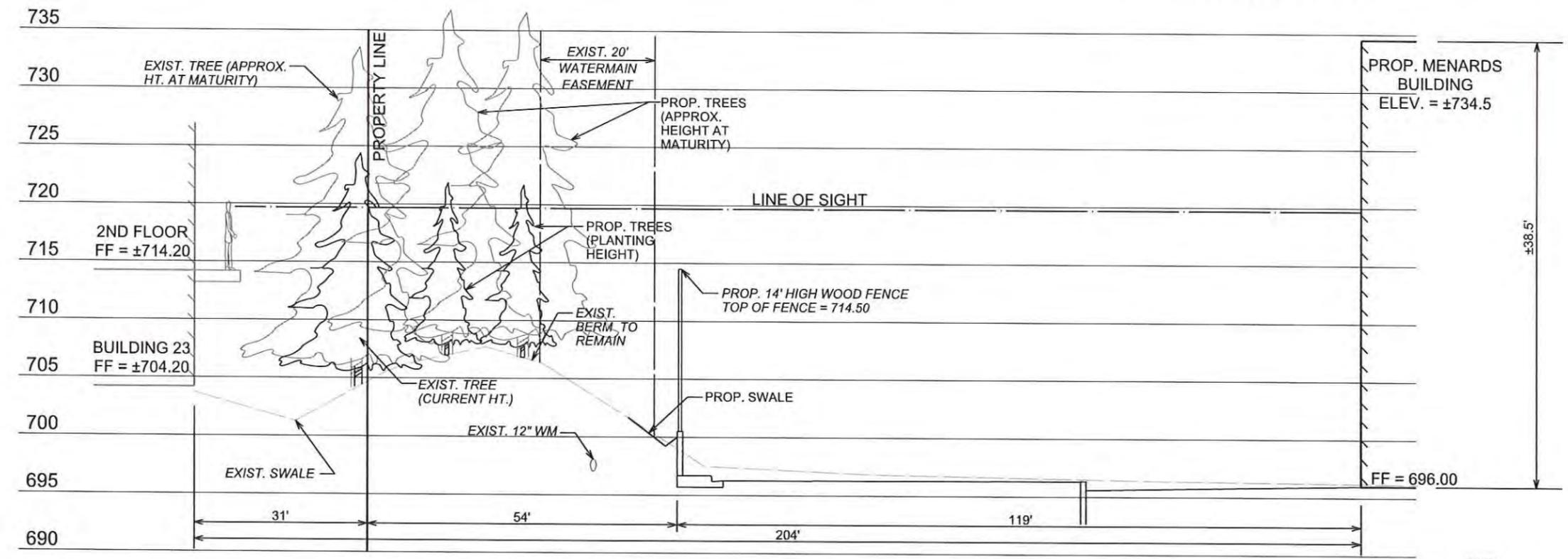
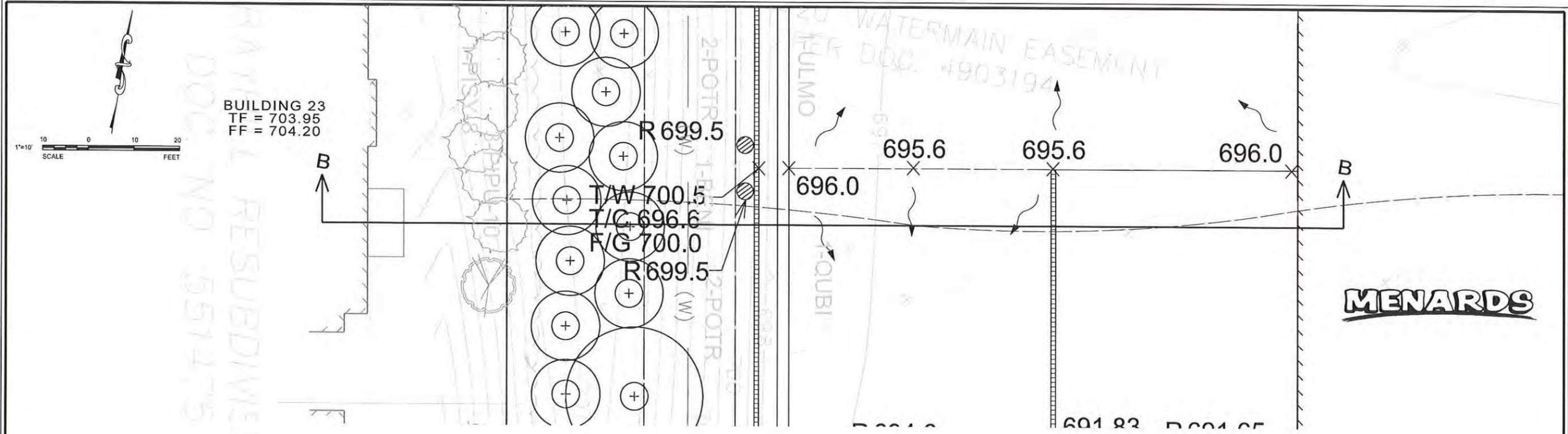
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NO	DATE	DESCRIPTION	NO	DATE	DESCRIPTION
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2	06-27-14	PER VERNON HILLS			

PROJECT NO:	DESIGNED BY:
10068.MNRD	RMW
FILE NAME:	DRAWN BY:
CROSS SEC EXH A	NRS
ORIGINAL ISSUE DATE:	CHECKED BY:
03-14-14	JRB
SCALE:	PROJECT MANAGER:
AS NOTED	JRB

MENARDS
 1860 N. MILWAUKEE AVE.
 ILLINOIS
 VERNON HILLS

CROSS SECTION A-A
 EX A

DRAWING NO
 EX A



SECTION B:B (LOOKING NORTH)

SCALE: 1" = 10' (HORZ)
 1" = 5' (VERT)

NOTES:
 1. PROPOSED LANDSCAPE SHOWN PER PLANS COMPLETED BY MANHARD CONSULTING LTD. DATED 06/27/2014.

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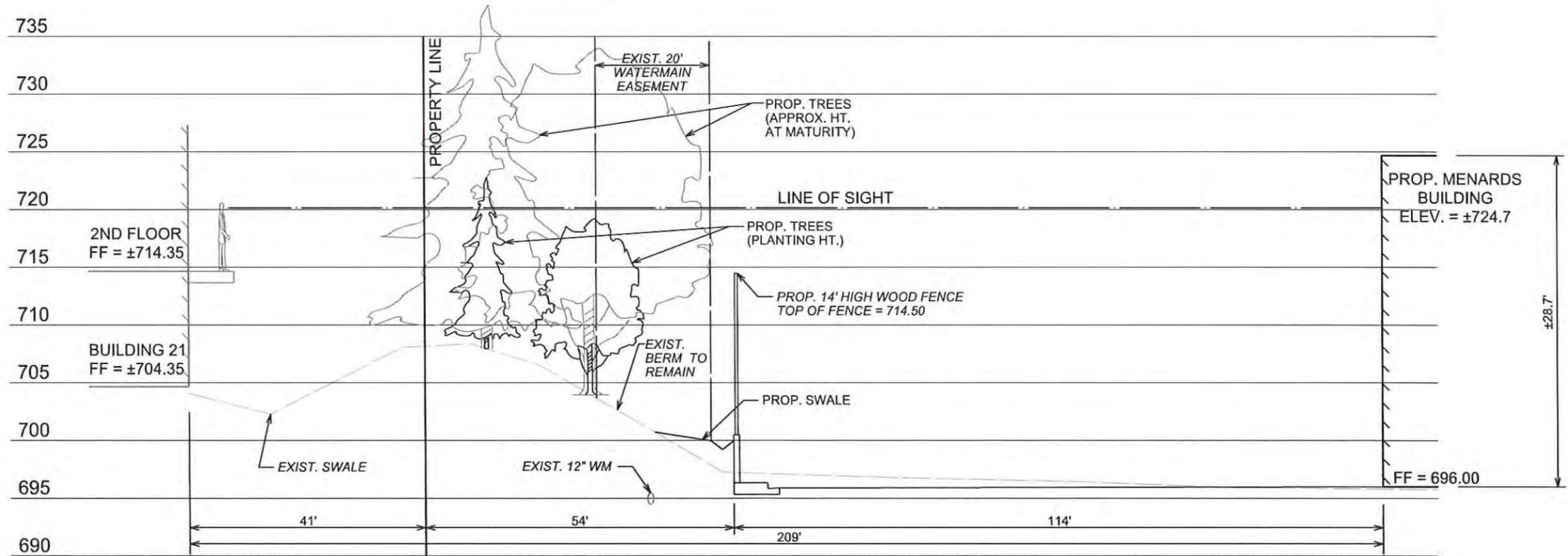
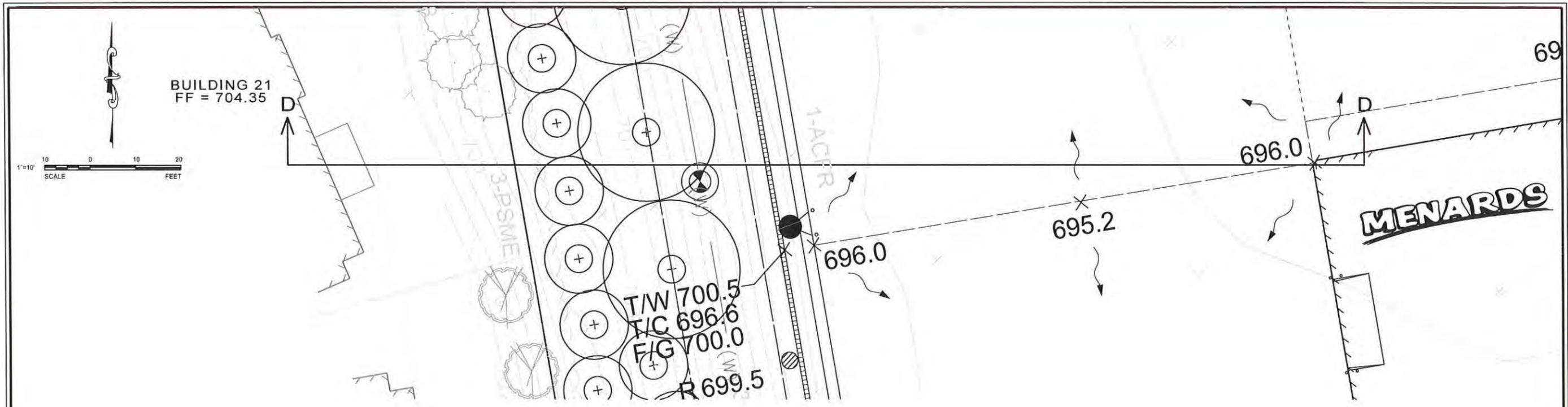
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2	06-27-14	PER VERNON HILLS	

PROJECT NO: 10068.MNRD
 FILE NAME: CROSS SEC EXH B
 ORIGINAL ISSUE DATE: 03-14-14
 SCALE: AS NOTED

DESIGNED BY: RMW
 DRAWN BY: NRS
 CHECKED BY: JRB
 PROJECT MANAGER: JRB

MENARDS
 1860 N. MILWAUKEE AVE.
 ILLINOIS
 VERNON HILLS

DRAWING NO: CROSS SECTION B-B
EX B



SECTION D:D (LOOKING NORTH)

SCALE: 1" = 10' (HORZ)
1" = 5' (VERT)

NOTES:

- 1. PROPOSED LANDSCAPE SHOWN PER PLANS COMPLETED BY MANHARD CONSULTING LTD. DATED 06/27/2014.



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REVISIONS					
NO	DATE	DESCRIPTION	NO	DATE	DESCRIPTION
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2	06-27-14	PER VERNON HILLS			

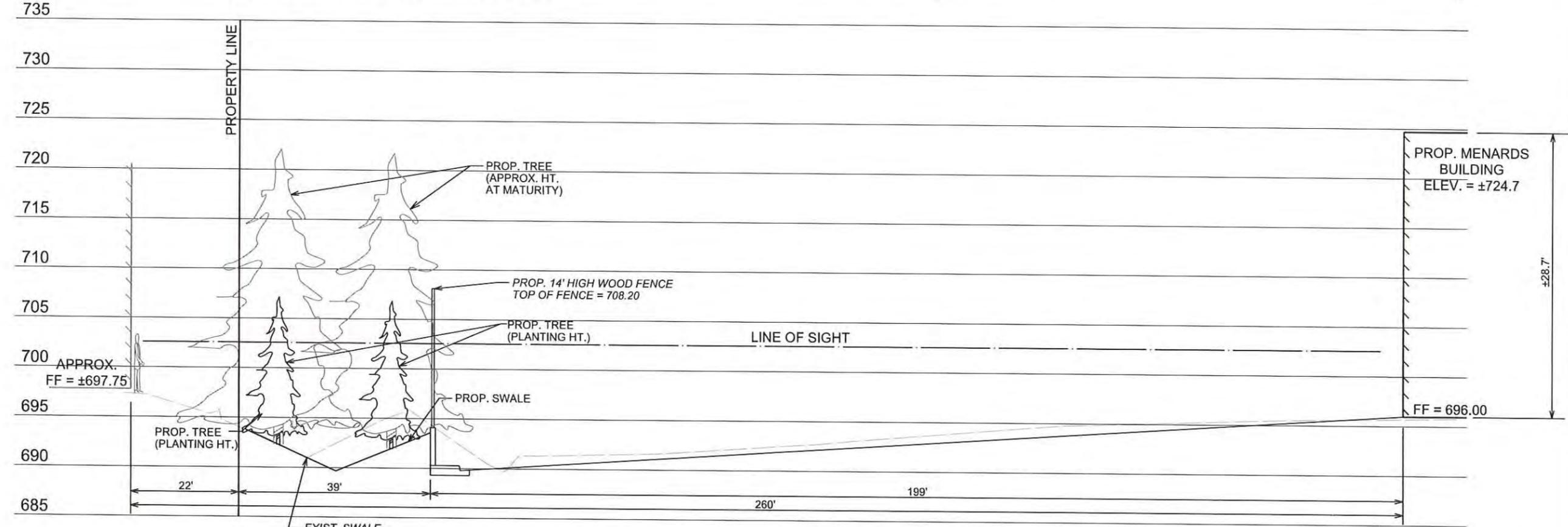
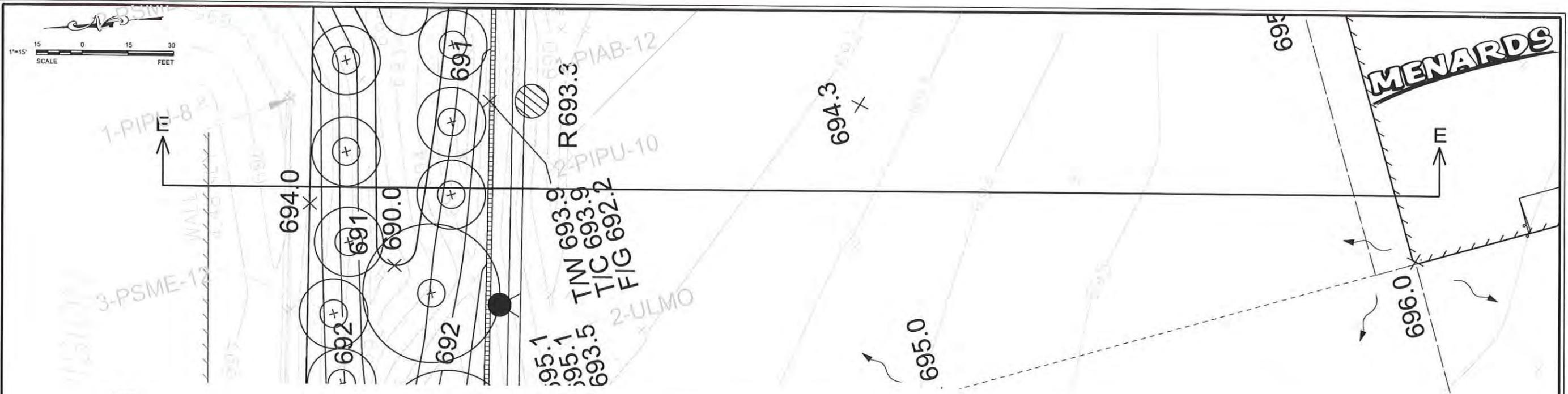
SEAL

PROJECT NO:
10068.MNRD
DESIGNED BY:
RMW
FILE NAME:
CROSS SEC EXH D
DRAWN BY:
NRS
ORIGINAL ISSUE DATE:
03-14-14
CHECKED BY:
JRB
SCALE:
AS NOTED
PROJECT MANAGER:
JRB

MENARDS
1860 N. MILWAUKEE AVE.
VERNON HILLS
ILLINOIS

CROSS SECTION D-D

DRAWING NO
EX D



SECTION E:E (LOOKING EAST)

SCALE: 1" = 10' (HORZ)
1" = 5' (VERT)

NOTES:
1. PROPOSED LANDSCAPE SHOWN PER PLANS COMPLETED BY MANHARD CONSULTING LTD. DATED 06/27/2014.

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REVISIONS			
NO	DATE	DESCRIPTION	
1	05-12-14	PER VERNON HILLS	
2	06-27-14	PER VERNON HILLS	

SEAL

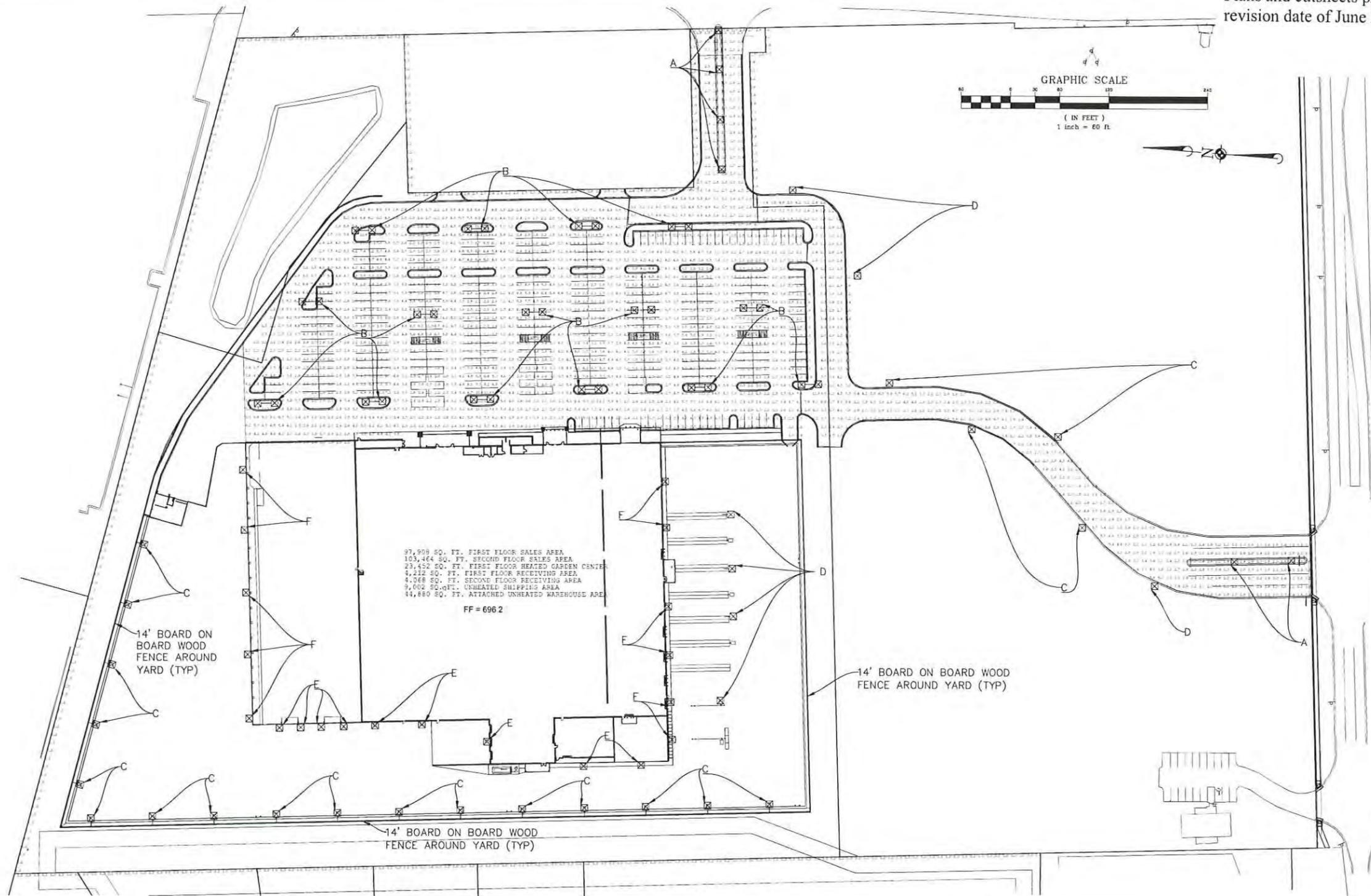
PROJECT NO:
10068.MNRD
FILE NAME:
CROSS SEC EXH E
ORIGINAL ISSUE DATE:
03-14-14
SCALE:
AS NOTED

DESIGNED BY:
RMW
DRAWN BY:
NRS
CHECKED BY:
JRB
PROJECT MANAGER:
JRB
VERNON HILLS
ILLINOIS

MENARDS
1860 N. MILWAUKEE AVE.

CROSS SECTION E-E

DRAWING NO.
EX E



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entry Drive East	Illuminance	Fc	3.21	13.1	1.7	1.89	7.71
Entry Drive South	Illuminance	Fc	2.64	11.8	0.7	3.77	16.86
Parking Area	Illuminance	Fc	4.24	14.0	1.0	4.24	14.00
Spill Light - Adj Commercial	Illuminance	Fc	1.03	3.8	0.0	N.A.	N.A.
Spill Light - Adj Residential	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

Symbol	Qty	Description	Arrangement	LLF	Mounting Height	Arr. Watts	Arr. Lum. Lumens
A	6	R52-15S5VSN HADCO	BACK-BACK	1.000	16'	300	24558
B	15	MPTR-5S-400 DUAL	BACK-BACK	1.000	25'	904	58666
C	21	MPTR-3S-400 SINGLE	SINGLE	1.000	18'	452	27872
D	7	MPTR-5S-400 SINGLE	SINGLE	1.000	25'	452	29333
E	9	MPTR-3S-400-WALL MOUNTED	SINGLE	1.000	14'	452	27872
F	11	MPTR-3S-400-WALL MOUNTED	SINGLE	1.000	21.75'	452	27872

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 Construction Management • Environmental Sciences • Landscape Architecture • Planning

PROPOSED MENARD'S
 VERNON HILLS, ILLINOIS
 PHOTOMETRIC PLAN

PROJ. NO. JTR
 PROJ. ASSOC. DEM
 DRAWN BY DEM
 DATE 8-25-14
 SCALE 1"=60'
 SHEET
1 OF **1**
 WENMP 130436

June 27, 2014 - 14:04 User: Manard, P. Manard\man\p\man\photometric Plan 062514.dwg, Updated By: JTR

COOPER LIGHTING - LUMARK®



DESCRIPTION

The Lumark Tribute is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Tribute brings outstanding performance to walkways, parking lots, roadways, loading docks, building areas, and any security lighting application. U.L. listed and CSA certified for wet locations.

Catalog #		Type	
Project		Date	
Comments			
Prepared by			

SPECIFICATION FEATURES

Construction

Rugged one-piece die-cast aluminum housing and door frame. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One (1) stainless spring latch and two (2) stainless hinges allow toolless opening and removal of door frame.

Reflector

Choice of nine (9) high efficiency optical distributions, including five (5) segmented optical systems constructed of premium 95% reflective oxidized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause streaking in the light distribution. Optical modules are

field rotatable in 90° increments and offered standard with mogul base lampholders for High Pressure Sodium and 200-400W Metal Halide assemblies or medium-base lampholders for Metal Halide 150W and below.

Electrical

Ballast and related electrical componentry are hard mounted to die-cast housing for optimal heat transfer and operating efficiency. Optional swing-down galvanized steel power tray with integral handle and quick disconnects allows tray to be completely removed from housing providing ample room for fixture installation and maintenance.

Mounting

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole or wall surface.

Standard single carton packaging of housing, square pole arm and round pole adapter allow for consolidated product arrival to site. Optional internal mast arm mount accepts a 1 1/4" to 2 3/8" O.D. horizontal tenon, while a 4-bolt clamping mechanism secures fixture. Cast-in leveling guides provide +/-5° vertical leveling adjustment.

Finish

Housing and arm finished in a 5 stage premium TGIC bronze polyester powder coat paint. Optional colors include black, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.



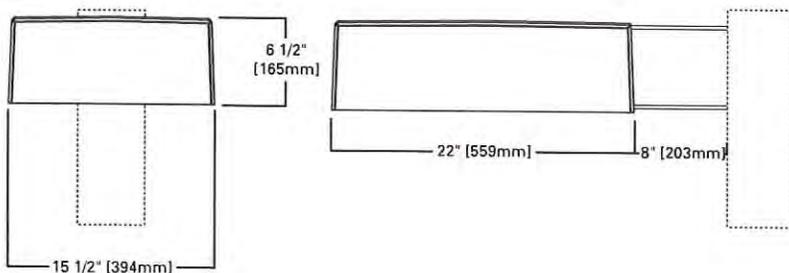
TR TRIBUTE

70 - 400W
High Pressure Sodium
Pulse Start Metal Halide
Metal Halide

AREA LUMINAIRE



DIMENSIONS



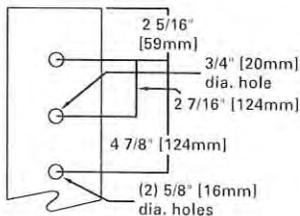
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JUN 27 2014

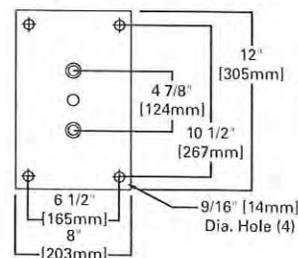
COMMUNITY DEVELOPMENT
DEPARTMENT

DRILLING PATTERNS

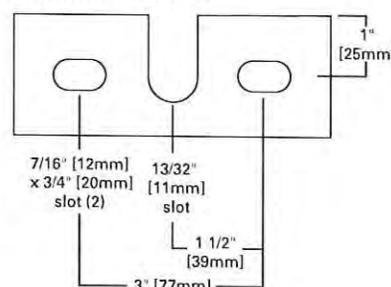
TYPE "M"



WALL MOUNT (MA1219-XX)



TRUNNION MOUNT



TECHNICAL DATA

UL Wet Locations Listed
CSA Certified
EISA Compliant ☺

ENERGY DATA

Hi-Reactance Ballast Input Watts

70W HPS HPF (95 Watts)
100W HPS HPF (130 Watts)
150W HPS HPF (190 Watts)
150W MP HPF (185 Watts)

CWI Ballast Input Watts

250W HPS HPF (300 Watts)

CWA Ballast Input Watts

175W MH HPF (210 Watts)
200W MP HPF (227 Watts) ☺
200W HPS HPF (250 Watts)
250W MH HPF (295 Watts)
250W MP HPF (283 Watts) ☺
320W MP HPF (365 Watts) ☺
350W MP HPF (397 Watts) ☺
400W MP HPF (452 Watts) ☺
400W MH HPF (455 Watts)
400W HPS HPF (465 Watts)

EPA

Effective Projected Area: (Sq. Ft.)
Without Arm: 1.19

SHIPPING DATA

Approximate Net Weight:
39 lbs. (17.73 kgs.)



ORDERING INFORMATION

Sample Number: MPTR-SL-400-MT-LL

<p>Lamp Type MP=Pulse Start Metal Halide MH=Metal Halide HP=High Pressure Sodium</p> <p>Series 1 TR=Tribute (Arm Included)</p>	<p>Distribution 2F=Type II Formed 2S=Type II Segmented 3F=Type III Formed 3S=Type III Segmented 4F=Type IV Formed 4S=Type IV Segmented 5F=Type V Formed 5S=Type V Segmented SL=Spill Light Eliminator</p>	<p>Lamp Wattage 2 MP 70=70W 100=100W 150=150W 200=200W 250=250W 320=320W 350=350W 400=400W³ MH 175=175W⁴ 250=250W⁴ 400=400W^{3, 4} HPS 70=70W 100=100W 150=150W 250=250W 400=400W³ Voltage 5 120V=120V 208V=208V 240V=240V 277V=277V 347V=347V⁶ 480V=480V DT=Dual-Tap MT=Multi-Tap, wired 277V TT=Triple-Tap, ⁶wired 347V 5T=5 Tap Wired⁵ 480V</p>	<p>Options F1=Single Fuse (120, 277 or 347V⁷ only) F2=Double Fuse (208, 240 or 480V⁷ only) Q= Quartz Restrike (Hot Strike Only)⁸ EM= Quartz Restrike with "Delay Relay" (Quartz lamp strikes at both hot and cold starts) EM/SC= Emergency Separate⁸ Circuit LL= Lamp Included S= 1 1/4" - 2 3/8" Internal Mast Arm Mount TM= Trunnion Mount CEC= California Title 20 Compliant Ballast (Applies to 200-320W and 400W MP only) PT= Electrical Power Tray PER= NEMA Twistlock Photocontrol Receptacle PC= Button Type Photocontrol⁹ HS= House Side Cutoff¹⁰ LA= Less Arm (Order Mounting Separately)</p> <p>Standard Color _=Bronze (Standard) WH=White BK=Black AP=Grey DP=Dark Platinum GM=Graphite Metallic</p>	<p>Accessories 11 MA1201-XX=Direct Wall Mount Kit¹ MA1218-XX=Direct Mount for Pole¹ MA1219-XX=Wall Mounting Plate OA1090-XX=Adjustable Slipfitter Arm for Tenon Mount 2 3/8" O.D.¹ MA1221-XX= External House Side Shield Kit (EPA= 0.38) MA1222= Internal House Side Shield Kit for 2S/3S MA1223= Internal House Side Shield Kit 4S MA1224= Internal House Side Shield Kit for 2F/3F MA1225= Internal House Side Shield Kit for 4F MA1010-XX= Single Tenon Adapter for 3 1/2" O.D. Tenon MA1011-XX= 2 @ 180 degrees Tenon Adapter for 3 1/2" O.D. Tenon MA1012-XX= 3 @ 120 degrees Tenon Adaptor for 3 1/2" O.D. Tenon MA1013-XX= 4 @ 90 degrees Tenon Adapter for 3 1/2" O.D. Tenon MA1014-XX= 2 @ 90 degrees Tenon Adapter for 3 1/2" O.D. Tenon MA1015-XX= 2 @ 120 degrees Tenon Adapter for 3 1/2" O.D. Tenon MA1016-XX= 3 @ 90 degrees Tenon Adapter for 3 1/2" O.D. Tenon MA1017-XX= Single Tenon Adapter for 2 3/8" O.D. Tenon MA1018-XX= 2 @ 180 degrees Tenon Adapter for 2 3/8" O.D. Tenon MA1019-XX= 3 @ 120 degrees Tenon Adapter for 2 3/8" O.D. Tenon MA1045-XX= 4 @ 90 degrees Tenon Adapter for 2 3/8" O.D. Tenon MA1048-XX= 2 @ 90 degrees Tenon Adapter for 2 3/8" O.D. Tenon MA1049-XX= 3 @ 90 degrees Tenon Adapter for 2 3/8" O.D. Tenon TRVS=Field Installed Vandal Shield¹² OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap OA/RA1027=NEMA Photocontrol 480V OA/RA1201=NEMA Photocontrol 347V</p>
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Notes: 1 8 Inch Arm and pole adapter included with fixture. Specify Less Arm 'LA' option when mounting accessory is ordered separately. 2 150W and below in Pulse Start Metal Halide are medium base sockets. All other wattages are mogul base. 3 Requires reduced envelope lamp. 4 175W, 250W, and 400W MH available in non-U.S. markets only. 5 Products also available in non-US voltages and 50HZ for international markets. Consult your Cooper Representative for availability and ordering information. 5T only available in 400W MH. 6 88% efficient EISA Compliant MP fixtures not available in 347V or TT Voltages. 7 Must specify voltage. 8 Quartz options not available with SL optics. 9 Specify 120V, 208V, 240V, or 277V only. 10 House side shield not available on 5S, 5F, or SL optics. 11 Order separately/replace XX with color specification. 12 Not available with SLE or House Side Shield.

STOCK SAMPLE NUMBER (Lamp Included)

SAMPLE NUMBER: MPTR2340

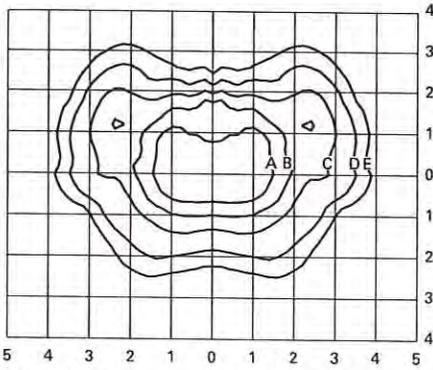
MP	TR	23	
<p>Lamp Type MP=Pulse Start Metal Halide HP=High Pressure Sodium ²</p>	<p>Series 1 TR=Tribute</p>	<p>Distribution 23=Type II/III Formed</p>	<p>Lamp Wattage 15=150W 25=250W 32=320W 40=400W</p>

NOTES:

¹ Short logic fixtures are finished bronze include multi-tap ballast, lamp, arm and round pole adapter. Other options not available. Refer to standard ordering logic. ² Available in 150, 250 and 400 Watt. Refer to In Stock Guide for availability.

VOLTAGE CHART	
DT=Dual-Tap	120/277 (wired 277V)
MT=Multi-Tap	120/208/240/277 (wired 277V)
TT=Triple-Tap	120/277/347 (wired 347V)
5T=5-Tap	120/208/240/277/480 (wired 480V)

LAMP TYPE	WATTAGE
Pulse Start Metal Halide	70, 100, 150, 250, 320, 350, 400W
Metal Halide	175, 250, 400W
High Pressure Sodium	70, 100, 150, 250, 400W

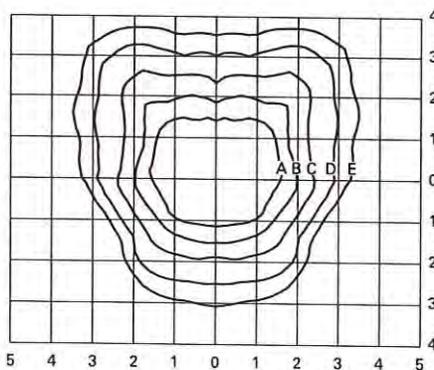


MPTR-3S-320
320—Watt MP
30,000—Lumen Clear Lamp
Type III Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

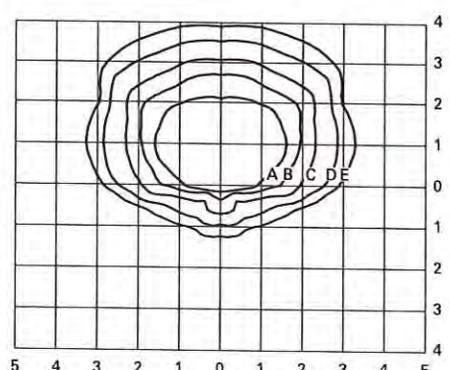


MPTR-4S-400
400—Watt MP
40,000—Lumen Clear Lamp
Type IV Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06



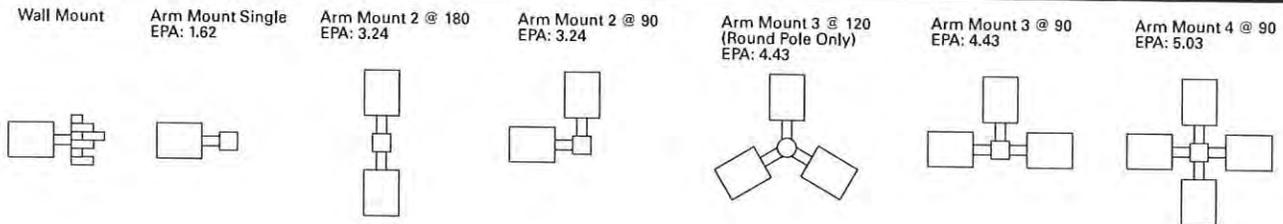
MPTR-SL-400
400—Watt MP
40,000—Lumen Clear Lamp
Spill Light Eliminator

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

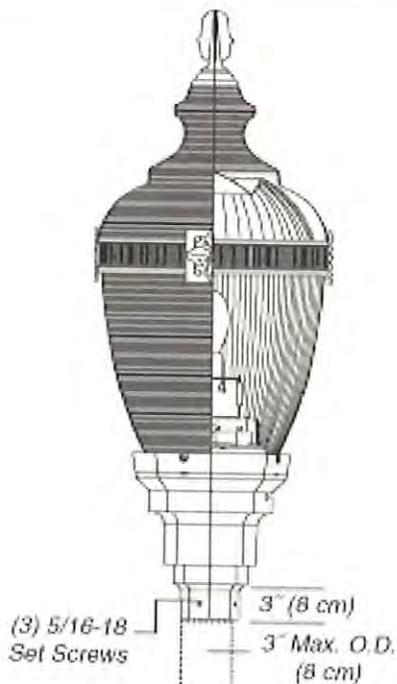
Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

MOUNTING CONFIGURATIONS



Refractive (R52) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



Ordering Guide

Example: R52 A A A A 1 A D N R 70S E

Product Code	R52	Refractive	
Fitter/Pod	A	Octagonal Style	
	B	Round fitter w/ scalloped petals	
	C	Fluted tapered hourglass	
	D	Smooth tapered hourglass	
	E	Tapered fluted w/ scalloped petals	
	F	Short round fluted	
	G	Tall round fluted	
	H	Round contemporary	
	J	Tapered Fluted w/ round stepped fitter	
	L	Round fluted long	
T	Decorative Leaf w/ scalloped petals		
Roof	A	Victorian	
	B	Acorn	
	C	Tall	
	D	Short	
Cage / Band	A	Cage for Narrow Body Globe	
	B	Cage for Narrow Body Globe	
	E	Band for Narrow Body Globe	
	F	Band for Narrow Body Globe	
	G	Cage for Narrow Body Globe	*1
	H	Cage for Narrow Body Globe	
	N	None	
Finial	A	A Finial	
	B	B Finial	*2
	C	C Finial	*2
	D	D Finial	*2
	E	E Finial	*2
	F	F Finial	
	G	G Finial	
	H	H Finial	
	N	None	
Fasteners	1	Hex Head	
	2	Allen Head	
Finish	A	Black	
	B	White	
	G	Verde	
	H	Bronze	
	J	Green	
Reflector	D	Small Top Reflector	
	F	Small top reflector w/House-side shield	
	G	Full Top Reflector w/House-side shield	
	H	House Side Shield	
	T	Full Top Reflector	
	L	Internal Louver Assembly	*3
	N	None	
Photo Control	N	None	
	B	Button Eye Photo Control	
	R	Twist-lock Receptacle	*4
Socket	R	Induction	*6
	D	Medium	*5
	G	Mogul	*5
Wattage	70S	70W HPS	
	100S	100W HPS	
	150S	150W HPS	
	200S	200W HPS	
	250S	250W HPS	
	70H	70W MH	*7
	100H	100W MH	
	150H	150W PMH	
	250H	250W PMH	*7
	55R	55W Induction	*6

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COMMUNITY DEVELOPMENT
DEPARTMENT

ISO 9001:2008 Registered

Page 1 of 4

PHILIPS
HADCO

Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.
100 Craftway Drive, Littlestown, PA 17340 | P: +1-717-359-7131 F: +1-717-359-9289 | <http://www.hadco.com> | Copyright 2013 Philips
HW2

Refractive (R52) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

	85R	85W Induction	*6
	165R	165W Induction	*6
Voltage	E	120V	
	F	208V	
	G	240V	
	H	277V	
	K	347V	*8

- *1 Not available with (A) pod.
- *2 Cannot be used with (B) roof.
- *3 Cannot be used with Induction Lamping.
- *4 Twistlock photocell receptacle (R) in (A), (B), (G), (H), (J), and (T) pods available up to 150W HPS and 200W MH. Pod (L) available in all wattages. Not available in other pods.
- *5 Medium base (D) socket available for 70W-175W MH, 50W-150W HPS. Mogul base (G) socket available for 150W-250W MH, 50W-250W HPS.
- *6 Consult factory if ordering Induction socket (R) and wattages.
- *7 Available in (A), (B), (E), (G), (H), (L), and (T) pods.
- *8 347V (K) not available for (200S).

Specifications

HOUSING:

OPTIONAL PODS:

A: Octagonal style fitter is constructed of die-cast 360 aluminum alloy with bottom-hinged door providing 135° entry into the fitter assembly for easy access to the electrical components. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle (available for 200W MH max or 150W HPS max) or optional button eye photocell. Easy access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 10-3/4" and width is 10-1/4". Finish is polyester thermoset powdercoat.

B: Round fitter with scalloped petals is constructed of die-cast 360 aluminum alloy with side-hinged door providing 180° entry into the fitter assembly for easy access to the electrical components. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle (available for 200W MH max or 150W HPS max) or optional button eye photocell. Easy access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 12-1/4" and width is 11-1/2". Finish is polyester thermoset powdercoat.

C: Fluted tapered hourglass fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 150W HPS or 200W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 8" and width is 8-3/4". Finish is polyester thermoset powdercoat.

D: Smooth tapered hourglass fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 150W HPS or 200W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 8" and width is 9-1/4". Finish is polyester thermoset powdercoat.

E: Tapered fluted fitter with scalloped flower petals is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 10" and width is 11-1/2". Finish is polyester thermoset powdercoat.

F: Short Round fluted fitter is constructed of die-cast 360 aluminum alloy. Accepts standard HADCO Twistlock ballast assemblies up to 150W HPS or 200W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 7-1/2" and width is 9-1/4". Finish is polyester thermoset powdercoat.

G: Tall Round fluted fitter is constructed of die-cast 360 aluminum alloy with removable door providing entry into the fitter assembly for easy access to the electrical components. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Easy access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 9" and width is 9". Finish is polyester thermoset powdercoat.

Refractive (R52) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

H: Round contemporary fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle (available for 200W MH max or 150W HPS max) or optional internal button eye photocell. Easy access to photocell through tool-less door on pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 10" and width is 10". Finish is polyester thermoset powdercoat.

J: Tapered fluted fitter with round stepped fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle. Tool-less access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes six 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 14" and width is 10". Finish is polyester thermoset powdercoat.

L: Round fluted long fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum with a side-hinged door providing entry into the fitter assembly for easy access to the electrical components. Accepts standard Hadco Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle or button eye photocell. Tool-less access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes three 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering the ballast compartment. Globe is attached using four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). Pod height is 12-1/2" and width is 10-3/4". Finish is polyester thermoset powdercoat.

T: Decorative Leaf fitter with scalloped petals is constructed of 356 HM High-Strength, Low-Copper cast aluminum with side-hinged door providing 180° entry into the fitter assembly for easy access to the electrical components. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle (available for 200W MH max or 150W HPS max) or optional button eye photocell. Easy access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 15-1/4" and width is 11-1/2". Finish is polyester thermoset powdercoat.

ROOF:

A: Victorian style roof is clear injection molded U.V. stabilized acrylic with 79 horizontal prisms for a soft, even glow. 10-1/4" height and 14-15/16" width. The roof and bottom globe sections are secured in a slip-fit, 1/2" overlap design and use four #10-24 stainless steel pan head screws with four aluminum nutserts providing a mechanical lock and enabling easy future replacement of either the roof or bottom globe section if required.

B: Acorn style roof is clear injection molded U.V. stabilized acrylic with 59 horizontal prisms for a soft, even glow. 7-3/4" height and 15" width. The roof and bottom globe sections are secured in a slip-fit, 1/2" overlap design and use four #10-24 stainless steel pan head screws with four aluminum nutserts providing a mechanical lock and enabling easy future replacement of either the roof or bottom globe section if required.

C: Roof is 0.090" thick spun aluminum. 10" height and 15-3/16" width. The roof and bottom globe sections are secured in a slip-fit, 1/2" overlap design and use four #10-24 stainless steel pan head screws with four aluminum nutserts providing a mechanical lock and enabling easy future replacement of either the roof or bottom globe section if required. Finish is polyester thermoset powdercoat.

D: Roof is 0.090" thick spun aluminum. 6-1/2" height and 15-3/16" width. The roof and bottom globe sections are secured in a slip-fit, 1/2" overlap design and use four #10-24 stainless steel pan head screws with four aluminum nutserts providing a mechanical lock and enabling easy future replacement of either the roof or bottom globe section if required. Finish is polyester thermoset powdercoat.

CAGES AND BANDS:

A: Cage for narrow body globes (15" dia.) is constructed of die-cast 360 aluminum alloy. Cage has 4 legs each with round cast aluminum flower block. Open rectangular band around top of cage. Height of cage is 16" and width of cage is 17-1/2". Finish is polyester thermoset powdercoat.

B: Cage for narrow body globes (15" dia.) is constructed of die-cast 360 aluminum alloy. Cage has 4 legs each with square decorative flower block. Solid rectangular band around top of cage. Height of cage is 17" and width of cage is 17". Finish is polyester thermoset powdercoat.

E: Band for narrow body globes (15" dia.) is architectural slotted aluminum. Supported at 4 points by cast aluminum square flower blocks. Finish is polyester thermoset powdercoat.

F: Band for narrow body globes (15" dia.) is architectural slotted aluminum supported at 4 points by cast aluminum round flower blocks. Finish is polyester thermoset powdercoat.

G: Cage for narrow body globes (15" dia.) is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Arched, decorative legs are welded to form a one-piece unit. Height of cage is 17" and width of cage is 17-3/4". Finish is polyester thermoset powdercoat. (NOTE: Cannot be used with (A) Pod.)

H: Cage for narrow style globes (15" dia.) is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Cage has 4 curved legs. Solid rectangular band around the top of cage. Height of cage is 15" and width of cage is 16-1/2". Finish is polyester thermoset powdercoat.

FINIALS:

All finials are cast aluminum mounted with 1/4-20 stainless steel threaded studs. Standard finial finish will match fixture finish as specified. Finish is thermoset powdercoat. (NOTE: C, D, and E finials are not available with "B" Roof.)

FASTENERS:

Used to secure post fitter to post tenon and globe to globe holder.

1: Hex Head Bolts: Black cadmium stainless steel.

2: Allen Head Bolts: Black cadmium stainless steel.

Refractive (R52) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

FINISH:

Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

OPTICAL ASSEMBLY:

GLOBE AND OPTICAL ASSEMBLY:

Type V Narrow body globe is constructed of clear injection-molded U.V. stabilized acrylic. A two-piece (Globe and Roof) slip-fit, 1/2" overlap, design utilizes nutserts and stainless steel fasteners, which eliminates a "butt-glue" seam appearance. The optical section of the globe has a neck opening of 7-3/8" and an outside neck diameter of 8". Globe (less the roof) has a 15-1/2" height and 15" width at the top with 114 horizontal prisms and 360 highly polished vertical prisms.

REFLECTORS AVAILABLE:

D: Small Top Reflector: Top reflector is 0.04" thick #3003 aluminum alloy. Diameter is 6-1/2" and Height is 3". Precision formed, highly polished specular aluminum finish. Mounted horizontally to control uplight. Tool-less attachment of reflector bracket to socket with stainless steel spring clip.

F: Small Top Reflector with House Side Shield: Top reflector is 0.04" thick #3003 aluminum alloy. Diameter is 6-1/2" and Height is 3". Side reflector is 0.02" thick. Precision formed, highly polished specular aluminum finish. Top is mounted horizontally to control uplight while house-side shield is mounted vertically to control backlight. Tool-less attachment of reflector bracket to socket with stainless steel spring clip. Rotatable 360 degrees.

G: Top Reflector with House Side Shield: Top reflector is 0.04" thick hydroformed aluminum with a clear anodized highly specular finish. Diameter is 14-1/4" and Height is 6-1/4". Reflector rests on top internal prism wall of the bottom globe section to control uplight. House-side reflector is 0.02" thick aluminum alloy. Precision formed highly polished specular aluminum finish. Mounted vertically to control backlight. Tool-less attachment of reflector bracket to socket with stainless steel spring clip. Rotatable 360 degrees.

H: House-Side Shield: House-side reflector is 0.02" thick aluminum alloy. Precision formed highly polished specular aluminum finish. Mounted vertically to control backlight. Tool-less attachment of reflector bracket to socket with stainless steel spring clip. Rotatable 360 degrees.

L: Internal Louver Assembly: Optically designed, 0.05" thick highly polished, specular Alzak® aluminum, internal louvers. Tool-less attachment of reflector bracket to socket with stainless steel spring clip. Rotatable 360 degrees. (NOTE: cannot be used with Induction Lamping.)

T: Top Reflector: Top reflector is 0.04" thick hydroformed aluminum with a clear anodized highly specular finish. Diameter is 14-1/4" and Height is 6-1/4". Reflector rests on top internal prism wall of the bottom globe section to control uplight.

ELECTRICAL ASSEMBLY:

Twistlock Ballast Assembly with Quick Disconnects for easy maintenance. Ballasts are HPF core and coil. 4kv rated mogul base porcelain socket. Nickel-plated screw shell with center contact. 4kv rated porcelain mini-can base. Nickel-plated screw shell with center contact. Consult factory if ordering Induction Lamping and Power Coupler.

BALLAST:

All HID ballasts are core and coil and regulated with power factors better than 90% (HPF). Ballast provides +/- 5% lamp power regulation with +/- 10% input voltage regulation. Ballasts are factory pre-wired and tested. Metal halide ballasts are capable of starting at -20° F or -30° C and HPS at -40° F or -40° C. NOTE: All ballasts are EISA / Title 20 / Title 24 compliant where applicable.

CERTIFICATIONS:

ETL Listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

WARRANTY:

Three-year limited warranty.

Max. EPA:

2.08 sq. Ft. (Varies depending on options selected)

Max. Weight:

50 lbs

IESNA Classifications:

Semi Cutoff: with C and D roof and/or G or T refl

RECEIVED

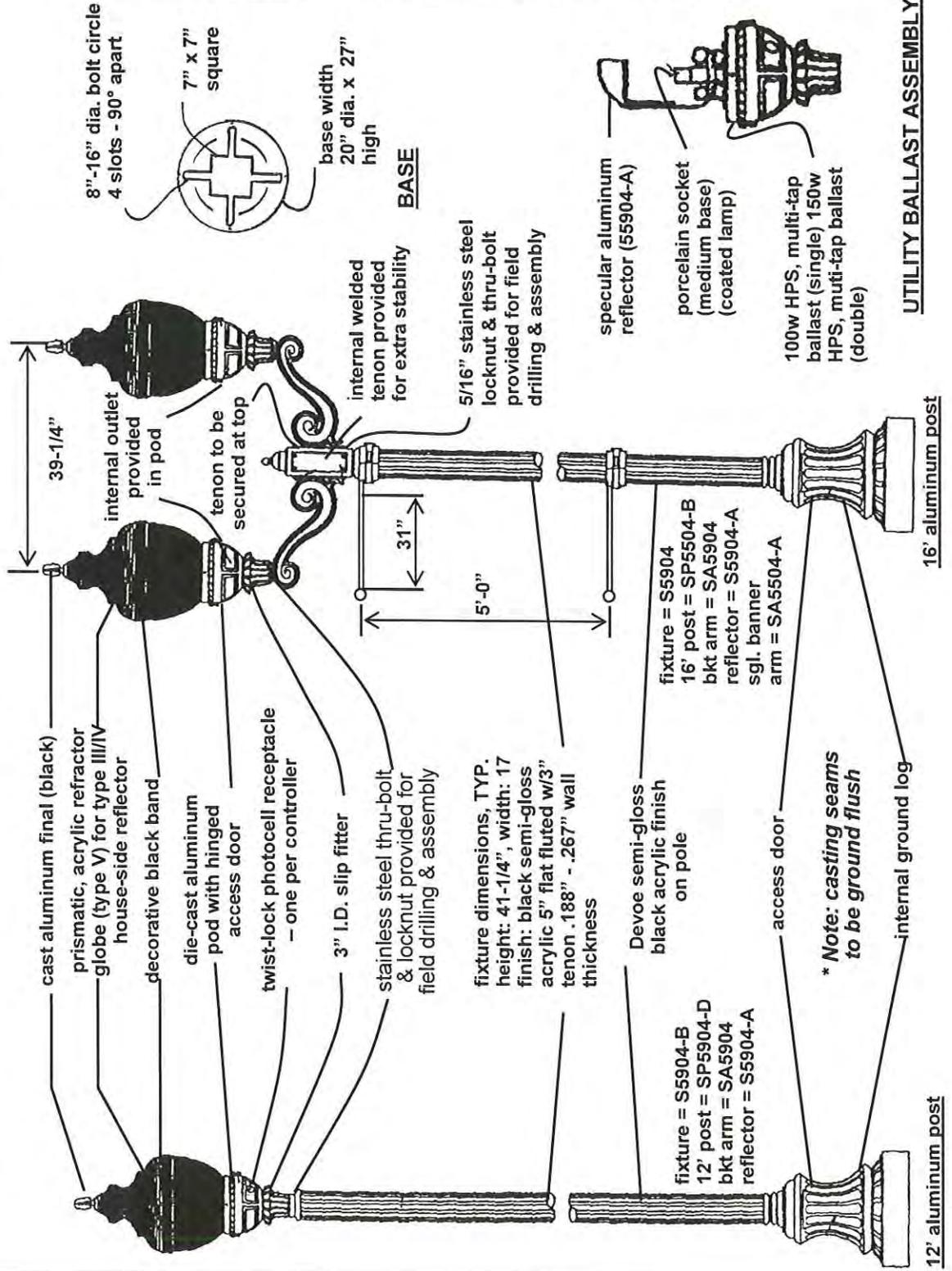
JUN 27 2014

COMMUNITY DEVELOPMENT
DEPARTMENT

VILLAGE OF VERNON HILLS
EXHIBIT NO. 32

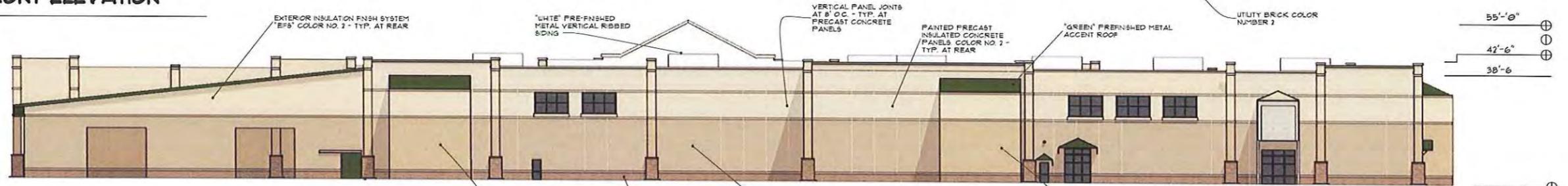
VILLAGE ORNAMENTAL STREET LIGHT – 12' TO 16'

* NOTE: This drawing is for reference only. Catalog numbers shown reference 'HADCO Lighting', Village approval is required.

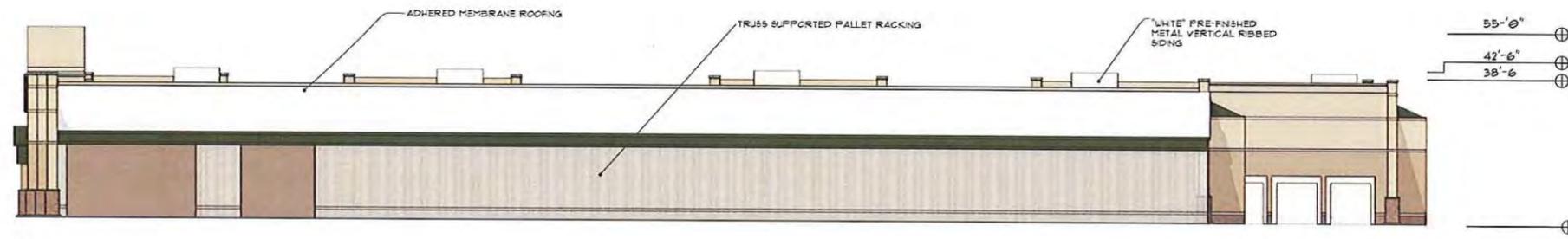




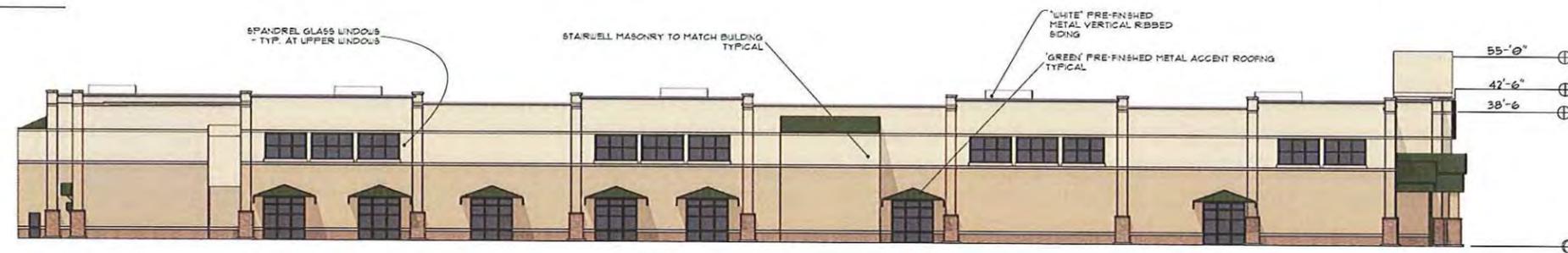
FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



















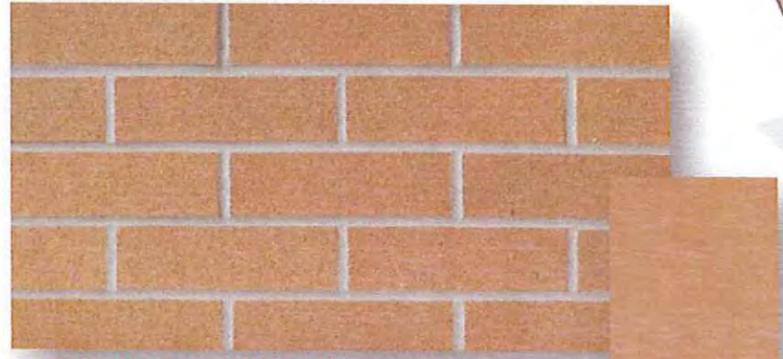




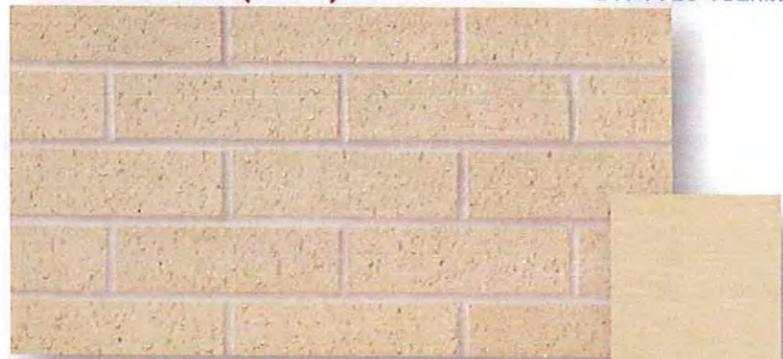




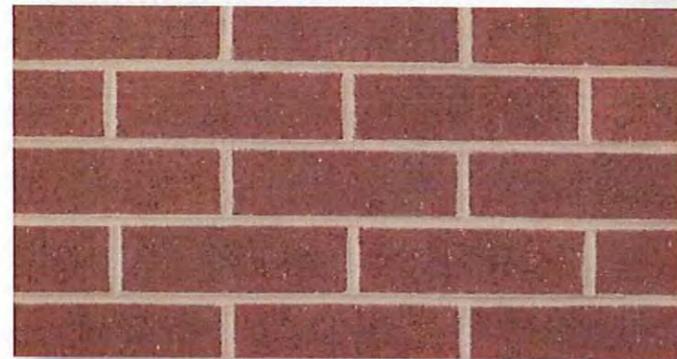
Glen-Gery Brick



Sable Brown (W88) COLOR #1 SW 7725 Yearling



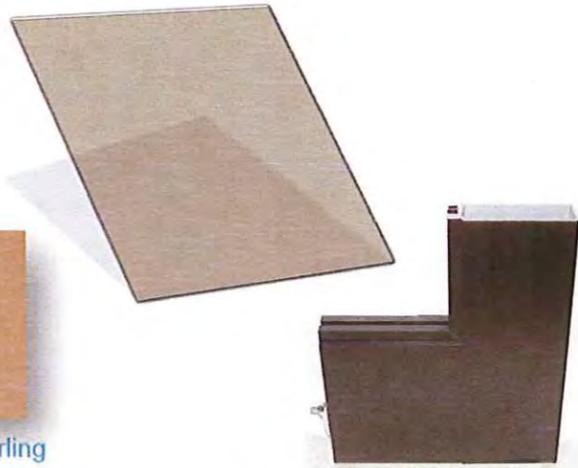
Silver Birch (R35) COLOR #2 SW 6142 Macadamia



Wilmette Ironspot COLOR #3



ALMOND

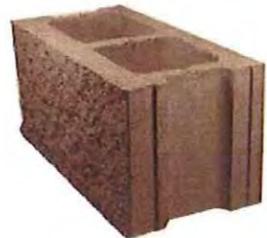


DARK BRONZE GLASS AND ANODIZED ALUMINUM FRAMES



7" x 3-1/2" x 8-3/4" Belgian Wall Block
Model Number: 1793723 | Menards® SKU: 1793723
Variation: Tan

WALL CAPS



8" x 8" x 16" Split Face Block
Model Number: 1796110 | Menards® SKU: 1796110
Variation: Tan

SPLIT FACE BOTTOM BAND TO MATCH COLOR #3



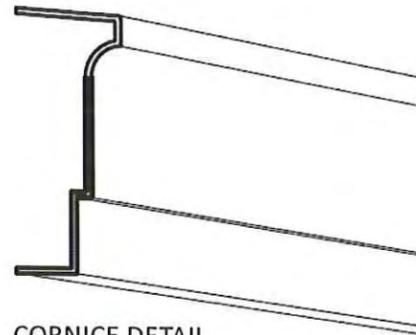
CONTINENTAL
CAST
stone

1104 BUFF



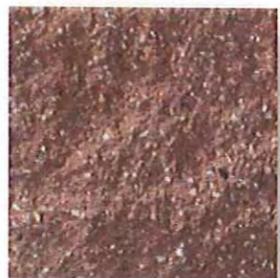
ROOFING AND MECHANICAL SCREENS

16' L Pro-Rib Panel
Model Number: Emerald_Green_1657691-42 | Menards® SKU: 1657691
Variation: Emerald Green

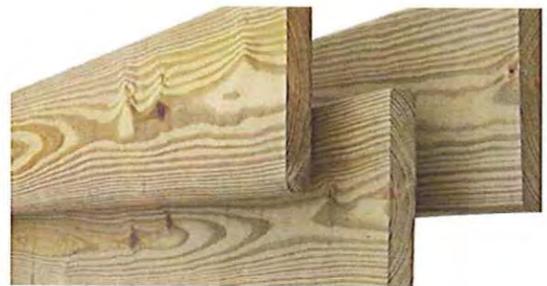


C-310
DEPTH: 3 1/2"
HEIGHT: 8 3/4"
ARCHITECTURAL FIBERGLASS, INC.

CORNICE DETAIL



SPLIT FACE BOTTOM BAND TO MATCH COLOR #3
WALNUT COLOR



PALLET RACKING FENCE



EXTERIOR FINISHES

- NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 3. ALL CURB AND GUTTER SHALL BE 8.11 UNLESS OTHERWISE NOTED.
 4. SEE SHEET C3.0 FOR PAVEMENT STRIPING AND SIGNAGE.
 5. ALL TRUNCATED CONE DETECTABLE PAVINGS SHALL BE QUADR T-16 OR BILKAL, APPROVED BY THE VILLAGE ENGINEER, BROWN RED IN COLOR.

PAVING LEGEND

HEAVY DUTY BITUMINOUS PAVEMENT

2.5" BITUMINOUS SURFACE COURSE (PMA 6-11, NS) 1.5" BITUMINOUS ENDELA COURSE (PMA 6-11, NS) 4" AGGREGATE BASE COURSE - CA-4 CRUSHED Limestone COMPACTED

REGULAR BITUMINOUS PAVEMENT

2.5" BITUMINOUS SURFACE COURSE (PMA 6-11, NS) 1.5" BITUMINOUS ENDELA COURSE (PMA 6-11, NS) 4" AGGREGATE BASE COURSE - CA-4 CRUSHED Limestone COMPACTED

CONCRETE PAVEMENT

6" P.C. CONCRETE PAVEMENT WITH (602) 10.25 (10.25) W.P.F. 4" AGGREGATE BASE COURSE - CA-4 CRUSHED Limestone COMPACTED

CONCRETE SIDEWALK

3" P.C. CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE - CA-4 CRUSHED Limestone COMPACTED

TEMPORARY ASPHALT SIDEWALK

2" BITUMINOUS SURFACE COURSE (PMA 6-11, NS) 4" AGGREGATE BASE COURSE - CA-4 CRUSHED Limestone COMPACTED

MILK & RESURFACE BITUMINOUS PAVEMENT

1.5" EXISTING ASPHALT TO BE MILLED AND PROPERLY COMPOSED OFF 1.5" BITUMINOUS SURFACE COURSE (PMA 6-11, NS)

CURB LEGEND

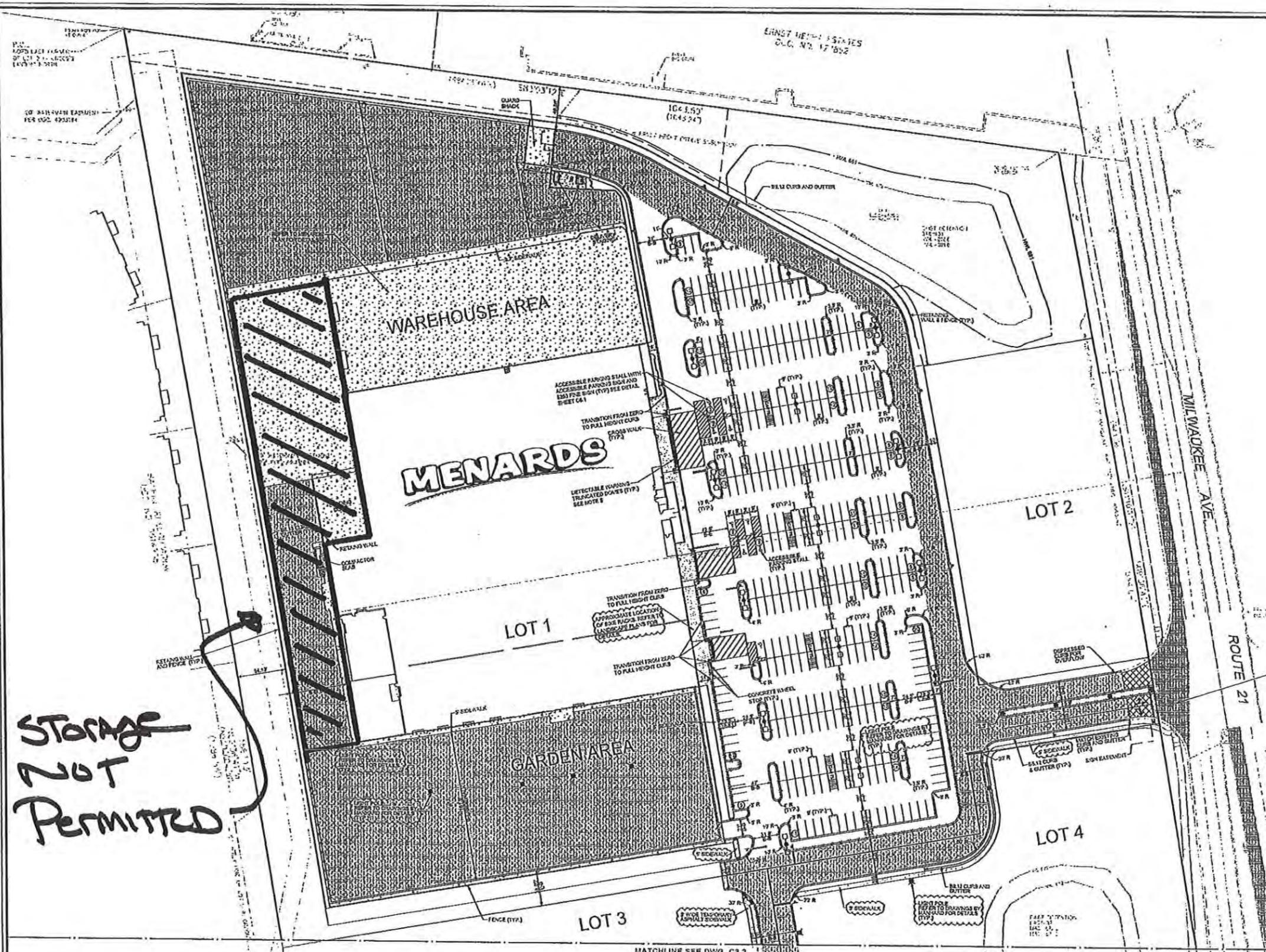
STANDARD PITCH 8.11 CONCRETE CURB AND GUTTER

REVERSED PITCH 8.11 CONCRETE CURB AND GUTTER

8.11 CONCRETE DEPRESSION CURB AND GUTTER

PARKING SUMMARY

REGULAR STALLS	258
ACCESSIBLE STALLS	8
TOTAL STALLS	266



STORAGE NOT PERMITTED

V3 Companies
 7325 Jones Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	06-12-11	PER VERNON HILLS			
2	08-27-14	PER VERNON HILLS			

PROJECT NO: 10068.MNRD
 FILE NAME: C3.1 LAY
 ORIGINAL ISSUE DATE: 03-14-14
 SCALE: 1"=50'

DESIGNED BY: RMW
 DRAWN BY: NRS
 CHECKED BY: JRB
 PROJECT MANAGER: JRB

MENARDS
 1860 N. MILWAUKEE AVE.
 ILLINOIS

LAYOUT PLAN - NORTH

C3.1

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10068.MNRD 506 - LAYOUT PLAN - NORTH