

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2014-031

AN ORDINANCE GRANTING APPROVAL OF A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW A MULTI-TENANT BUILDING WITH A RESTAURANT WITH DRIVE -THRU SERVICE AT 447 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 19th DAY OF AUGUST 2014

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 27th Day of August, 2014

SECTION VI. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION VII. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION VIII. SUCCESSORS AND ASSIGNS. All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

SECTION IX. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION X. ORDINANCE NUMBER. This ordinance shall be known as Ordinance Number 2014-031.

Adopted by roll call vote as follows:

AYES: 4 – Schwartz, Schultz, Marquardt, Koch

NAYS: 0 - None

ABSENT AND NOT VOTING: 2 – Williams Hebda

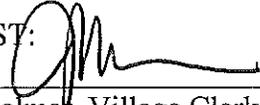

Roger L. Byrne, Village President

PASSED: 8/19/2014

APPROVED: 8/19/2014

PUBLISHED IN PAMPHLET FORM: 8/27/2014

ATTEST:


John Kalmar, Village Clerk

ORDINANCE NO. 2014-031

AN ORDINANCE GRANTING APPROVAL OF A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW A MULTI-TENANT BUILDING WITH A RESTAURANT WITH DRIVE –THRU SERVICE AT 447 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

WHEREAS, Dan Angspatt of Shorewood Development Group, owners of a property located at 447 North Milwaukee Avenue (being the former Tilted Kilt property) and legally described in Exhibit A, has petitioned the Village of Vernon Hills for approval of the following:

1. Approval of a Special Use Permit to allow development of a multi-tenant building which will include a restaurant with a drive-thru with certain variations for setbacks, signage and loading requirements;
2. Preliminary and final site and landscaping plan approvals; and
3. Preliminary and final approval of the architectural elevations.

WHEREAS, Shorewood Development Group has requested the following variations as a part of the petition:

1. **Side Yard Setback for the Building (West Side)** – Reduction of the side yard setback area from 35 feet to 26.2 feet as measured from the west property line to the building.
2. **Off-Street Loading Space** – Allow Shorewood Development Group to install no off-street loading spaces.
3. **Signage** (being Chapter 19 of the Village Code)
West Elevation Wall Signs:
 - To allow two wall signs on the western elevation of the building face that has no frontage on a public or private street measuring 55.4 sq. ft on the north side and 60.9 sq feet on the south side.

Monument Sign

- To allow one multi-tenant monument sign with two panels.

WHEREAS, the requested approvals would be in general compliance with the following:

- Proposed Site Plan prepared by Shorewood Development Group with a date of July 1, 2014 and consisting of 1 page.
- Engineering Improvement Plans prepared by Shorewood Development Group with a date of July 1, 2014 and consisting of 14 pages.
- Signage Plans prepared by Mandeville Sign with a revised date of July 14, 2014 and consisting of 9 pages.
- Revised Landscaping Plans prepared by Shorewood Development Group with a date of July 1, 2014 and consisting of 4 pages.

- Revised Photometric Plans prepared by Shorewood Development Group with a date of July 1, 2014 and consisting of 1 page.
- Revised Architectural Plans prepared Reitan Architects, LLC with a date of June 27, 2014 and consisting of 2 pages.

Said Plans are attached hereto as Exhibit B; and

WHEREAS, the requested approvals will allow for construction of a multi-tenant building which will include a restaurant with a drive-thru.

WHEREAS, upon due notice and after public hearing held July 23, 2014 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

WHEREAS, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that address the conditions in Section 18.3 of the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the Special Use Permit to allow a restaurant with drive-thru service and certain variations related to setbacks and signage as listed in Exhibit C, is hereby granted. Said parcel is legally described in Exhibit A. The approval is subject to the conditions listed in Section V and the terms and conditions as set forth in Exhibit C.

SECTION II. Pursuant to the Vernon Hills Zoning Ordinance of 1982, approvals of the preliminary and final site and landscaping plans for the entire site as set forth in Exhibit B are hereby granted subject to the conditions listed in Section V.

SECTION III. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations including signage as set forth in Exhibit B are hereby granted subject to the conditions listed in Section V.

SECTION IV. Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as set forth in Exhibit B are hereby approved subject to the conditions listed below in Section V.

SECTION V. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the terms and conditions as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

Exhibit A
Legal Description

OUTLOT 'B' IN THE MARKETPLACE OF VERNON HILLS SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 3, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 12, 1993 AS DOCUMENT 3312952, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

PERMANENT, MUTUAL, RECIPROCAL AND NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY THE RECIPROCAL EASEMENT AND OPERATION AGREEMENT MADE BY AND BETWEEN VERNON HILLS III LIMITED PARTNERSHIP, CIRCUIT CITY STORES, INC., AND MAX AND ERMA'S RESTAURANTS, INC., DATED APRIL 8, 1993 AND RECORDED APRIL 12, 1993 AS DOCUMENT 3312964 AS AMENDED BY INSTRUMENT DATED DECEMBER 11, 2000 AND RECORDED DECEMBER 27, 2000 AS DOCUMENT 4624322, IN LAKE COUNTY, ILLINOIS; FOR INGRESS AND EGRESS, PARKING, VEHICULAR OR PEDESTRIAN TRAFFIC, UPON OR ACROSS THE PARKING AREAS, ENTRANCES, EXITS, DRIVEWAYS, WALKS OR SERVICE DRIVES LOCATED WITHIN THE COMMON AREAS, AS DEFINED THEREIN, AND FOR THE INSTALLATION, OPERATION AND MAINTENANCE OF SANITARY SEWERS, STORM DRAINS, RETENTION BASINS, WATER, ELECTRIC AND GAS LINES, TELEPHONE LINES, VAULTS, CONDUITS AND TRANSFORMERS AND OTHER UTILITY LINES AND RELATED FACILITIES, ALL UPON, ACROSS AND UNDER LOTS 1, 2 AND OUTLOT 'A' IN THE MARKETPLACE AT VERNON HILLS SUBDIVISION, RECORDED APRIL 12, 1993 AS DOCUMENT 3312952, IN LAKE COUNTY, ILLINOIS.

**Exhibit B
Plans**

General Compliance with the following plans:

- Proposed Site Plan prepared by Shorewood Development Group with a date of July 1, 2014 and consisting of 1 page.
- Engineering Improvement Plans prepared by Shorewood Development Group with a date of July 1, 2014 and consisting of 14 pages.
- Signage Plans prepared by Mandeville Sign with a revised date of July 14, 2014 and consisting of 9 pages.
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- Revised Architectural Plans prepared Reitan Architects, LLC with a date of June 27, 2014 and consisting of 2 pages.

Exhibit C
Terms and Conditions of Approval

Conditions of Approval for the entire Site:

1. Final approval of plans by the Village Engineer and Landscape Architect prior to issuance of a building permit.
2. No outdoor sales or dining are permitted on the site without prior approval by the Village Board of Trustees.
3. Parking lot islands, median entrance magazines and adjacent parkways, and grass areas of the magazine shall be irrigated.
4. Compliance with all ordinances and standards of the Village except as otherwise noted.

Variations - The following variations are hereby approved:

1. To allow a side yard setback variation of 26.20 feet on the west side of the property.
2. To not require any off street loading spaces. Based on the building size, 1 offstreet loading space would otherwise be required.
3. To allow one multi-tenant monument sign (with two tenant panels).
4. To allow two wall signs on the western elevation of the building face that has no frontage on a public or private street measuring 55.4 sq. ft on the north side and 60.9 sq feet on the south side.

AFFIDAVIT OF SERVICE.

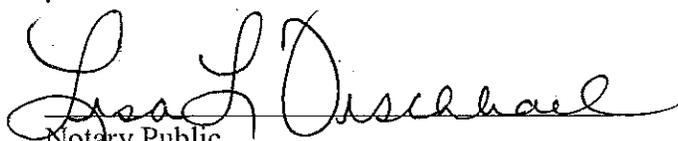
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE NO. 2014-031 AN ORDINANCE GRANTING APPROVAL OF A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW A MULTI-TENANT BUILDING WITH A RESTAURANT WITH DRIVE -THRU SERVICE AT 447 NORTH MILWAUKEE AVENUE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM AUGUST 27, 2014 TO SEPTEMBER 8, 2014.



JOHN M. KALMAR, VILLAGE CLERK

SUBSCRIBED AND SWORN TO BEFORE
THIS 27th DAY OF AUGUST 2014



Notary Public

OFFICIAL SEAL
LISA L. FISCHBACH
NOTARY PUBLIC - STATE OF ILLINOIS
COMMISSION EXPIRES: 09/22/15

SITE DATA TABLE

PROPOSED PROJECT AREA:	±1.514 ACRES / ±65,929 SF
EXISTING IMPERVIOUS AREA:	±1.170 ACRES / ±50,976 SF (77%)
EXISTING PERVIOUS AREA (LANDSCAPE):	±0.344 ACRES / ±14,953 SF (23%)
PROPOSED IMPERVIOUS AREA:	±1.121 ACRES / ±48,830 SF (74%)
PROPOSED PERVIOUS AREA (LANDSCAPE):	±0.393 ACRES / ±17,099 SF (26%)
ZONING:	B-1 GENERAL BUSINESS DISTRICT
TOTAL SQUARE FOOTAGE OF BUILDING:	±8,081 SF
BUILDING COVERAGE RATIO OF SITE:	12.3% (25% MAXIMUM)
PROPOSED USE:	RESTAURANT/RETAIL

PARKING REQUIRED:

RETAIL - ONE (1) PARKING SPACES PER 200 SQUARE FEET OF GROSS FLOOR AREA	
RESTAURANT - ONE (1) PARKING SPACE PER EACH TWO EMPLOYEES, PLUS SPACE EQUIVALENT TO 50% OF SEATING CAPACITY.	
RETAIL ±3,780 SF	3,780 GFA / 200 = 18.9 = 19 SPACES
RESTAURANT ±4,301 SF	10 EMPLOYEES / 2 = .50 X 128 SEATS = 68 SPACES
TOTAL REQUIRED =	87 SPACES

PARKING PROVIDED:

NEW SPACES (7' x 18')	70 SPACES
NEW SPACES (7' x 18.5')	13 SPACES
NEW ADA SPACES (7' x 20')	4 (1 VAN) *
TOTAL SPACES:	87 SPACES

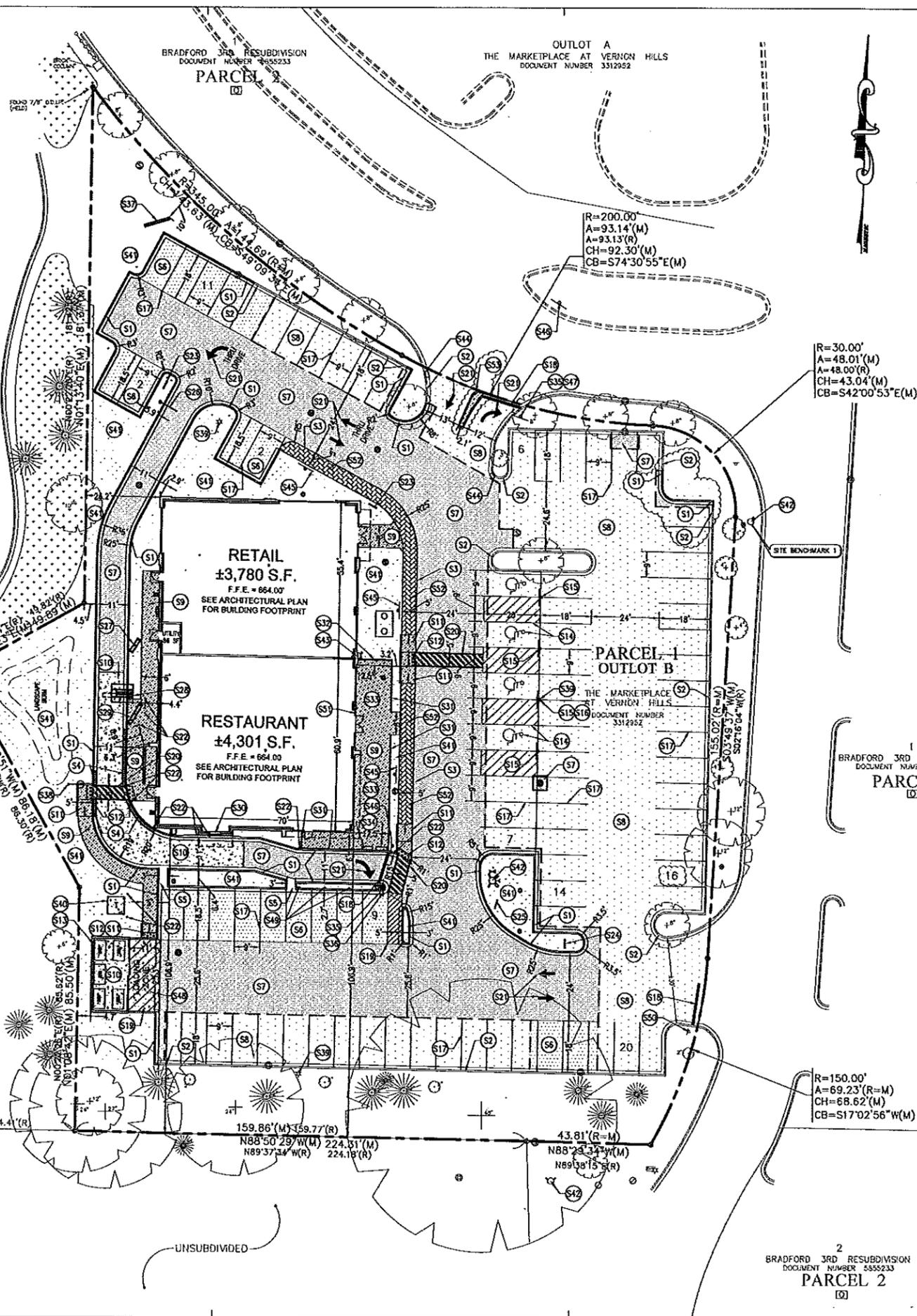
* PER ILLINOIS ACCESSIBILITY CODE WHEN 76 TO 100 OFF STREET PARKING SPACES ARE PROVIDED A MINIMUM NUMBER OF 4 ACCESSIBLE SPACES ARE REQUIRED

PAVEMENT SECTION DETAILS

- S5** PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT*
 - 1.5" ASPHALTIC CONCRETE SURFACE COURSE
 - 2.25" ASPHALTIC CONCRETE BINDER COURSE
 - 8" CA-7 CRUSHED LIMESTONE AGGREGATE
- S7** PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT*
 - 2" ASPHALTIC CONCRETE SURFACE COURSE
 - 2.25" ASPHALTIC CONCRETE BINDER COURSE
 - 10" CA-7 CRUSHED LIMESTONE AGGREGATE
- S2** PROPOSED 2.0" MILL AND OVERLAY*
- S9** PROPOSED 5.0" CONCRETE SIDEWALK WITH 4.0" CA-3 CRUSHED LIMESTONE AGGREGATE
- S10** PROPOSED HEAVY DUTY CONCRETE PAVEMENT*
 - 7" PORTLAND CEMENT CONCRETE (M&X W2.9 X W2.9 WIRE MESH REINFORCEMENT)
 - 4" CA-7 CRUSHED LIMESTONE AGGREGATE
- S12** PROPOSED DETECTABLE WARNINGS
- S4** PROPOSED LANDSCAPE AREA (TYP.)
- S27** PROPOSED STAMPED CONCRETE

*REFER TO GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC., PROJECT NO. 11145018, DATED APRIL 8, 2014.

BRADFORD 3RD RESUBDIVISION
DOCUMENT NUMBER 555233
POND
PARCEL 2



SITE KEY

- S1 PROPOSED
- S2 EXISTING
- S3 PROPOSED
- S4 PROPOSED
- S5 PROPOSED 3" WIDE CURB DRAINAGE OPENING
- S6 PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT (TYP.)
- S7 PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT (TYP.)
- S8 PROPOSED 2.0" MILL AND OVERLAY. SEE GEOTECHNICAL REPORT AND GRADING PLAN FOR ADDITIONAL INFORMATION.
- S9 PROPOSED 5.0" CONCRETE SIDEWALK WITH 4.0" AGGREGATE BASE COURSE (TYP.)
- S10 PROPOSED HEAVY DUTY CONCRETE PAVEMENT (TYP.)
- S11 PROPOSED SIDEWALK RAMP @ 8.33% MAXIMUM SLOPE (TYP. PER ADA AND LOCAL REQUIREMENTS)
- S12 PROPOSED DETECTABLE WARNINGS PER EXHIBIT NO. 30 ON SHEET C2.0. PRECAST TRUNCATED DETECTABLE WARNING TILES, ARMOR-TILES, OR SIMILAR APPROVED BY THE VILLAGE ENGINEER, BRICK RED IN COLOR SHALL BE PROVIDED.
- S13 PROPOSED DUMPSTER ENCLOSURE WITH TRASH BINS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- S14 PROPOSED ADA ACCESSIBLE PARKING SPACE STRIPING & SYMBOL (TYP. PER ADA AND LOCAL REQUIREMENTS)
- S15 PROPOSED ACCESSIBLE PARKING SIGNS - FOUR (4) TOTAL (TYP. PER ADA REQUIREMENTS). SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS. SEE SHEET C2.2 SIGN IDENTIFIER PLAN AND C6.0 CONSTRUCTION DETAILS 1 FOR ADDITIONAL INFORMATION.
- S16 PROPOSED ACCESSIBLE PARKING SIGN TO BE SECURELY FASTENED TO EXISTING LIGHT POLE. MINIMUM MOUNTING HEIGHT FOR HANDICAP PARKING SIGNS SHALL BE 4' FROM BOTTOM OF SIGN TO FINISH GRADE.
- S17 PROPOSED 4" PARKING STALL STRIPING PER LOCAL REQUIREMENTS (TYP.)
- S18 PROPOSED STOP BAR PER LOCAL REQUIREMENTS
- S19 PROPOSED STRIPED AREA PER LOCAL REQUIREMENTS
- S20 PROPOSED STRIPED CROSSWALK PER LOCAL REQUIREMENTS
- S21 PROPOSED TRAFFIC DIRECTIONAL ARROWS AND PAVEMENT MARKINGS PER LOCAL REQUIREMENTS
- S22 PROPOSED CONCRETE BOLLARDS - TWELVE (12) TOTAL
- S23 PROPOSED SINGLE FACE DRIVE-THRU SIGN [BY TENANT]
- S24 PROPOSED DOUBLE FACE DRIVE-THRU SIGN [BY TENANT]
- S25 PROPOSED THANK YOU SIGN [BY TENANT]
- S26 PROPOSED HEIGHT CLEARANCE BAR [BY TENANT]
- S27 PROPOSED PREVIEW BOARD [BY TENANT]
- S28 PROPOSED CANOPY AND SPEAKER [BY TENANT]
- S29 PROPOSED MENU BOARD [BY TENANT]
- S30 PROPOSED DRIVE-THRU WINDOW WITH CANOPY. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- S31 PROPOSED RAILING WITH INTEGRATED BOLLARDS [BY TENANT]
- S32 PROPOSED CEDAR FENCE [BY TENANT]
- S33 PROPOSED PATIO AREA
- S34 PROPOSED PLANTERS [BY TENANT]
- S35 PROPOSED STOP SIGN PER MUTCD REQUIREMENTS
- S36 PROPOSED DO NOT ENTER SIGN PER MUTCD REQUIREMENTS
- S37 PROPOSED MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- S38 PROPOSED LIGHT POLE. SEE PHOTOMETRIC PLAN FOR ADDITIONAL INFORMATION.
- S39 EXISTING LIGHT POLE TO REMAIN. SEE UTILITY AND PHOTOMETRIC PLANS FOR ADDITIONAL INFORMATION.
- S40 PROPOSED TRANSFORMER. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY TO VERIFY LOCATION AND SPECIFICATIONS
- S41 PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- S42 RELOCATED FIRE HYDRANT. CONTRACTOR SHALL PROVIDE ALL NECESSARY APPURTENANCES AND VERIFY CONDITION FOR REUSE. THERE SHALL BE NO OBSTRUCTIONS (TREES, BUSHES, SIGNS, ETC.) WITHIN A 4 FOOT DIAMETER. THE HYDRANT SHALL HAVE A FLAG WHICH EXTENDS ABOVE THE FIRE HYDRANT. THE HYDRANT SHALL BE PAINTED SAFETY YELLOW AND THE CAPS SAFETY BLUE PER LOCAL JURISDICTION'S REQUIREMENTS.
- S43 PROPOSED FDC (FIRE DEPARTMENT CONNECTION)
- S44 CONTRACTOR SHALL REPAIR DAMAGED CURB. FIELD VERIFY.
- S45 PROPOSED NO PARKING - FIRE LANE SIGN PER MUTCD REQUIREMENTS
- S46 PROPOSED NO LEFT TURN SIGN PER MUTCD REQUIREMENTS
- S47 PROPOSED RIGHT TURN ONLY SIGN TO BE MOUNTED TO STOP SIGN POST, BELOW STOP SIGN.
- S48 PROPOSED LOADING SPACE
- S49 PROPOSED "RAPID PICK-UP" SIGN - THREE (3) TOTAL
- S50 EXISTING STOP SIGN TO REMAIN
- S51 FIRE DEPARTMENT KNOX BOX TO BE LOCATED AT MAIN ENTRANCE.
- S52 PROPOSED 5.0" STAMPED CONCRETE (ASHLAR SLATE) SIDEWALK WITH 4.0" AGGREGATE BASE COURSE
- S53 PROPOSED 4" MOUNTABLE CURB

shorewood DEVELOPMENT
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Suite 821
Buffalo Grove, IL
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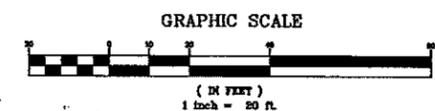
ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	RESUBMISSION
07/01/14	PLANNING AND ZONING



PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL

SHEET TITLE
SITE PLAN
SHEET NUMBER
C2.0



BRADFORD 3RD RESUBDIVISION
DOCUMENT NUMBER 555233
PARCEL 2

GENERAL NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY & WAYS AND MEANS & METHODS OF CONSTRUCTION
- 2. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCY CODES, STANDARDS AND SPECIFICATIONS.
- 3. CONTRACTOR SHALL OBTAIN ALL NECESSARY SITE PERMITS AND LICENSES FROM THE APPLICABLE GOVERNING AUTHORITIES.
- 4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- 5. CONTRACTOR SHALL NOTIFY THE VILLAGE ENGINEERING AND THE LAKE COUNTY DEPARTMENT OF PUBLIC WORKS DEPARTMENT A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS AND TO SCHEDULE ANY REQUIRED SITE INSPECTIONS.
- 6. IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- 7. CONTRACTOR SHALL SCHEDULE A UTILITY LOCATING SERVICE AND/OR NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION. ANY NECESSARY RELOCATIONS OR REMOVALS OF EXISTING UTILITY LINES SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
- 9. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITION OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- 11. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE CONSTRUCTION OPERATIONS ADJUT PUBLIC THROUGH FARES AND ADJACENT PROPERTY.
- 12. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
- 13. CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARK REFERENCE POINTS AND CONSTRUCTION STAKES.
- 14. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- 15. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE THEIR WORK FOR A PERIOD OF 12 (TWELVE) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
- 16. THE TRAFFIC CONTROL DEVICES MUST COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT).
- 17. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- 18. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODE.
- 19. ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
- 20. ALL CURB RADI SHALL BE 6' UNLESS OTHERWISE NOTED ON THE PLANS.
- 21. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 22. ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
- 23. INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 24. BITUMINOUS DUTY PAVEMENT AND CONCRETE SECTIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- 25. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE EXACT TRENCHING, ROUTING, METER, UTILITY SERVICE, POINT OF CONNECTION AND POINT OF TERMINATION WITH ALL APPROPRIATE UTILITY COMPANIES.
- 26. CONTRACTOR SHALL COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTION.
- 27. AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM (WHERE APPLICABLE TO THE SCOPE OF WORK) THE FOLLOWING ITEMS:
 - 27.1. TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
 - 27.2. HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
 - 27.3. RIM AND INVERT AND/OR TOP OF PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES.
 - 27.4. AS-BUILT AND/OR RECORD DRAWING INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ANY AND ALL DEVIATIONS FROM THESE APPROVED PLANS SHALL BE SHOWN BY MEANS OF STRIKING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

GRADING NOTES:

- 1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- 2. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THE PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- 3. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF LEGALLY OFFSITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
- 4. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY A GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE. FURTHER CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
- 5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH AND PERFORMED AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER.
- 6. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
- 7. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVEMENT SECTION (ROADS, WALKS, DRIVE, ETC.) OR TOPSOIL AS INDICATED ON THE PLANS.
- 8. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
- 9. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- 10. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- 11. CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- 12. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 13. SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- 14. CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 3:1.
- 15. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS SURFACE COURSE.
- 16. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS SURFACE COURSE.
- 17. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
- 18. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE CONTRACTOR UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING. UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL RE-SPREAD AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
- 19. PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
- 20. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
- 21. REMOVED PAVEMENTS, SIDEWALKS, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFFSITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.
- 22. A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL ON ALL SLOPES GREATER THAN 3H:1V.
- 23. ALL SIDEWALKS SHALL HAVE A 2% CROSS SLOPE MAXIMUM.

STORM SEWER NOTES:

- 1. ALL STORM SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- 2. STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- 3. RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C443.
- 4. HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F2306 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212.
- 5. PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 26 PIPE PER ASTM D3034 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212, UNLESS OTHERWISE NOTED.
- 6. STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
 - 6.1. STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D3212. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
 - 6.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
- 7. REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
- 8. FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.

SANITARY SEWER NOTES:

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES (LAKE COUNTY DEPARTMENT OF PUBLIC WORKS). IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- 2. ALL SANITARY SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- 3. ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 21 PIPE PER ASTM D3034 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212, UNLESS OTHERWISE NOTED.
 - 3.1. WHERE SANITARY SEWER PIPE IS NOTED AS PVC C900, THE PIPE SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) C900 WITH WATERTIGHT, PRESSURE RATED JOINTS CONFORMING TO ASTM D3139.
- 4. SANITARY SEWER CONSTRUCTION SHALL COMMENCE AT THE EXISTING MANHOLE(S) AND/OR CONNECTION POINT(S) INDICATED ON THE PLANS.
 - 4.1. A WATERTIGHT PLUG SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT UNTIL THE REMAINDER OF THE PROPOSED SEWERS HAVE BEEN CONSTRUCTED, PROPERLY TESTED AND DEEMED READY FOR FINAL ACCEPTANCE.
- 5. ALL SANITARY SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
 - 5.1. ALL SANITARY SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D3212. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
 - 5.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL SANITARY SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
- 6. THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL SEWERS AND FURNISH THE INFORMATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL LOCATE ALL SEWERS BY MEASUREMENTS TO LOT CORNERS OR OTHER PERMANENT SITE FEATURE AND SHALL FURNISH A COPY OF SUCH LOCATIONS TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS INFORMATION SHALL ALSO INCLUDE THE DEPTH OF EACH SEWER. IF THE CONTRACTOR FAILS TO PROPERLY LOCATE ANY SEWER, HE SHALL BE RESPONSIBLE FOR ALL COSTS WHICH ARE INCURRED AS A RESULT OF THE IMPROPERLY LOCATED UTILITIES.
- 7. SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS IN THE PLANS.
 - 7.1. A FLEXIBLE TYPE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO AND EXITING FROM MANHOLE STRUCTURES AND SHALL BE OF A DESIGN APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. THIS FLEXIBLE JOINT MAY CONSIST OF A SLEEVE OF HIGH QUALITY SYNTHETIC RUBBER WITH A SUBSTANTIAL SERATED FLANGE WHICH IS CAST DIRECTLY INTO THE WALL OF THE MANHOLE BASE TO FORM A WATERTIGHT SEAL AND PROTRUDES OUTSIDE OF THE MANHOLE WALL TO CONNECT WITH THE PIPE ENTERING/EXITING THE MANHOLE. WHEN THIS TYPE OF FLEXIBLE JOINT IS USED, THE SLEEVE SHALL SLIP OVER THE END OF THE PIPE ADJACENT TO THE MANHOLE BASE AND SHALL BE SECURED BY MEANS OF A STAINLESS STEEL STRAP CLAMP EQUIPPED WITH A DRAW BOLT AND NUT.
- 8. REQUIRED MANHOLE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.

SANITARY SEWER NOTES (continued):

- 9. AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED. THE MORTAR SHALL BE COMPOSED OF ONE (1) PART CEMENT TO THREE (3) PARTS SAND, BY VOLUME, BASED ON DRY MATERIALS, AND SHALL BE THOROUGHLY WETTED BEFORE LAYING.
- 10. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR MANHOLE, THE FOLLOWING METHOD SHALL BE USED:
 - 10.1. CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS (SEWER-TAP MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
- 11. UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTIONS LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL BE WITNESSED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.

WATER MAIN AND WATER SERVICE NOTES:

- 1. ALL WATER MAIN CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- 2. WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- 3. WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 53 IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS C151, C111 AND C104, UNLESS OTHERWISE NOTED.
- 4. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATER MAIN PIPE SHALL BE LAID WITH A MINIMUM COVER OF FIVE AND A HALF (5 1/2) FEET FROM THE PROPOSED FINISH GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE ELEVATION INDICATED ON THE PLANS FOR THE WATER MAIN. NO BERMS ARE ALLOWED OVER WATER MAINS EXCLUSIVELY FOR THE PURPOSE OF OBTAINING ADEQUATE GROUND COVER.
- 5. DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 8-MIL POLYETHYLENE ENCASEMENT TO PREVENT CORROSION.
- 6. WATER MAIN TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
 - 6.1. WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
 - 6.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
- 7. A WATERTIGHT PLUG SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.
- 8. UPON COMPLETION OF THE WATERMAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
 - 8.1. HYDROSTATIC PRESSURE AND LEAKAGE TESTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL BE WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
 - 8.2. DISINFECTION IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE METHODS STATED IN AWWA STANDARD C851 AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
- 9. WATER SERVICE PIPING AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- 10. WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING CONFORMING TO ASTM B88-55. NO COUPLINGS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOPS OR BETWEEN THE CURB STOP AND THE BUILDING.
- 11. WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE FURNISHED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- 12. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD "WATER" CAST IN THE TOP.
- 13. VALVES, VALVE BOXES OR VAULTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- 14. PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.
- 15. VALVE VAULTS SHALL HAVE A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE CONE SECTION. THE VAULTS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VAULTS SHALL BE LEAK PROOF.
- 16. TEMPORARY CONNECTIONS FOR CONSTRUCTION PURPOSES TO NEARLY INSTALLED OR EXISTING WATER MAINS SHALL BE MADE AND METERED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- 17. REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
- 18. ADHERE TO THE CRITERIA FOR THE SEPARATION BETWEEN WATER MAINS AND STORM AND SANITARY SEWER LINES AS DESCRIBED: WHEREVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATER MAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATER MAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATER MAIN SHALL BE MAINTAINED UNLESS THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18 INCH VERTICAL SEPARATION, OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18 INCH VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED ABOVE CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS.

VILLAGE NOTES:

- 1. STORM SEWER SHALL MEET THE FOLLOWING REQUIREMENTS, REINFORCED CONCRETE PIPE (RCP), LIMITED TO DIAMETERS 12 INCHES AND LARGER, CONFORMING TO ASTM C76 CONCRETE PIPE JOINTS SHALL CONFORM TO ASTM C361 OR C433 FOR FLEXIBLE GASKET MATERIAL.
- 2. UNDERDRAIN SHALL MEET THE FOLLOWING REQUIREMENTS, POLYVINYL CHLORIDE (PVC) WITH MINIMUM SDR 26 CONFORMING TO ASTM D3034, SIZES FOUR (4) INCHES TO FIFTEEN (15) INCHES. POLYVINYL CHLORIDE (PVC) PIPE SHALL HAVE FLEXIBLE ELASTOMERIC JOINTS COMPLYING WITH ASTM D-3212. THE PIPE SHALL BE MADE OF PVC PLASTIC HAVING A MINIMUM CELL CLASSIFICATION OF 1254-C, AND SHALL HAVE A MINIMUM PIPE STIFFNESS OF FORTY-SIX (46) LBS. PER INCH PER INCH (317 KPA) WHERE UNDERDRAIN PIPE IS REQUIRED, THE PIPE SHALL BE PERFORATED POLYVINYL CHLORIDE (PVC) WITH MINIMUM SDR 26 REQUIREMENTS.
- 3. STORM SEWER STRUCTURES SHALL MEET THE FOLLOWING REQUIREMENTS, MANHOLES AND CATCH BASINS SHALL HAVE PRECAST REINFORCED CONCRETE BARREL SECTIONS, TONGUE AND GROOVE JOINTS, WITH INTEGRAL PRECAST-IN-PLACE BOTTOMS CONFORMING TO ASTM C478. A CONTINUOUS PREFORMED BITUMINOUS BUTYL ROPE MATERIAL SHALL BE INSTALLED AT ALL BARREL SECTION JOINTS. PRECAST SLAB BOTTOMS MAY BE USED FOR MANHOLES TO BE BUILT IN EXISTING STORM SEWERAGE SYSTEM LINES WITH THE VILLAGE ENGINEER'S APPROVAL. ALL PIPE OPENINGS SHALL BE CONSTRUCTED WITH CAST-IN-PLACE PRECAST WATERTIGHT FLEXIBLE RESILIENT RUBBER CONNECTIONS, ASTM C-443 AND C-923, WITH STAINLESS STEEL BANDS.
- 4. SANITARY SEWER PIPE SHALL MEET THE FOLLOWING REQUIREMENTS, POLYVINYL CHLORIDE (PVC) WITH MINIMUM SDR 21 CONFORMING TO AWWA C-900, C-909 OR 150 PVC PIPE SHALL HAVE PUSH-ON JOINTS, UTILIZING AN INTEGRAL BELL AND STAINLESS STEEL REINFORCED GASKET, COMPLYING WITH ASTM D-3139 PVC. THE COMPOUND SHALL MEET REQUIREMENTS OF ASTM C-1784.
- 5. CONTRACTOR SHALL NOTIFY THE LAKE COUNTY PUBLIC WORKS DEPARTMENT 48 HOURS PRIOR TO CAPPING OF THE EXISTING SEWER AND WATER SERVICE AND THE START OF NEW WATER AND SEWER INSTALLATION.
- 6. ALL AREAS ALONG THE BACK OF CURB SHALL BE FILLED AND GRADED TO ALLOW FOR PROPER DRAINAGE.
- 7. ALL UTILITY, IRRIGATION, AND LIGHTING TRENCHES SHALL BE BACKFILLED WITH CA-7 CRUSHED LIMESTONE AGGREGATE.
- 8. EXISTING AGGREGATE SUBBASE REUSE SHALL BE RE-GRADED, COMPACTED AND PROOFROLLED PER THE VILLAGE REQUIREMENTS. ALL FALLED AREAS SHALL BE CORRECTED TO THE SATISFACTION OF THE VILLAGE ENGINEER.

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	RESUBMISSION
07/01/14	PLANNING AND ZONING

DAN WARRUP
PROFESSIONAL ENGINEER
LICENSE NO. 062.060760
STATE OF ILLINOIS

LICENSE NO. 062.060760
EXPIRATION DATE 11/30/2015

PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
CO.1

SITE DATA TABLE

PROPOSED PROJECT AREA:	±1.614 ACRES / 455,929 SF
EXISTING IMPERVIOUS AREA:	±1.170 ACRES / 450,976 SF (77%)
EXISTING PERVIOUS AREA (LANDSCAPE):	±0.344 ACRES / ±14,953 SF (23%)
PROPOSED IMPERVIOUS AREA:	±1.121 ACRES / 449,830 SF (74%)
PROPOSED PERVIOUS AREA (LANDSCAPE):	±0.393 ACRES / ±17,099 SF (26%)
ZONING:	B-1 GENERAL BUSINESS DISTRICT
TOTAL SQUARE FOOTAGE OF BUILDING:	±8,631 SF
BUILDING COVERAGE RATIO OF SITE:	12.3% (25% MAXIMUM)
PROPOSED USE:	RESTAURANT/RETAIL

PARKING REQUIRED:

RETAIL - ONE (1) PARKING SPACES PER 200 SQUARE FEET OF GROSS FLOOR AREA	
RESTAURANT - ONE (1) PARKING SPACE PER EACH TWO EMPLOYEES, PLUS SPACE EQUIVALENT TO 60% OF SEATING CAPACITY.	
RETAIL ±3,780 SF 3,780 GFA / 200 = 18.9 =	19 SPACES
RESTAURANT ±4,301 SF 10 EMPLOYEES / 2 = 50 X 126 SEATS =	68 SPACES
TOTAL REQUIRED =	87 SPACES

PARKING PROVIDED:

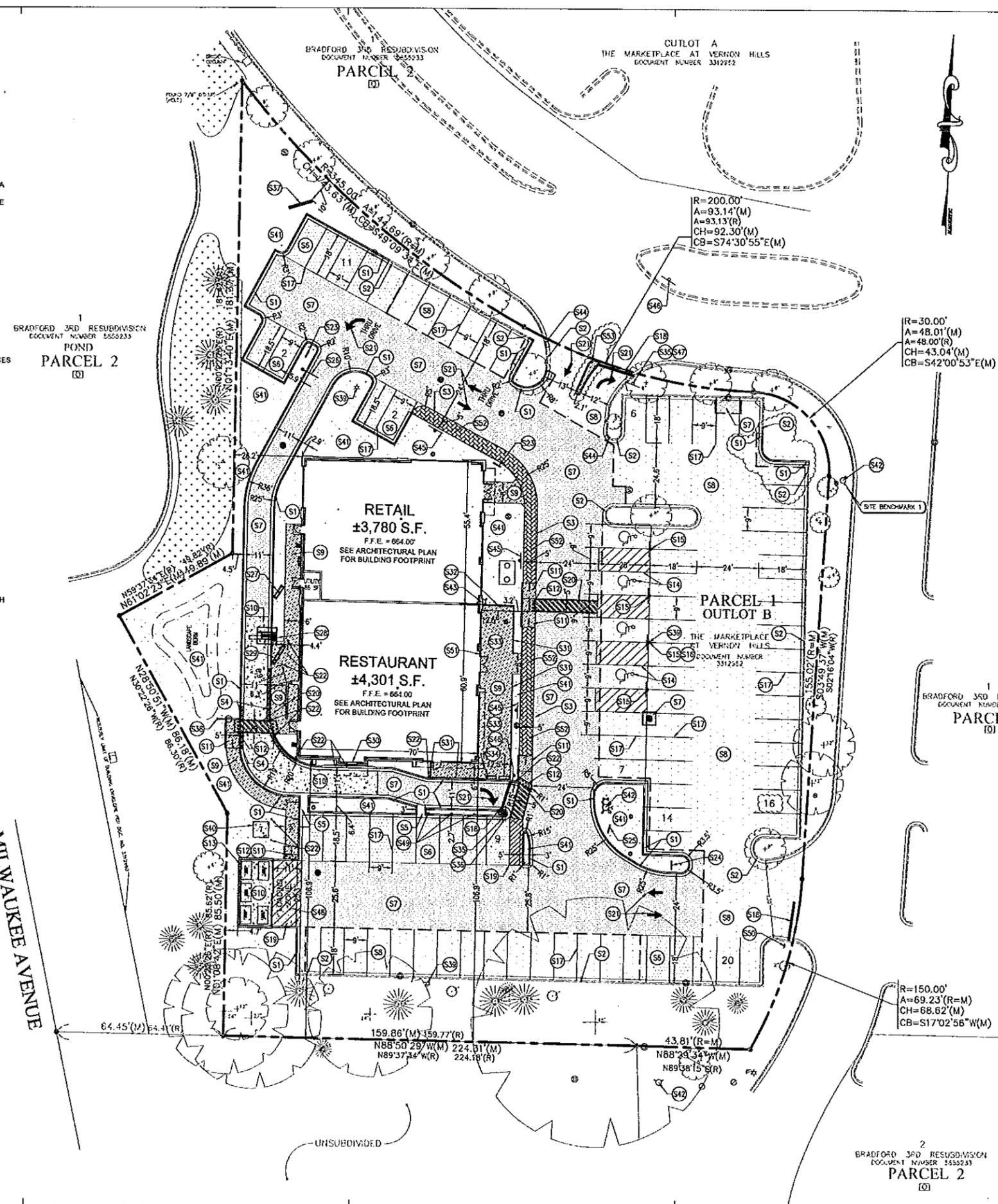
NEW SPACES (9' x 18')	70 SPACES
NEW SPACES (9' x 18.5')	13 SPACES
NEW ADA SPACES (9' x 20')	4 (1 VAN) *
TOTAL SPACES	87 SPACES

* PER ILLINOIS ACCESSIBILITY CODE WHEN 78 TO 100 OFF STREET PARKING SPACES ARE PROVIDED A MINIMUM NUMBER OF 4 ACCESSIBLE SPACES ARE REQUIRED

PAVEMENT SECTION DETAILS

- (S5)** PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT*
• 1.5" ASPHALTIC CONCRETE SURFACE COURSE
• 2.25" ASPHALTIC CONCRETE BINDER COURSE
• 6" CA-7 CRUSHED LIMESTONE AGGREGATE
- (S7)** PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT*
• 2" ASPHALTIC CONCRETE SURFACE COURSE
• 2.25" ASPHALTIC CONCRETE BINDER COURSE
• 10" CA-7 CRUSHED LIMESTONE AGGREGATE
- (S8)** PROPOSED 2.0" MILL AND OVERLAY*
- (S9)** PROPOSED 6.0" CONCRETE SIDEWALK WITH
4.0" CA-6 CRUSHED LIMESTONE AGGREGATE
- (S10)** PROPOSED HEAVY DUTY CONCRETE PAVEMENT*
• 7" PORTLAND CEMENT CONCRETE (W1X6 W2.9 x W2.9 WIRE MESH REINFORCEMENT)
• 4" CA-7 CRUSHED LIMESTONE AGGREGATE
- (S12)** PROPOSED DETECTABLE WARNINGS
- (S41)** PROPOSED LANDSCAPE AREA (TYP)
- (S42)** PROPOSED STAMPED CONCRETE

*REFER TO GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC., PROJECT NO. 11145018, DATED APRIL 8, 2014.



SITE KEYNOTES

- S1 PROPOSED CONCRETE CURB & GUTTER PER VILLAGE DETAIL (TYP)
- S2 EXISTING CONCRETE CURB & GUTTER TO REMAIN
- S3 PROPOSED COMBINATION SIDEWALK AND CURB PER VILLAGE DETAIL
- S4 PROPOSED 0'-6" CURB TRANSITION. SEE GRADING PLAN FOR ADDITIONAL INFORMATION
- S5 PROPOSED 3' WIDE CURB DRAINAGE OPENING
- S6 PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT (TYP.)
- S7 PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT (TYP.)
- S8 PROPOSED 2.0" MILL AND OVERLAY. SEE GEOTECHNICAL REPORT AND GRADING PLAN FOR ADDITIONAL INFORMATION
- S9 PROPOSED 6.0" CONCRETE SIDEWALK WITH 4.0" AGGREGATE BASE COURSE (TYP)
- S10 PROPOSED HEAVY DUTY CONCRETE PAVEMENT (TYP)
- S11 PROPOSED SIDEWALK RAMP @3.33% MAXIMUM SLOPE (TYP. PER ADA AND LOCAL REQUIREMENTS)
- S12 PROPOSED DETECTABLE WARNINGS PER EXHIBIT NO. 30 ON SHEET C6.0. PRECAST TRUNCATED DETECTABLE WARNING TILES, ARMOR-TILES, OR SIMILAR APPROVED BY THE VILLAGE ENGINEER. BRICK RED IN COLOR SHALL BE PROVIDED.
- S13 PROPOSED DUMPSTER ENCLOSURE WITH TRASH BINS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- S14 PROPOSED ADA ACCESSIBLE PARKING SPACE STRIPING & SYMBOL (TYP. PER ADA AND LOCAL REQUIREMENTS)
- S15 PROPOSED ACCESSIBLE PARKING SIGNS - FOUR (4) TOTAL (TYP. PER ADA REQUIREMENTS). SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS. SEE SHEET C2.2 SIGN IDENTIFIER PLAN AND C6.0 CONSTRUCTION DETAILS 1 FOR ADDITIONAL INFORMATION.
- S16 PROPOSED ACCESSIBLE PARKING SIGN TO BE SECURELY FASTENED TO EXISTING LIGHT POLE. MINIMUM MOUNTING HEIGHT FOR HANDICAP PARKING SIGNS SHALL BE 4' FROM BOTTOM OF SIGN TO FINISH GRADE.
- S17 PROPOSED 4" PARKING STALL STRIPING PER LOCAL REQUIREMENTS (TYP.)
- S18 PROPOSED STOP BAR PER LOCAL REQUIREMENTS
- S19 PROPOSED STRIPED AREA PER LOCAL REQUIREMENTS
- S20 PROPOSED STRIPED CROSSWALK PER LOCAL REQUIREMENTS
- S21 PROPOSED TRAFFIC DIRECTIONAL ARROWS AND PAVEMENT MARKINGS PER LOCAL REQUIREMENTS
- S22 PROPOSED CONCRETE BOLLARDS - TWELVE (12) TOTAL
- S23 PROPOSED SINGLE FACE DRIVE-THRU SIGN [BY TENANT]
- S24 PROPOSED DOUBLE FACE DRIVE-THRU SIGN [BY TENANT]
- S25 PROPOSED THANK YOU SIGN [BY TENANT]
- S26 PROPOSED HEIGHT CLEARANCE BAR [BY TENANT]
- S27 PROPOSED PREVIEW BOARD [BY TENANT]
- S28 PROPOSED CANOPY AND SPEAKER [BY TENANT]
- S29 PROPOSED MENU BOARD [BY TENANT]
- S30 PROPOSED DRIVE-THRU WINDOW WITH CANOPY. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- S31 PROPOSED RAILING WITH INTEGRATED BOLLARDS [BY TENANT]
- S32 PROPOSED CEDAR FENCE [BY TENANT]
- S33 PROPOSED PATIO AREA
- S34 PROPOSED PLANTERS [BY TENANT]
- S35 PROPOSED STOP SIGN PER MUTCD REQUIREMENTS
- S36 PROPOSED DO NOT ENTER SIGN PER MUTCD REQUIREMENTS
- S37 PROPOSED MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- S38 PROPOSED LIGHT POLE. SEE PHOTOMETRIC PLAN FOR ADDITIONAL INFORMATION
- S39 EXISTING LIGHT POLE TO REMAIN. SEE UTILITY AND PHOTOMETRIC PLANS FOR ADDITIONAL INFORMATION
- S40 PROPOSED TRANSFORMER. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY TO VERIFY LOCATION AND SPECIFICATIONS
- S41 PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
- S42 RELOCATED FIRE HYDRANT. CONTRACTOR SHALL PROVIDE ALL NECESSARY APPURTENANCES AND VERIFY CONDITION FOR REUSE. THERE SHALL BE NO OBSTRUCTIONS (TREES, BUSHES, SIGNS, ETC.) WITHIN A 4 FOOT DIAMETER. THE HYDRANT SHALL HAVE A FLAG WHICH EXTENDS ABOVE THE FIRE HYDRANT. THE HYDRANT SHALL BE PAINTED SAFETY YELLOW AND THE CAPS SAFETY BLUE PER LOCAL JURISDICTIONS REQUIREMENTS.
- S43 PROPOSED FDC (FIRE DEPARTMENT CONNECTION)
- S44 CONTRACTOR SHALL REPAIR DAMAGED CURB. FIELD VERIFY.
- S45 PROPOSED NO PARKING - FIRE LANE SIGN PER MUTCD REQUIREMENTS
- S46 PROPOSED NO LEFT TURN SIGN PER MUTCD REQUIREMENTS
- S47 PROPOSED RIGHT TURN ONLY SIGN TO BE MOUNTED TO STOP SIGN POST, BELOW STOP SIGN
- S48 PROPOSED LOADING SPACE
- S49 PROPOSED "RAPID PICK-UP" SIGN - THREE (3) TOTAL
- S50 EXISTING STOP SIGN TO REMAIN
- S51 FIRE DEPARTMENT KNOX BOX TO BE LOCATED AT MAIN ENTRANCE.
- S52 PROPOSED 6.0" STAMPED CONCRETE (ASHLAR SLATE) SIDEWALK WITH 4.0" AGGREGATE BASE COURSE
- S53 PROPOSED 4" MOUNTABLE CURB

shorewood DEVELOPMENT GROUP
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03/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	RESUBMISSION
07/01/14	PLANNING AND ZONING

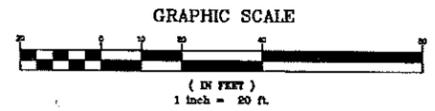


LICENSE NO. 062-060780
EXPIRATION DATE 11/30/2016

PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL

SHEET TITLE
SITE PLAN

SHEET NUMBER
C2.0



ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	RESUBMISSION
07/01/14	PLANNING AND ZONING



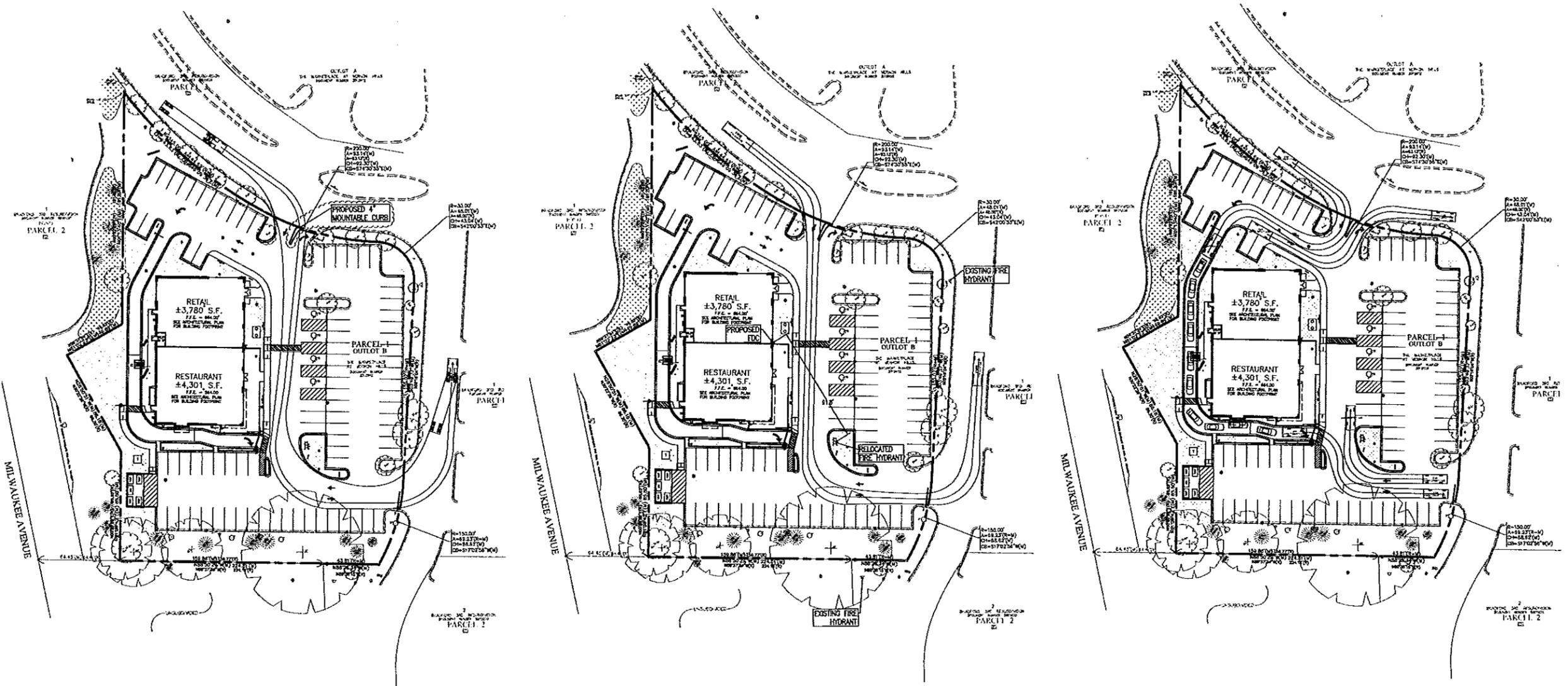
LICENSE NO. 062-080780
EXPIRATION DATE 11/30/2015

**PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL**

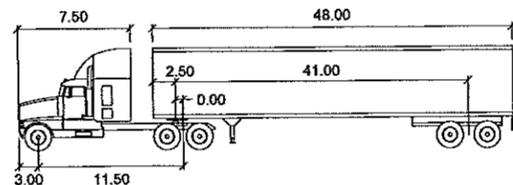
SHEET TITLE
**TRUCK/CAR
TURN PLAN**

SHEET NUMBER

C2.1

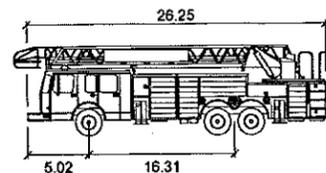


DELIVERY TRUCK



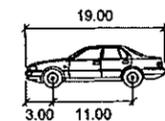
Delivery	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

FIRE TRUCK



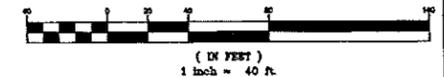
FIRE	feet
Width	: 7.87
Track	: 7.87
Lock to Lock Time	: 6.0
Steering Angle	: 41.7

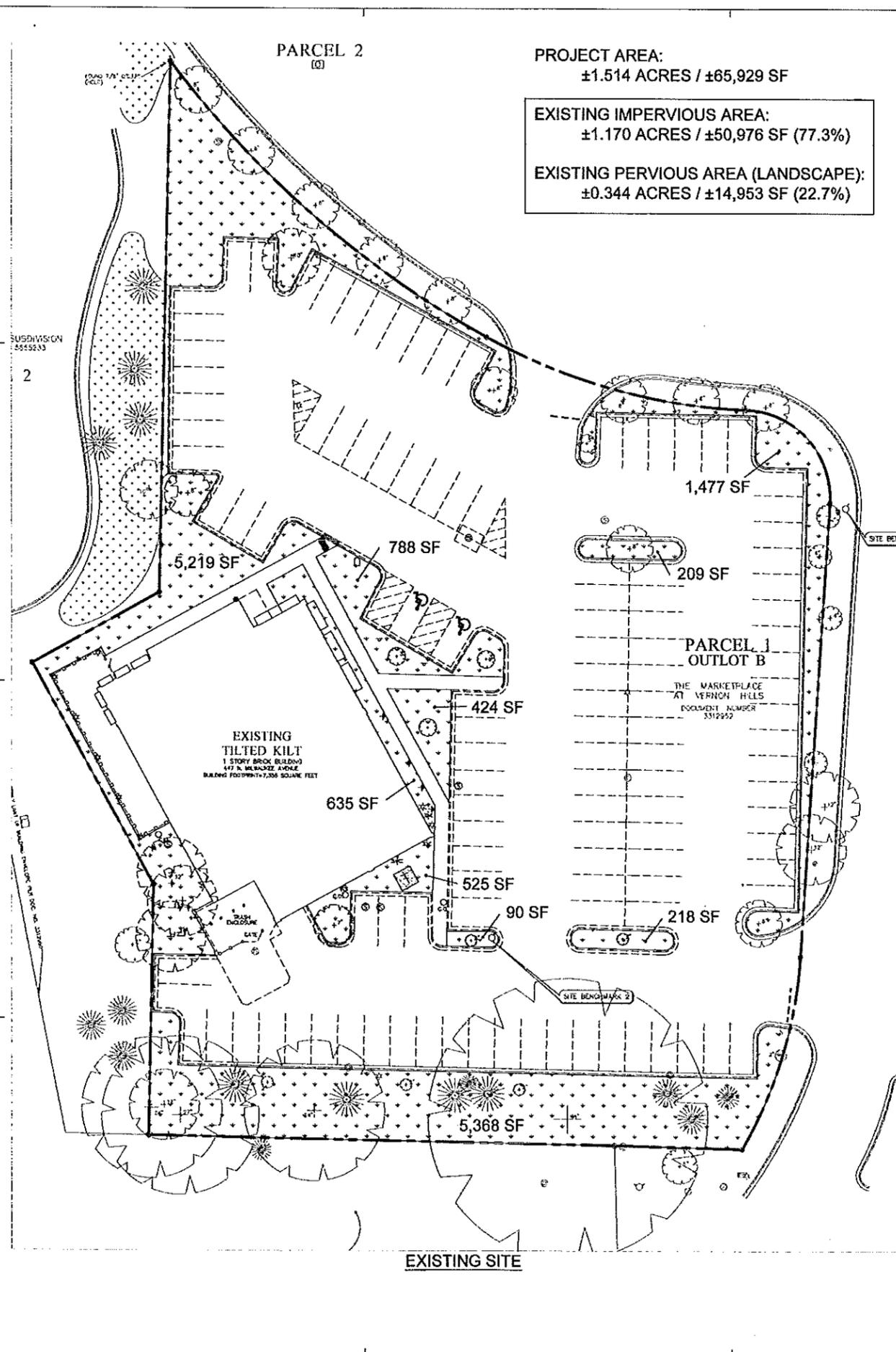
CAR



CAR	feet
Width	: 7.00
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6

GRAPHIC SCALE



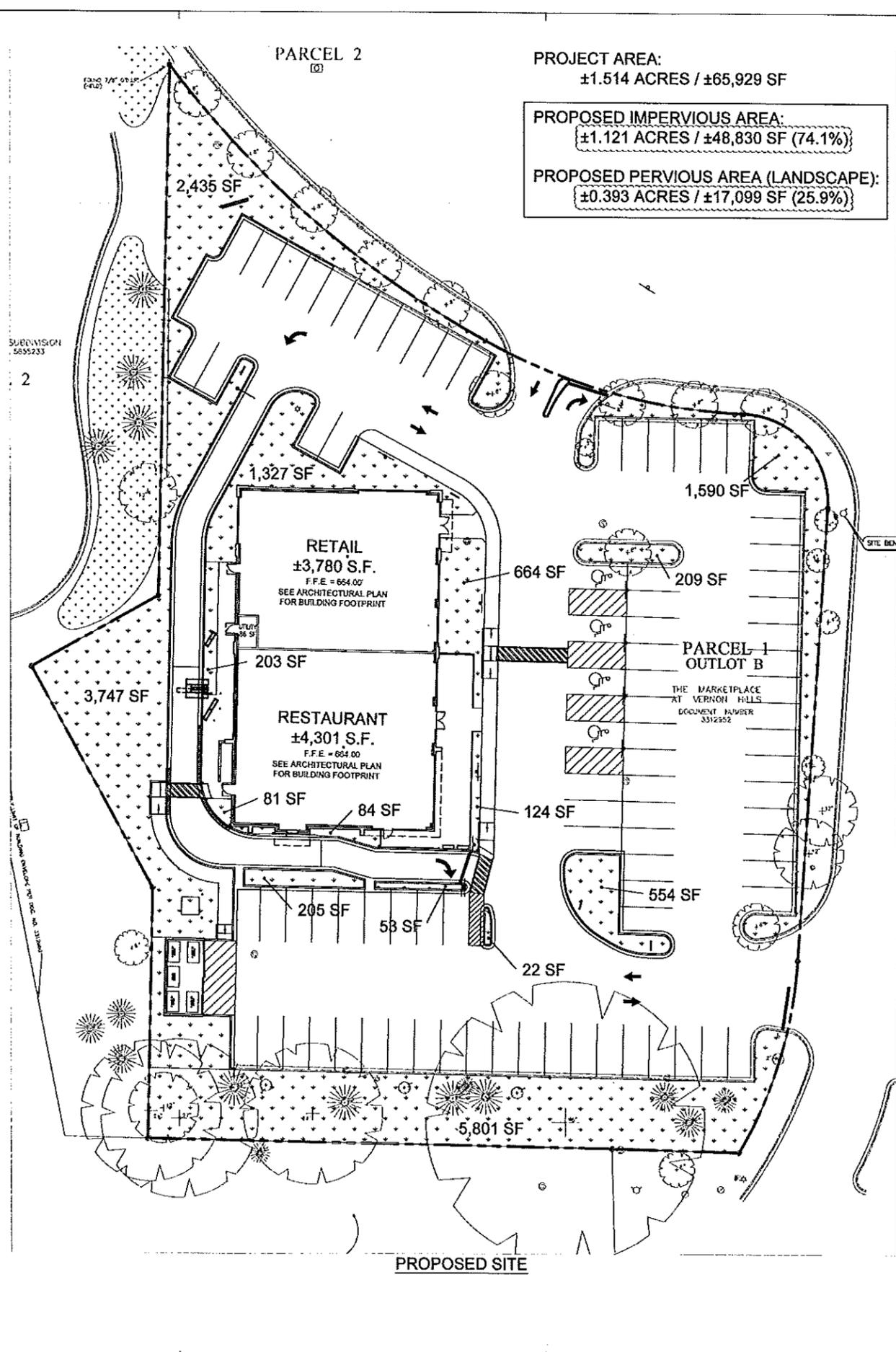


PROJECT AREA:
±1.514 ACRES / ±65,929 SF

EXISTING IMPERVIOUS AREA:
±1.170 ACRES / ±50,976 SF (77.3%)

EXISTING PERVIOUS AREA (LANDSCAPE):
±0.344 ACRES / ±14,953 SF (22.7%)

EXISTING SITE



PROJECT AREA:
±1.514 ACRES / ±65,929 SF

PROPOSED IMPERVIOUS AREA:
±1.121 ACRES / ±48,830 SF (74.1%)

PROPOSED PERVIOUS AREA (LANDSCAPE):
±0.393 ACRES / ±17,099 SF (25.9%)

PROPOSED SITE

shorewood
DEVELOPMENT GROUP
2150 East Lake Cook Road
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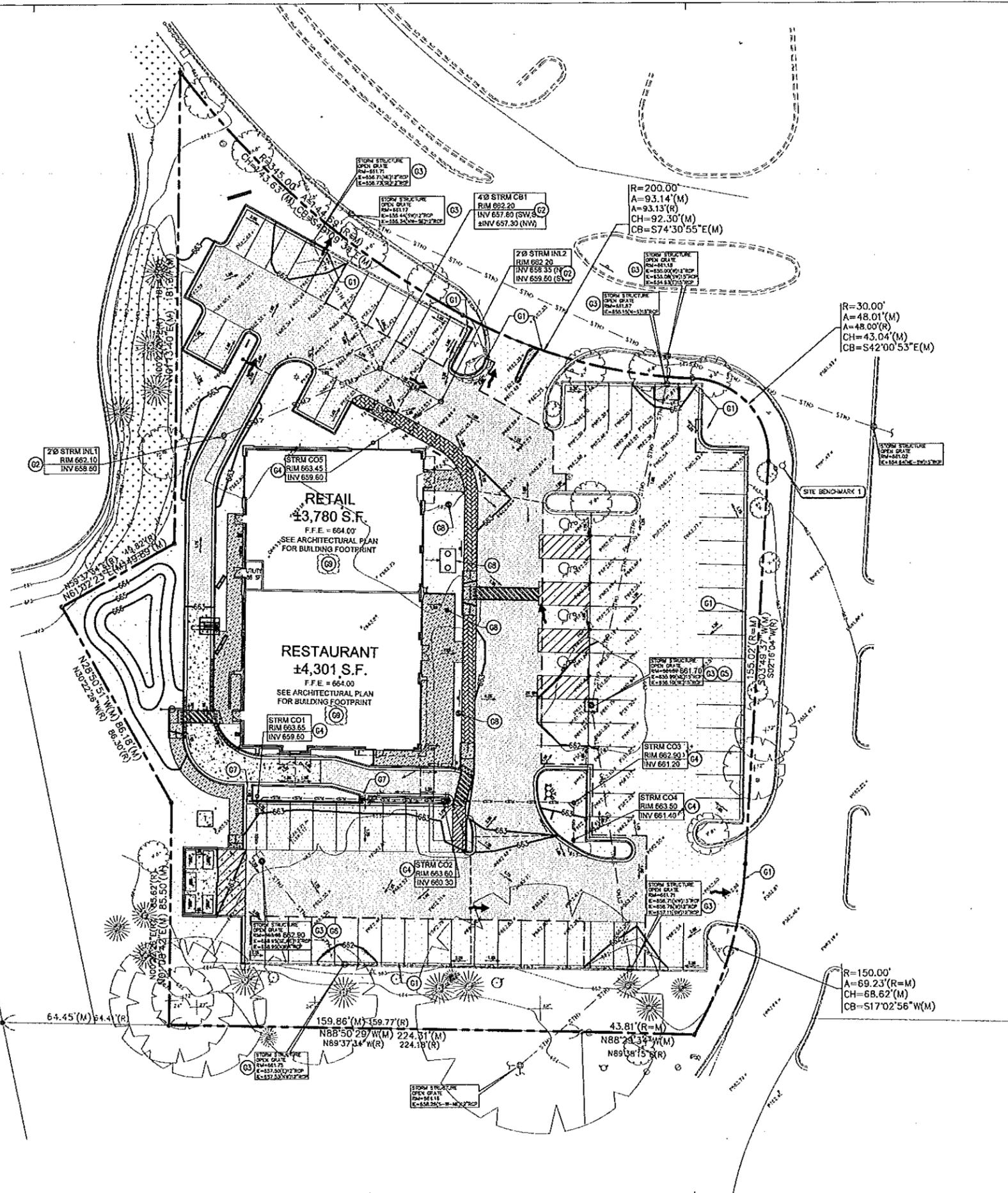
DATE	DESCRIPTION
03/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	RESUBMISSION
07/01/14	PLANNING AND ZONING

PROFESSIONAL ENGINEER
DAN VAPARUN AND SPATT
082-000780
STATE OF ILLINOIS
LICENSE NO. 082-000780
EXPIRATION DATE 11/30/2015

**PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL**

SHEET TITLE
**IMPERVIOUS
PERVIOUS AREA
EXHIBIT**

SHEET NUMBER
C2.3



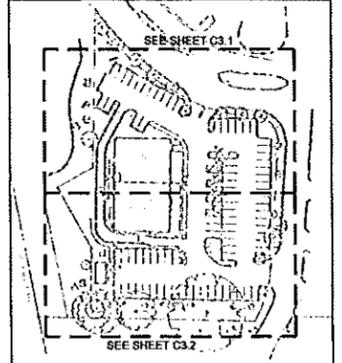
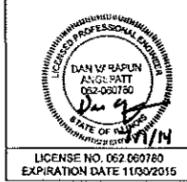
GRADING KEYNOTES

- G1 MATCH EXISTING ELEVATION FIELD VERIFY.
- G2 PROPOSED STORM SEWER STRUCTURE (TYP)
- G3 EXISTING STORM SEWER STRUCTURE
- G4 PROPOSED STORM CLEANOUT
- G5 EXISTING STORM STRUCTURE RIM TO BE RAISED TO MATCH FINISHED GRADE. CONTRACTOR TO FIELD VERIFY IF RECONSTRUCTION OF EXISTING FRAME AND GRATE FOR RIM ADJUSTMENT IS NECESSARY.
- G6 EXISTING STORM STRUCTURE RIM TO BE LOWERED TO MATCH FINISHED GRADE. CONTRACTOR SHALL FIELD VERIFY IF REMOVAL OF ADJUSTING RINGS OR BARREL SECTION ARE NECESSARY.
- G7 PROPOSED 3' WIDE CONCRETE CURB CHANNEL OPENING FOR SURFACE DRAINAGE
- G8 PROPOSED SANITARY STRUCTURE (TYP)
- G9 PROPOSED STEPPED FOUNDATION SEE ENLARGED GRADING PLAN AND STRUCTURAL DRAWINGS FOR ADDITIONAL DETAIL.

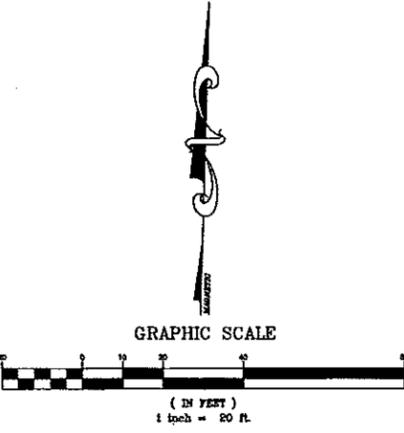
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07/01/14	PLANNING AND ZONING



KEYMAP



BENCHMARKS

REFERENCE BENCHMARK:
 NGS BENCHMARK - L4211 13
 PD - ACC53
 (NAD83 DATUM)

STAINLESS STEEL ROD LOCATED WITHIN THE CITY OF VERNON HILLS APPROXIMATELY 3/4 MILES NORTHWEST OF ENGLAND, 30 MILES SOUTHWEST OF DEERFIELD IN SECTION 4, TOWNSHIP 43 NORTH, RANGE 11 EAST. FROM THE JUNCTION OF ILLINOIS ROUTE 80 AND ILLINOIS ROUTE 21 IMPROVED SOUTH ON ILLINOIS ROUTE 21 0.9 MILES TO THE STATION LOCATED 37 FEET WEST OF THE BACK OF CURB OF ILLINOIS ROUTE 21. STATION IS 215 FEET SOUTH OF A SANITARY MANHOLE, 121.5 FEET NORTHWEST OF A SANITARY MANHOLE, 79 FEET WEST OF TO CURB, 33 FEET WEST OF CONCRETE SIDEWALK AND 2.0 FEET EAST OF AN DRAINAGE MANHOLE. WIRELESS POINT. ACCESS TO DATUM POINT THROUGH A RAIL LOOP CAP. DATUM POINT IS 0.45 FEET BELOW G.P.

ELEVATION = 668.03

SITE BENCHMARKS:
 SITE BENCHMARK 1
 IRON BOLT OF FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF SITE. ELEVATION = 664.30

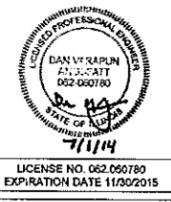
SITE BENCHMARK 2
 IRON BOLT OF FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF BUILDING. ELEVATION = 665.87

**PROPOSED REDEVELOPMENT
 447 N. MILWAUKEE AVENUE
 VERNON HILLS, IL**

**SHEET TITLE
 OVERALL
 GRADING
 PLAN**

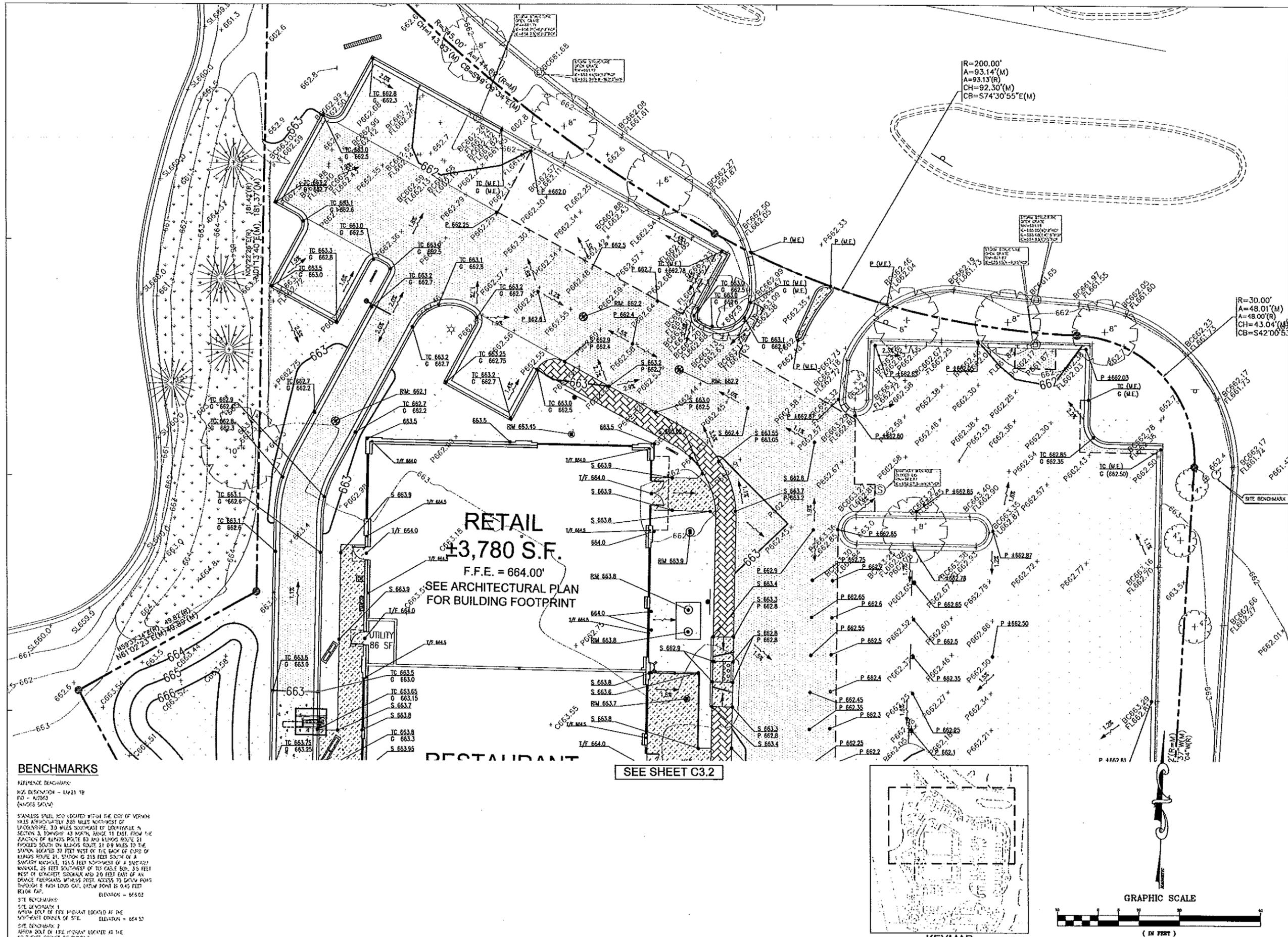
**SHEET NUMBER
 C3.0**

DATE	DESCRIPTION
03/20/14	TECHNICAL REVIEW
06/27/14	TECHNICAL REVIEW
07/01/14	PLANNING AND ZONING



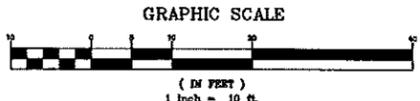
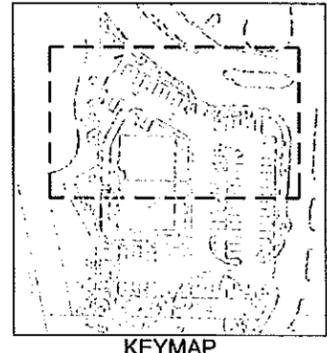
**PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL**

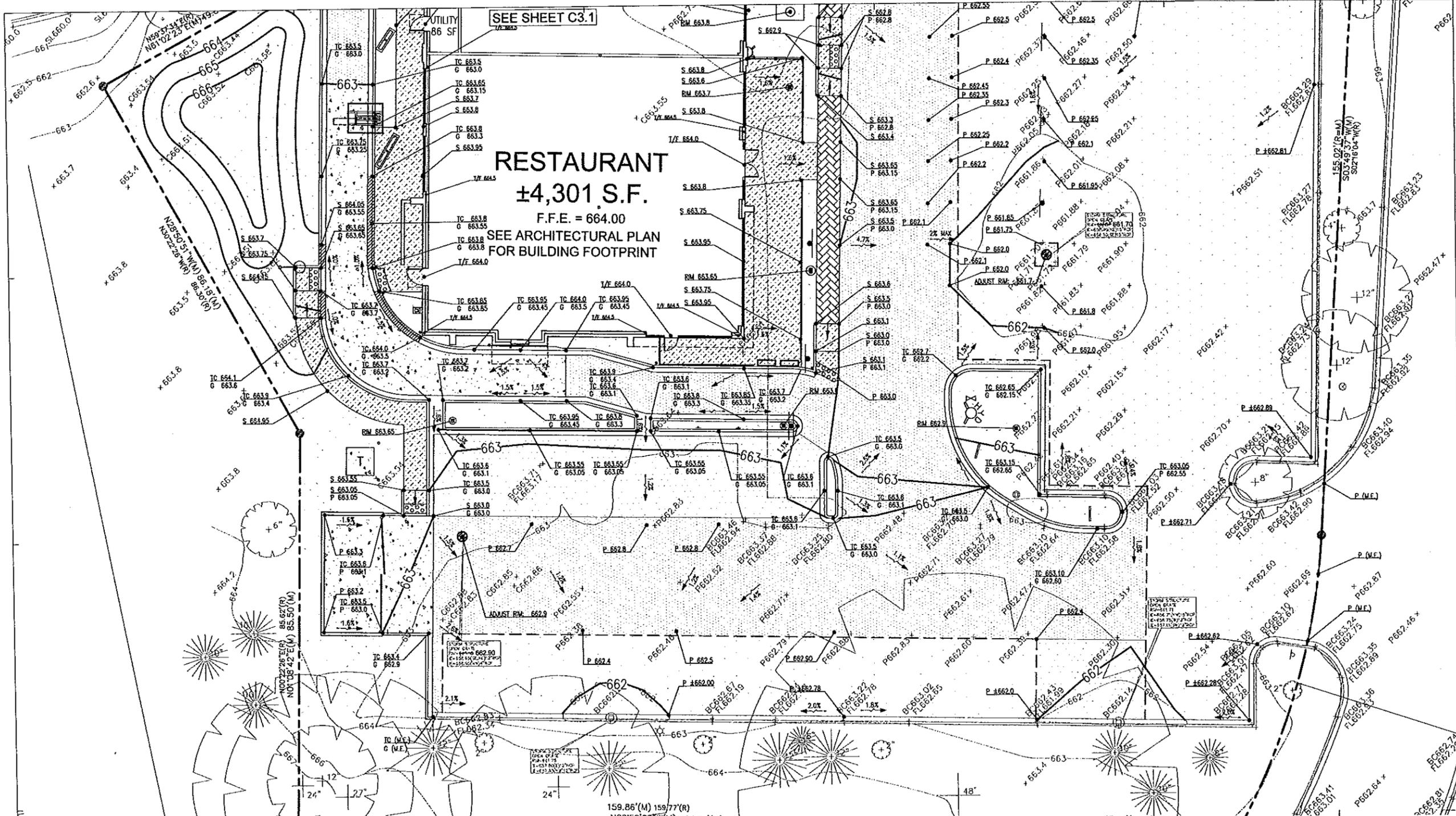
SHEET TITLE ENLARGED GRADING PLAN
SHEET NUMBER C3.1



R=200.00'
A=93.14'(M)
A=93.13'(R)
CH=92.30'(M)
CB=S74°30'55"E(M)

R=30.00'
A=48.01'(M)
A=48.00'(R)
CH=43.04'(M)
CB=S42°00'55"





SEE SHEET C3.1

RESTAURANT
 ±4,301 S.F.
 F.F.E. = 664.00
 SEE ARCHITECTURAL PLAN
 FOR BUILDING FOOTPRINT

64.45'(M) E 4.41'(R)

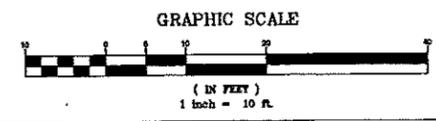
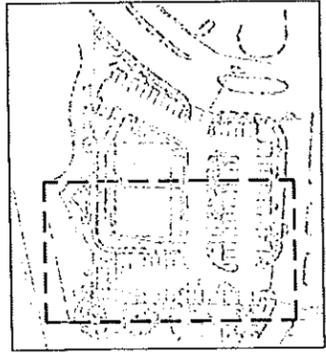
159.86'(M) 159.77'(R)
 N88°50'29" W(M) 224.31'(M)

BENCHMARKS

REFERENCE BENCHMARK:
 NOS DESIGNATION - 1421 1R
 PD - A-2583
 (NAD83 DATUM)

STAINLESS STEEL ROD LOCATED WITHIN THE CITY OF VERNON HILLS APPROXIMATELY 3.65 MILES NORTHWEST OF LINDENSHIRE, 3.0 MILES SOUTHWEST OF LINDENSHIRE IN SECTION 3, TOWNSHIP 43 NORTH, RANGE 11 EAST, FROM THE JUNCTION OF ILLINOIS ROUTE 60 AND ILLINOIS ROUTE 21 PROJECTED SOUTH ON ILLINOIS ROUTE 21 0.9 MILES TO THE STATION LOCATED 31 FEET WEST OF THE BACK OF CURB OF ILLINOIS ROUTE 21. STATION IS 218 FEET SOUTH OF A SARTAN MANHOLE, 121.5 FEET NORTHWEST OF A SARTAN MANHOLE, 70 FEET SOUTHWEST OF 120 DASH BOX, 3.5 FEET WEST OF CONCRETE SIDEWALK AND 2.0 FEET EAST OF AN ORANGE PROGRESS WIRELESS POST. ACCESS TO CATCH POINT THROUGH 8 INCH LEAD CAP. CATCH POINT IS 0.40 FEET BELOW CURB. ELEVATION = 658.83

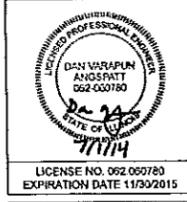
SITE BENCHMARKS:
 SITE BENCHMARK 1
 IRON BOLT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF SITE. ELEVATION = 664.30
 SITE BENCHMARK 2
 IRON BOLT OF FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF BUILDING. ELEVATION = 665.07



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LICENSE NO. 062-009780
 EXPIRATION DATE 11/30/2015

PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL

SHEET TITLE
ENLARGED GRADING PLAN

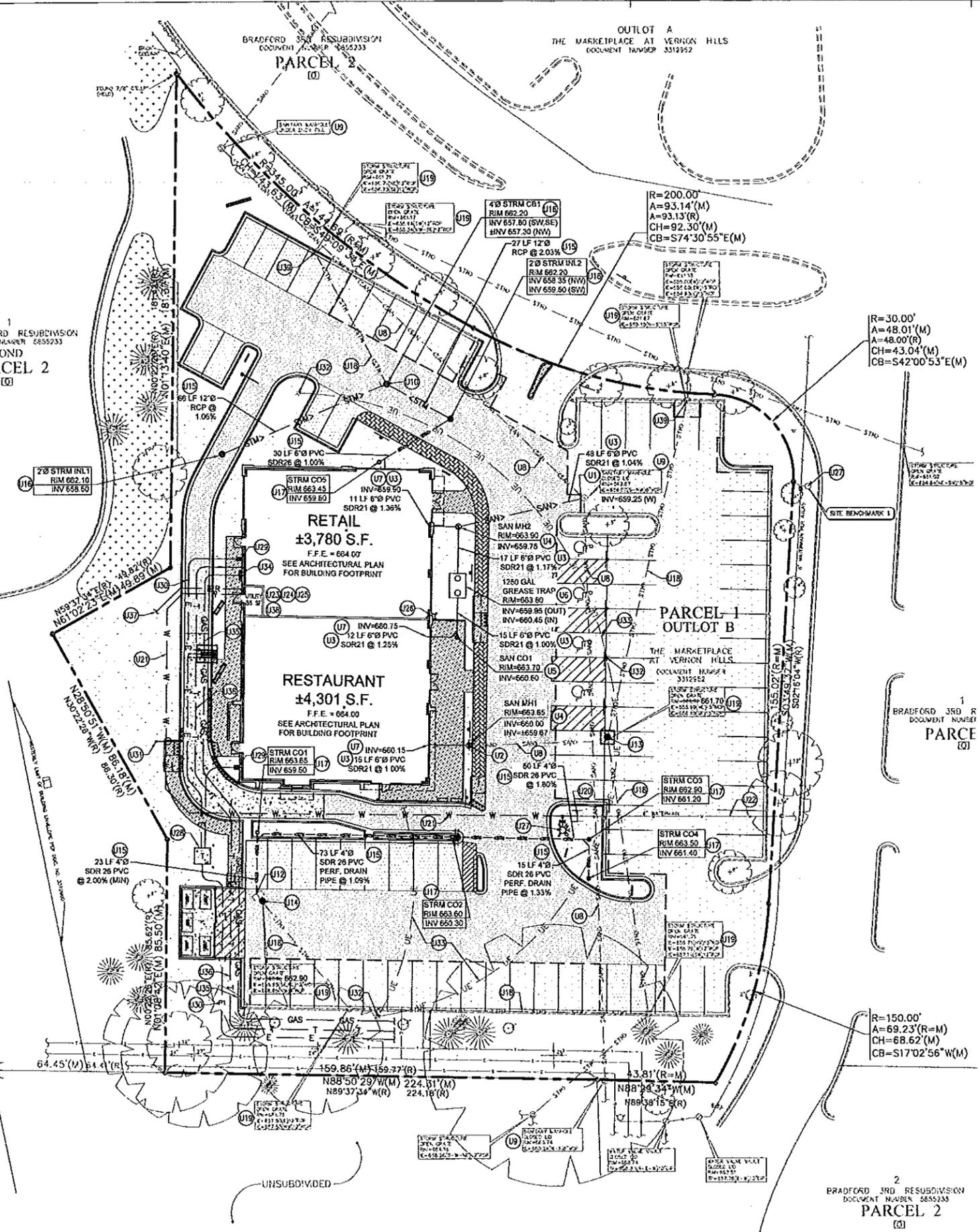
SHEET NUMBER
C3.2

BRADFORD 3RD RESUBDIVISION
DOCUMENT NUMBER 655233
POND
PARCEL 2

BRADFORD 3RD RESUBDIVISION
DOCUMENT NUMBER 655233
PARCEL 1
OUTLOT A
THE MARKETPLACE AT VERNON HILLS
DOCUMENT NUMBER 331252

BRADFORD 3RD RESUBDIVISION
DOCUMENT NUMBER 655233
PARCEL 2

MILWAUKEE AVENUE



UTILITY KEYNOTES

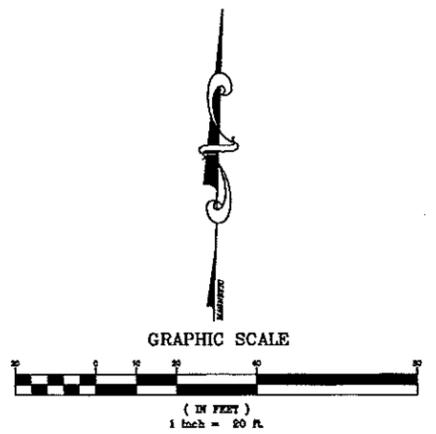
- U1 CONNECT PROPOSED 6" SANITARY LINE TO EXISTING SANITARY MANHOLE PER LOCAL JURISDICTION'S REQUIREMENTS
- U2 CONNECT EXISTING 6" SANITARY PIPE TO PROPOSED 4" SANITARY MANHOLE PER LOCAL JURISDICTION'S REQUIREMENTS. FIELD VERIFY EXACT LOCATION AND DEPTH.
- U3 PROPOSED SANITARY SEWER LINE (TYP)
- U4 PROPOSED SANITARY SEWER MANHOLE (TYP)
- U5 PROPOSED SANITARY CLEANOUT WITH BRASS CAP PER LOCAL JURISDICTION'S REQUIREMENTS
- U6 PROPOSED 1250 GALLON GREASE TRAP. (SEE SHEET C4.0 FOR DETAIL)
- U7 PROPOSED SANITARY SEWER POINT OF ENTRY. (SEE MEP PLANS FOR DETAILS)
- U8 EXISTING SANITARY SEWER LINE
- U9 EXISTING SANITARY SEWER STRUCTURE
- U10 CONNECT EXISTING 12" STORM SEWER TO PROPOSED 4" STORM STRUCTURE PER LOCAL JURISDICTION'S REQUIREMENTS. FIELD VERIFY EXACT LOCATION AND DEPTH.
- U11 CONNECT PROPOSED 4" STORM SEWER LINE TO EXISTING 4" STORM SEWER LINE PER LOCAL JURISDICTION'S REQUIREMENTS. FIELD VERIFY EXACT LOCATION AND DEPTH.
- U12 EXISTING STORM STRUCTURE RIM TO BE RAISED TO MATCH FINISHED GRADE. CONTRACTOR TO FIELD VERIFY IF RECONSTRUCTION OF EXISTING FRAME AND GRATE FOR RIM ADJUSTMENT IS NECESSARY.
- U13 EXISTING STORM STRUCTURE RIM TO BE LOWERED TO MATCH FINISHED GRADE. CONTRACTOR SHALL FIELD VERIFY IF REMOVAL OF ADJUSTING RINGS OR BARREL SECTION ARE NECESSARY.
- U14 PROPOSED STORM SEWER LINE (TYP)
- U15 PROPOSED STORM STRUCTURE
- U16 PROPOSED STORM SEWER CLEAN-OUT WITH BRASS CAP PER LOCAL JURISDICTION'S REQUIREMENTS
- U17 EXISTING STORM SEWER LINE (TYP)
- U18 EXISTING STORM STRUCTURE (TYP)
- U19 CONNECT PROPOSED 6" WATER LINE TO EXISTING 6" WATER LINE PER LOCAL JURISDICTION'S REQUIREMENTS. FIELD VERIFY SIZE AND LOCATION
- U20 PROPOSED 6" DUCTILE IRON WATER LINE
- U21 EXISTING 6" WATER LINE. FIELD VERIFY SIZE AND LOCATION
- U22 PROPOSED RPZ BACKFLOW PREVENTER ASSEMBLY LOCATED INSIDE BUILDING PER LOCAL JURISDICTION'S REQUIREMENTS
- U23 PROPOSED DOMESTIC METER LOCATED INSIDE BUILDING PER LOCAL JURISDICTION'S REQUIREMENTS
- U24 PROPOSED IRRIGATION METER LOCATED INSIDE BUILDING PER LOCAL JURISDICTION'S REQUIREMENTS
- U25 PROPOSED FIRE DEPARTMENT CONNECTION (FDC) PER LOCAL JURISDICTION'S REQUIREMENTS
- U26 RELOCATED FIRE HYDRANT. CONTRACTOR SHALL PROVIDE ALL NECESSARY APPURTENANCES AND VERIFY CONDITION FOR REUSE. THERE SHALL BE NO OBSTRUCTIONS (TREES, BUSHES, SIGNS, ETC.) WITHIN A 4 FOOT DIAMETER. THE HYDRANT SHALL HAVE A FLAG WHICH EXTENDS ABOVE THE FIRE HYDRANT. THE HYDRANT SHALL BE PAINTED SAFETY YELLOW AND THE CAPS SAFETY BLUE PER LOCAL JURISDICTION'S REQUIREMENTS.
- U27 PROPOSED TRANSFORMER PAD WITH BOLLARDS. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY TO INSTALL TRANSFORMER PAD PER ELECTRIC COMPANY'S SPECIFICATIONS AND VERIFY LOCATION. CONTRACTOR SHALL HAVE INSPECTOR VERIFY CONSTRUCTION PRIOR TO CLOSING TRENCH.
- U28 PROPOSED ELECTRIC METERS. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS
- U29 PROPOSED ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.
- U30 PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLANS FOR ADDITIONAL INFORMATION)
- U31 EXISTING LIGHT POLE. EXISTING HPS LUMINAIRES ARE TO BE REPLACED WITH LED LIGHTING. CONTRACTOR SHALL REPAIR ANY DAMAGE TO BASE COVER AND REPAINT POLES AS NECESSARY. FIELD VERIFY. (SEE PHOTOMETRIC PLANS FOR ADDITIONAL INFORMATION)
- U32 EXISTING ELECTRIC ROUTING FOR LIGHTING. FIELD VERIFY LOCATION
- U33 PROPOSED GAS METER. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION
- U34 PROPOSED GAS SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION.
- U35 PROPOSED TELEPHONE SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUIT.
- U36 PROPOSED 1" IRRIGATION WATER LINE. SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION
- U37 PROPOSED REDUCED PRESSURE BLACK FLOW PREVENTER FOR SPRINKLER SYSTEM LOCATED INSIDE BUILDING'S UTILITY ROOM
- U38 GENERAL CONTRACTOR SHALL FIELD VERIFY CONDITION OF EXISTING STORM STRUCTURE AND RECONSTRUCT OR ADJUST PER VILLAGE REQUIREMENTS.

BENCHMARKS

REFERENCE BENCHMARKS:
N85 00'00" W 121'11" E
PD = 455.53
(NAD83 DATUM)

STAINLESS STEEL ROD LOCATED WITHIN THE CITY OF VERNON HILLS APPROXIMATELY 3/8" DIAMETER NORTHWEST OF LINDSEY'S, 30 MILES SOUTHWEST OF LAKEVILLE IN SECTION 3, TOWNSHIP 43 NORTH, RANGE 11 EAST, FROM THE JUNCTION OF ILLINOIS ROUTE 80 AND ILLINOIS ROUTE 21. PROCEED SOUTH ON ILLINOIS ROUTE 21 0.9 MILES TO THE STATION LOCATED 37 FEET WEST OF THE BACK OF CURB OF ILLINOIS ROUTE 21. STATION IS 216 FEET SOUTH OF A SANITARY MANHOLE, 111.5 FEET NORTHWEST OF A SANITARY MANHOLE, 28 FEET SOUTHWEST OF ITS CABLE BOX, 35 FEET WEST OF CONCRETE SIGNPOST AND 20 FEET EAST OF AN ORANGE FRIEZELESS WOODEN POST. ACCESS TO BENCHMARK THROUGH 6" DIA. 1500 GAL. DRAIN FROM 15 GAL. FEET R/O W CAR. ELEVATION = 655.03

SITE BENCHMARKS:
SITE BENCHMARK 1
ASPH. BOLT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF SITE. ELEVATION = 664.30
SITE BENCHMARK 2
ASPH. BOLT OF THE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF BUILDING. ELEVATION = 655.67



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LICENSE NO. 062.060780
EXPIRATION DATE 11/30/2015

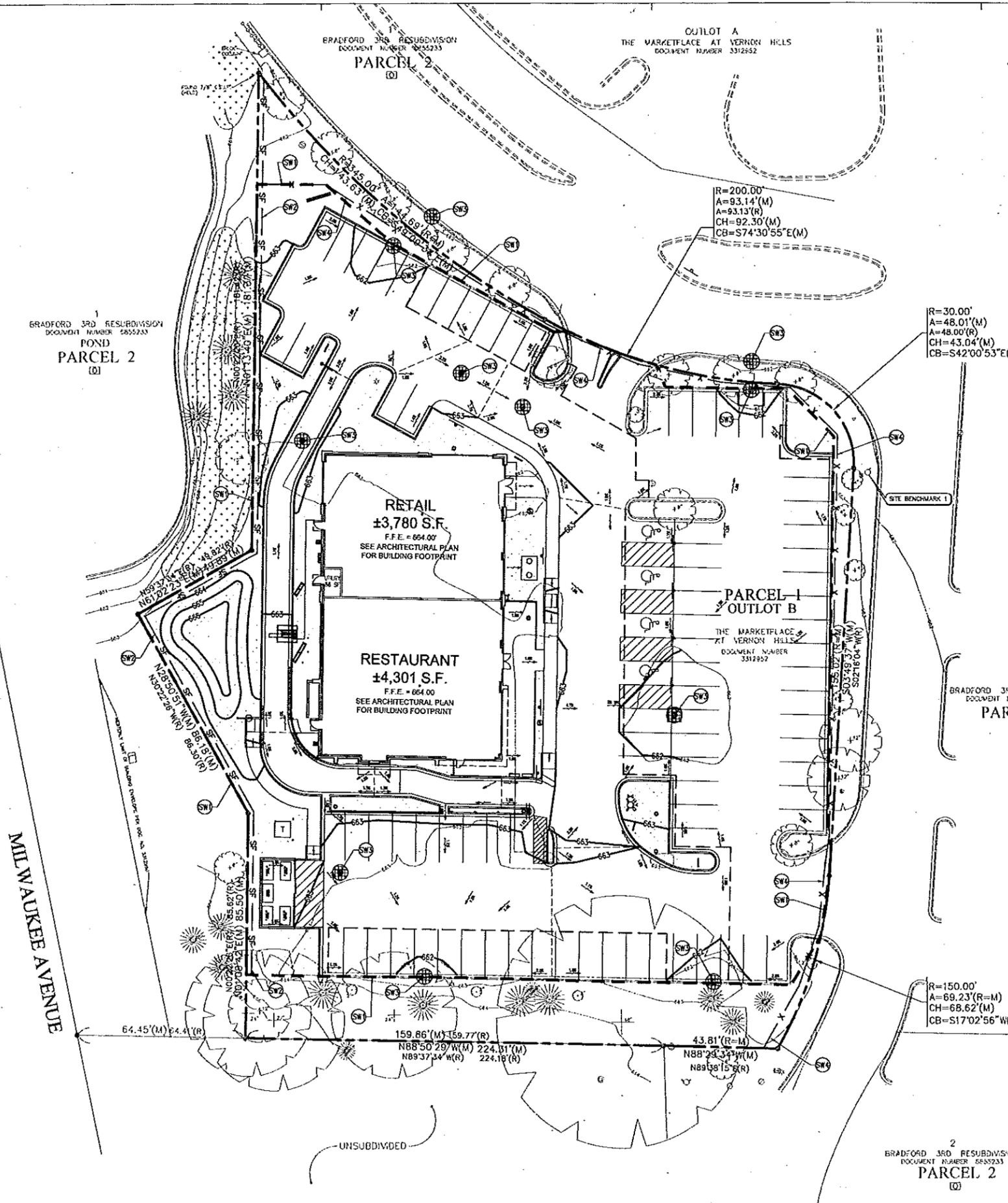
PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
C4.0

GENERAL EROSION NOTES

- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND BECOME FAMILIAR WITH ITS CONTENTS.
- B. CONTRACTOR SHALL INSURE THAT THE SITE COMPLIES WITH THE LATEST EDITION OF THE ILLINOIS URBAN MANUAL, ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL, LAKE COUNTY WATERSHED DEVELOPMENT, NRCS DETAILS, AND VILLAGE REQUIREMENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE. AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- E. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- F. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- G. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- H. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- I. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS, OTHER PETROLEUM BASED OR TOXIC LIQUIDS, AND CALCIUM CHLORIDE FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- J. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- K. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
- L. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 14 CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE.
- M. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- N. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- O. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- P. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- Q. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. SLOPES LEFT EXPOSED WILL, WITHIN 7 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
- R. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.
- S. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- T. DEWATERING OPERATIONS SHALL BE ROUTED THROUGH EFFECTIVE SEDIMENT CONTROL MEASURES TO PROTECT ADJOINING PROPERTIES AND DISCHARGE FROM EROSION.



SWPPP KEYNOTES

- SW1 PROPOSED PROJECT AND LAND DISTURBANCE LIMITS
- SW2 PROPOSED SILT FENCE
- SW3 PROPOSED FLEXSTORM INLET PROTECTION
- SW4 PROPOSED TEMPORARY CONSTRUCTION FENCE. FIELD VERIFY LOCATION

DISTURBED AREA

TOTAL DISTURBED AREA	±0.88 ACRES / ±38,400 SF
PROPOSED IMPERVIOUS AREA	±0.66 ACRES / ±28,920 SF (84%)
PROPOSED PERVIOUS AREA (LANDSCAPE)	±0.22 ACRES / ±9,474 SF (16%)

SWPPP CONSTRUCTION SCHEDULE

1. OBTAIN ALL APPLICABLE SITE PERMITS AND THOROUGHLY REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (I.E. SILT FENCE).
3. INSTALL INLET PROTECTION DEVICES FOR EXISTING STORM SEWER INLETS AND DRAINAGE STRUCTURES.
4. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.6 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
 - 4.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
 - 4.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
5. INSTALL NEW STORM SEWERS AND OTHER SITE UTILITIES AS INDICATED ON THE PLANS.
6. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
7. INSTALL TEMPORARY CONCRETE WASHOUT BIN PRIOR TO COMMENCEMENT OF ANY CONCRETE WORK ON SITE.
8. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
9. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED FOR AREAS ADJACENT TO THE PROJECT SITE.
10. INSTALL BUILDING FOUNDATION AND COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
11. REMOVE ALL TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.

shorewood DEVELOPMENT GROUP
 2150 East Lake Cook Road
 Suite 820
 Buffalo Grove, IL 60089
 T: (224) 532-2401

ISSUE/REVISION RECORD

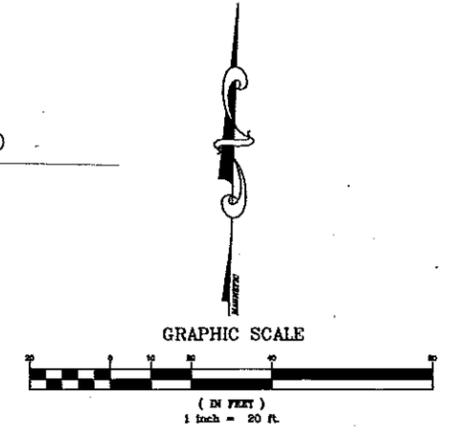
DATE	DESCRIPTION
03/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	REVISION
07/01/14	PLANNING AND ZONING

DAN VARAPUN
 P.E. (P) 062-000780
 LICENSE NO. 062-060780
 EXPIRATION DATE 11/30/2015

**PROPOSED REDEVELOPMENT
 447 N. MILWAUKEE AVENUE
 VERNON HILLS, IL**

**SHEET TITLE
 STORMWATER
 POLLUTION
 PREVENTION
 PLAN**

**SHEET NUMBER
 C5.0**



ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	RESUBMISSION
07/01/14	PLANNING AND ZONING

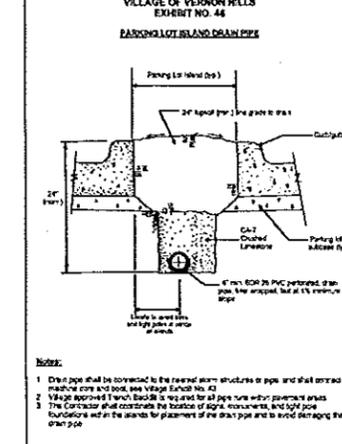
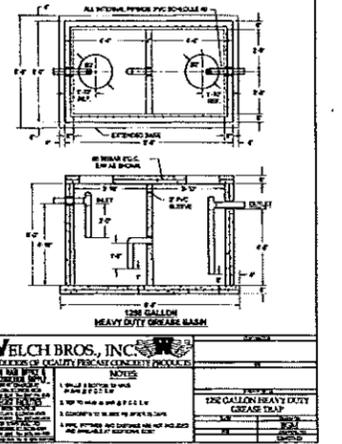
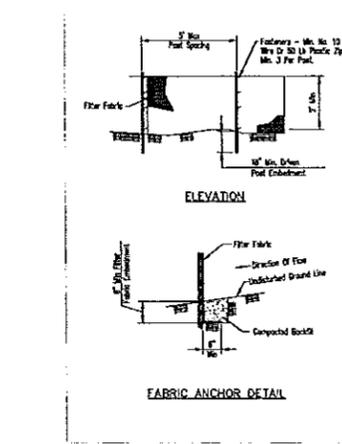
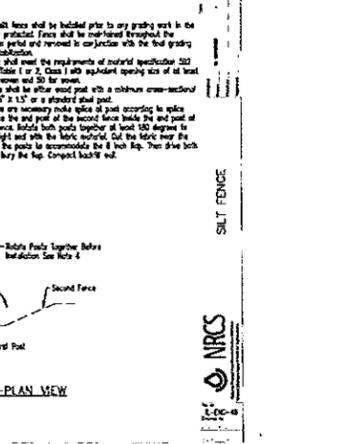
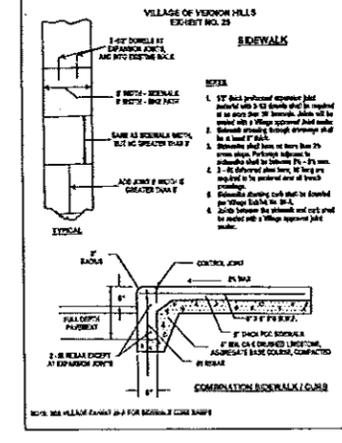
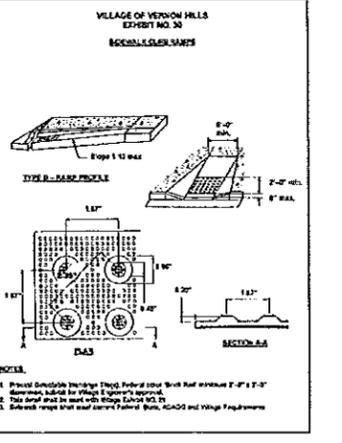
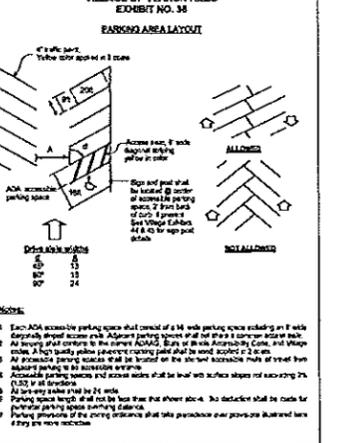
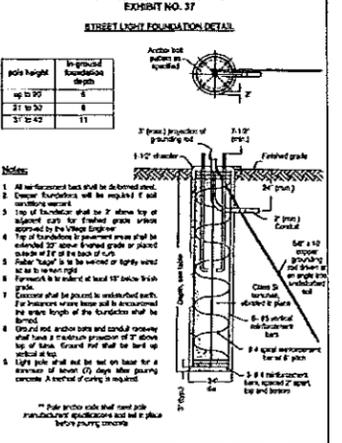
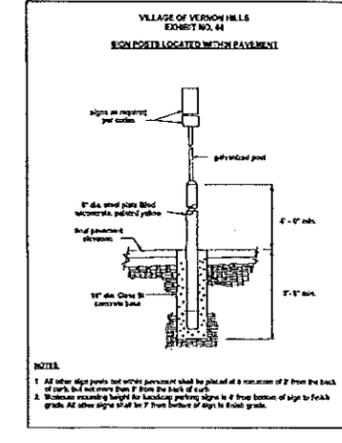
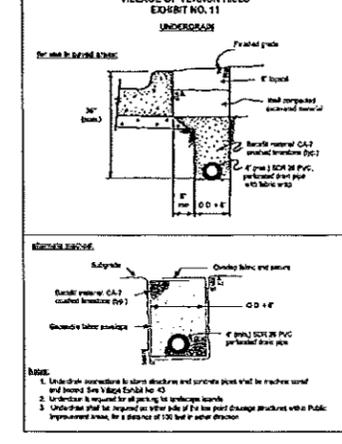
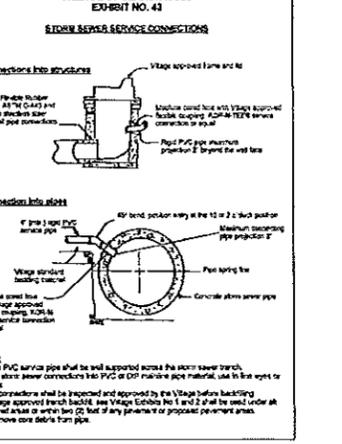
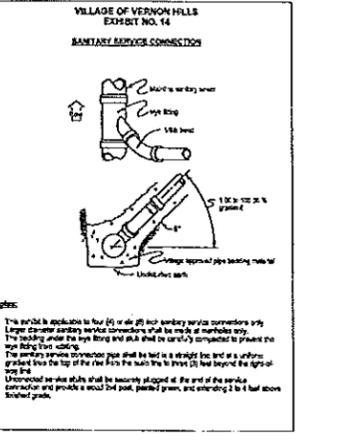
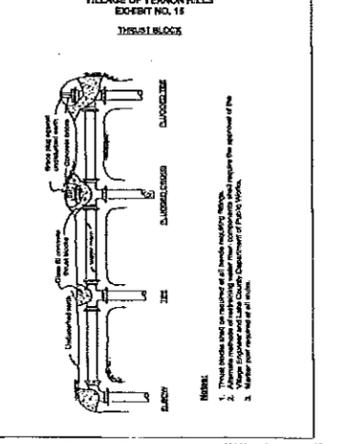
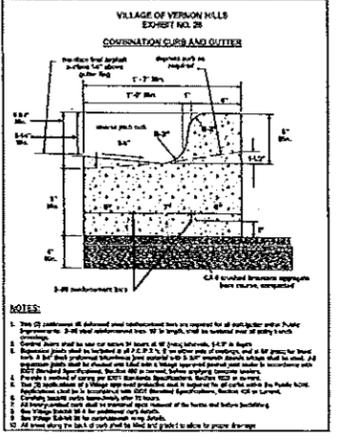
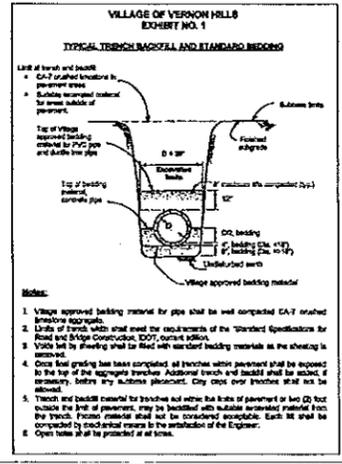
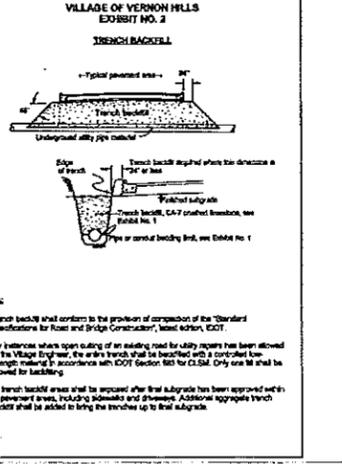
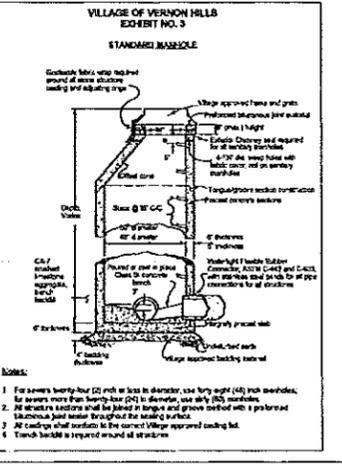
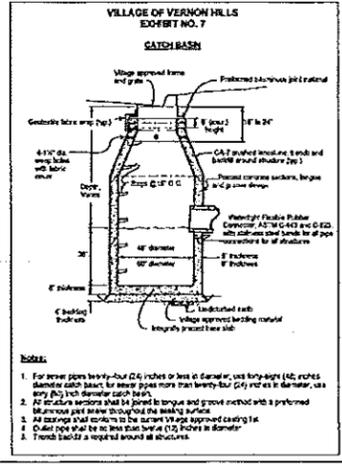
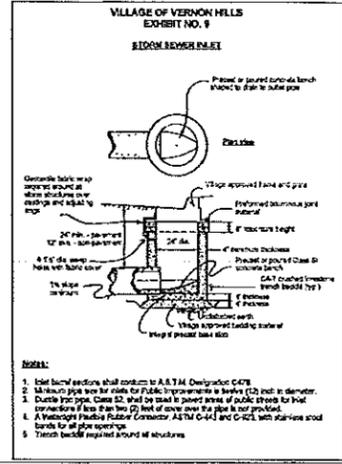


LICENSE NO. 062-060780
EXPIRATION DATE 11/30/2015

**PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL**

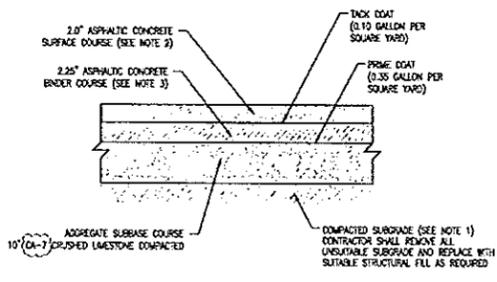
SHEET TITLE
**CONSTRUCTION
DETAILS 1**

SHEET NUMBER
C6.0



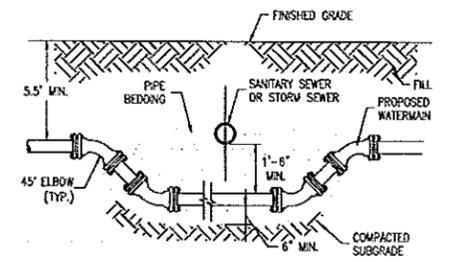
WELCH BROS., INC.
PROFESSIONAL ENGINEER
No. 022-060780
1200 GALLON HEAVY DUTY CONCRETE TRAP





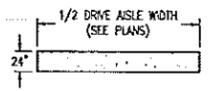
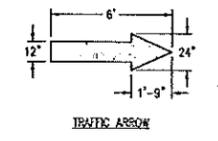
- NOTES:
- SEE GEOTECHNICAL ENGINEERING REPORT FOR ADDITIONAL INFORMATION
 - DOT HMA SURFACE COURSE MAX 1\"/>
 - HMA BINDER COURSE MAX 1\"/>

HEAVY DUTY ASPHALT PAVEMENT DETAIL
NOT TO SCALE



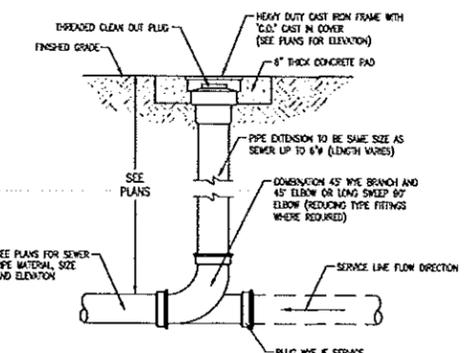
- NOTES:
- WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THE REQUIRED SEPARATION OR BE RECONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AWAY FROM THE SEWER AS POSSIBLE.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS INDICATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT, CAST IRON PIPE AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS, OR ENCASED IN CONCRETE IN ACCORDANCE WITH LOCAL REQUIREMENTS.

WATERMAIN CROSSING DETAIL
NOT TO SCALE



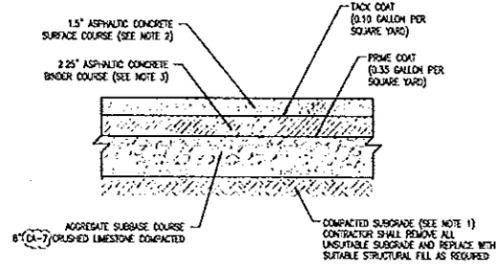
- NOTES:
- STOP BARS AND TRAFFIC ARROWS SHALL BE PAINTED WHITE WITH HIGH QUALITY REFLECTIVE TRAFFIC PAINT UNLESS OTHERWISE SPECIFIED BY LOCAL CODES.
 - SEE PLANS FOR ALL PAVEMENT MARKING LOCATIONS AND ORIENTATION.

STOP BAR AND TRAFFIC ARROW DETAILS
NOT TO SCALE



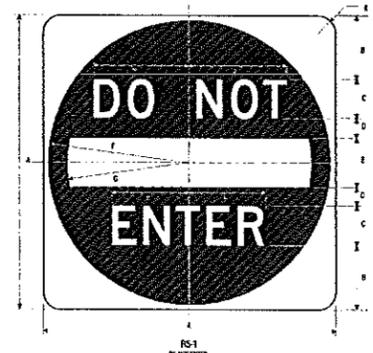
- NOTES:
- SEE APPLICABLE DETAIL FOR PIPE BEDDING AND BACKFILL REQUIREMENTS.
 - BRASS CAPS SHALL BE PROVIDED.

SEWER CLEAN OUT DETAIL
NOT TO SCALE



- NOTES:
- SEE GEOTECHNICAL ENGINEERING REPORT FOR ADDITIONAL INFORMATION
 - DOT HMA SURFACE COURSE MAX 1\"/>
 - HMA BINDER COURSE MAX 1\"/>

LIGHT DUTY ASPHALT PAVEMENT DETAIL
NOT TO SCALE



Sign Size	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	
36	30	33	36	39	42	45	48	51	54	57	60	63	66	69	72	75	78	81	84	87	90	93	96	99	102	105	108
48	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104	108	112	116	120	124	128	132	136	140	144

COLORS: BLACK - RED (RETROREFL)
WHITE BACKGROUND - WHITE (RETROREFL)
1-79



LEGEND - GREEN (RETROREFL), WHITE SYMBOL ON BLUE (RETROREFL) BACKGROUND - WHITE (RETROREFL)
*Reduce spacing 50%.
**See page 6-31.
***See page 6-2 for arrow design.

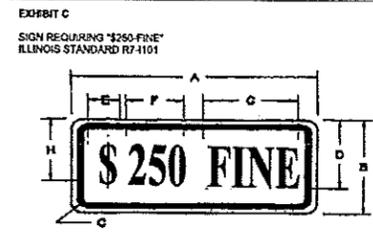
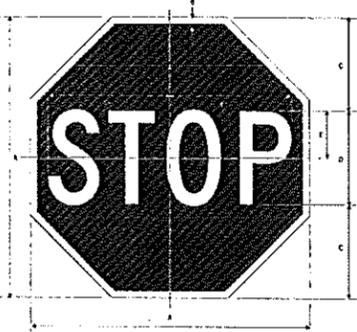


EXHIBIT C
SIGN REQUIRING "250-FINE"
ILLINOIS STANDARD R7-1101

SIGN SIZE	DIMENSIONS							
	A	B	C	D	E	F	G	H
48x72	48	72	12	12	12	12	12	12
60x90	60	90	15	15	15	15	15	15
72x108	72	108	18	18	18	18	18	18

All dimensions in inches. Do not round up or down.



Sign Size	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	
36	30	33	36	39	42	45	48	51	54	57	60	63	66	69	72	75	78	81	84	87	90	93	96	99	102	105	108
48	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104	108	112	116	120	124	128	132	136	140	144

COLORS: BLACK - WHITE (RETROREFL)
WHITE BACKGROUND - WHITE (RETROREFL)
1-1

shorewood DEVELOPMENT GROUP
2150 East Lake Cook Road
Suite 820
Buffalo Grove, IL 60089
T: (224) 552 2401

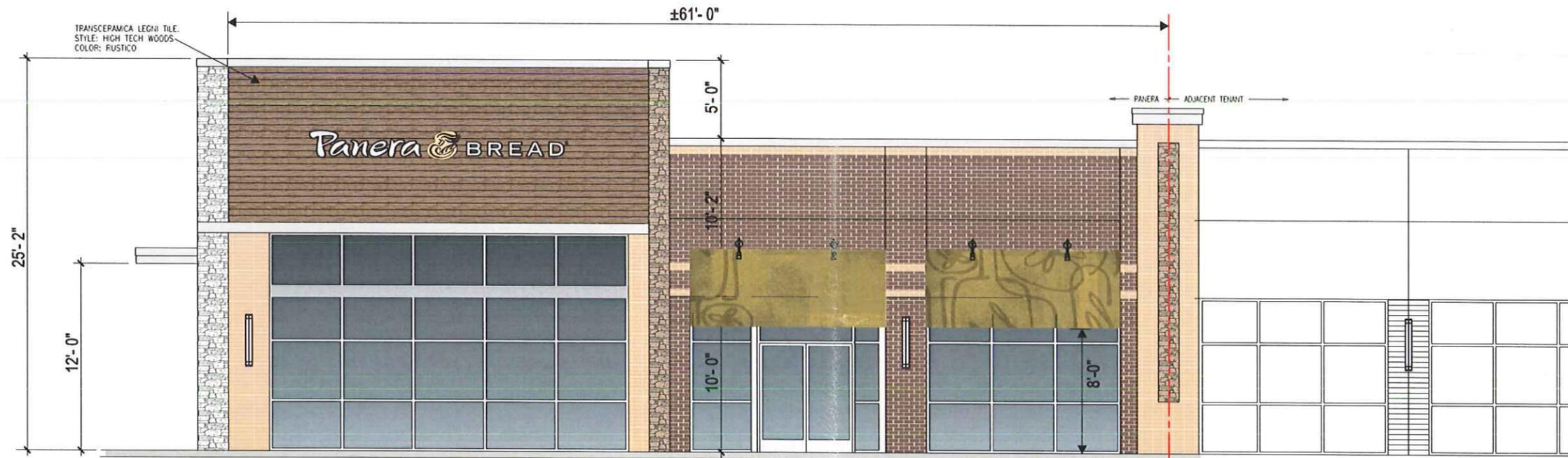
ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	RESUBMISSION
07/01/14	PLANNING AND ZONING

PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVENUE
VERNON HILLS, IL

SHEET TITLE
CONSTRUCTION DETAILS 2

SHEET NUMBER
C6.1

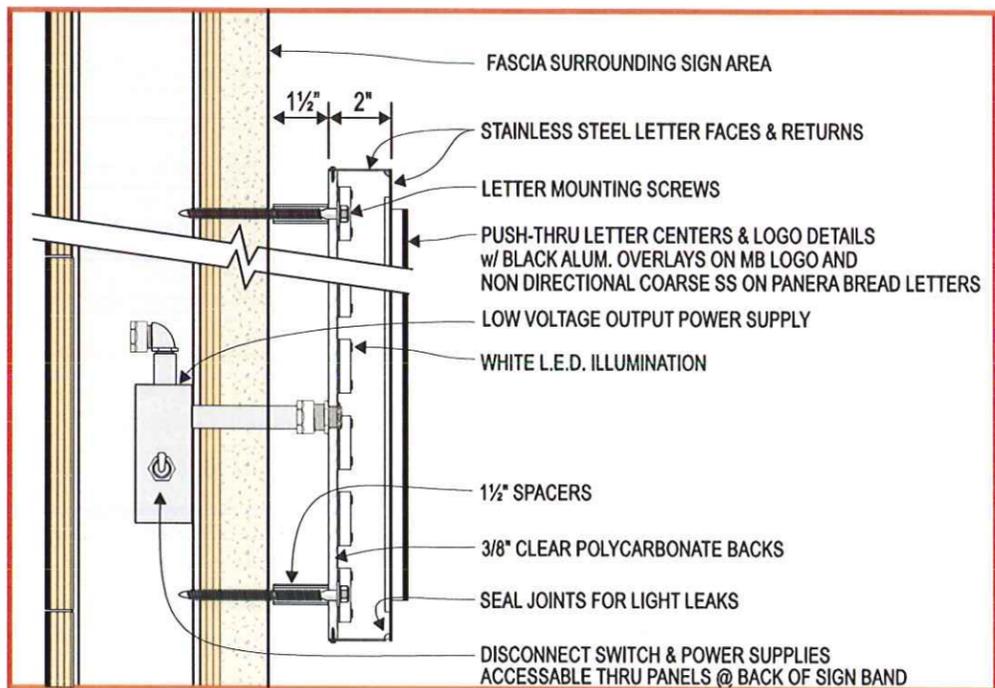


EAST ELEVATION: 1/8" = 1'-0"
(Primary Frontage)

SIGN AREA ALLOWANCE = 30.45 SQ.FT.

"PANERA BREAD & MB LOGO" SIGN = 29.62 SQ.FT.
MB LOGO DOES NOT EXCEED 4 S/F
TOTAL PROPOSED..... = 29.62 SQ.FT.

CODE COMPLIANT



HALO-LIT PANERA BREAD LETTERS



SIGN ELEVATION: 1/4" = 1'-0" **28.29 SQ.FT.**

HALO-LIT CHANNEL LETTERS

- STENCIL-CUT STAINLESS STEEL FACES & RETURNS "PANERA BREAD" PAINTED BLACK WITH NON DIRECTIONAL COARSE 1/8" THICK SS OVERLAY
- BRASS MOTHER BREAD LOGO WITH NON DIRECTIONAL COARSE FINISH WITH LIGHT OXIDATION
- (CLEAR) PUSH THRU LOGO DETAILS & LETTER CENTERS w/ 3/16" NON DIRECTIONAL COARSE SS OVERLAY
- CLEAR EDGE EXPOSURE DEPTH ON PUSH-THRUS 1/16"
- WHITE L.E.D. ILLUMINATION
- 3/8" THICK CLEAR POLYCARBONATE BACKS
- 1/4-20 S.S. ALL-THREAD w/ 1 1/2" DEEP SPACERS/STANDOFFS
- U.L. & MANUFACTURERS LABELS

making your mark.

676 GEORGE WASHINGTON HIGHWAY
LINCOLN, RI 02865-4255

401-334-9100 401-334-7799
PHONE FAX

www.mandevillesign.com
WEB

APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JM	added awnings to East elevation	03/10/14
2	WD	update sign code notes	03/18/14
3	WD	updates to bldg & signs	03/20/14
4	WD	update bldg., delete awnings	05/01/14
5	JM	added awnings	05/02/14
6	JM	Reduced MB logo NTE "P" height omitted Drive thru signage	06/24/14
7	WD	redesigned sign pkg.	06/28/14
8	JM	updated sign layout and omitted blade sign	07/07/14
9	JM	updated sign colors and awning pattern	07/14/14
10			
11			

DO NOT SCALE DRAWING

CLIENT

STORE NUMBER #651

447 North Milwaukee Ave.
VERNON HILLS, IL

LOCATION

#25710-1

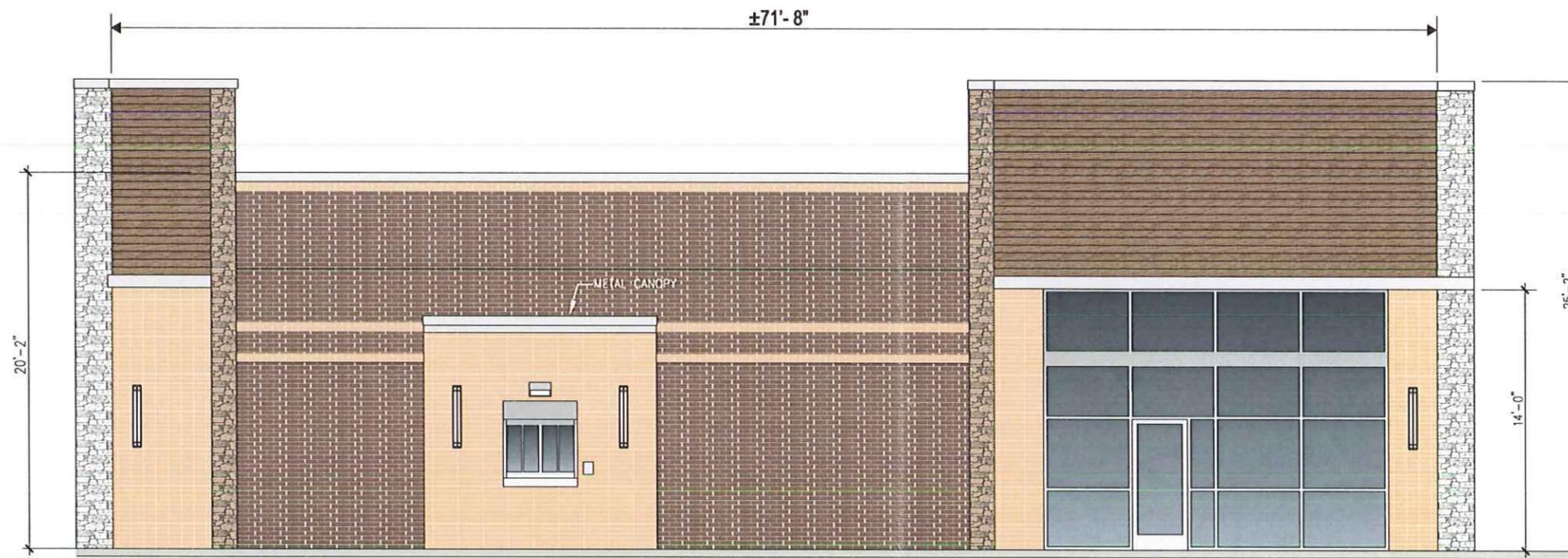
WORK ORDER NUMBER(S)

PROJECT MANAGER JIM F.

CHECKED BY	DATE	ARTIST	DATE
			02/27/14

Y-046a
DRAWING NAME

RECEIVED
JUL 14 2014
COMMUNITY DEVELOPMENT
DEPARTMENT



SOUTH ELEVATION: 1/8" = 1'- 0"

ARTWORK EXCLUSIVE PROPERTY OF
SINCE 1917



MANDEVILLE SIGN
making your mark.

676 GEORGE WASHINGTON HIGHWAY
LINCOLN, RI 02865-4255

401-334-9100 401-334-7799
PHONE FAX

www.mandevillesign.com
WEB

APPROVALS

Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO	BY	DESCRIPTION	DATE
1	WD	update sign code notes	03/18/14
2	WD	updates to bldg & signs	03/20/14
3	WD	update bldg, delete signs	05/01/14
4	WD	redesigned sign pkg.	06/28/14
5			
6			
7			
8			
9			
10			
11			
12			

DO NOT SCALE DRAWING

CLIENT



STORE NUMBER #651

447 North Milwaukee Ave.
VERNON HILLS, IL

LOCATION

#25710-1

WORK ORDER NUMBER(S)

PROJECT MANAGER JIM F.

CHECKED BY DATE ARTIST DATE 02/27/14

Y-046bV3

DRAWING NAME



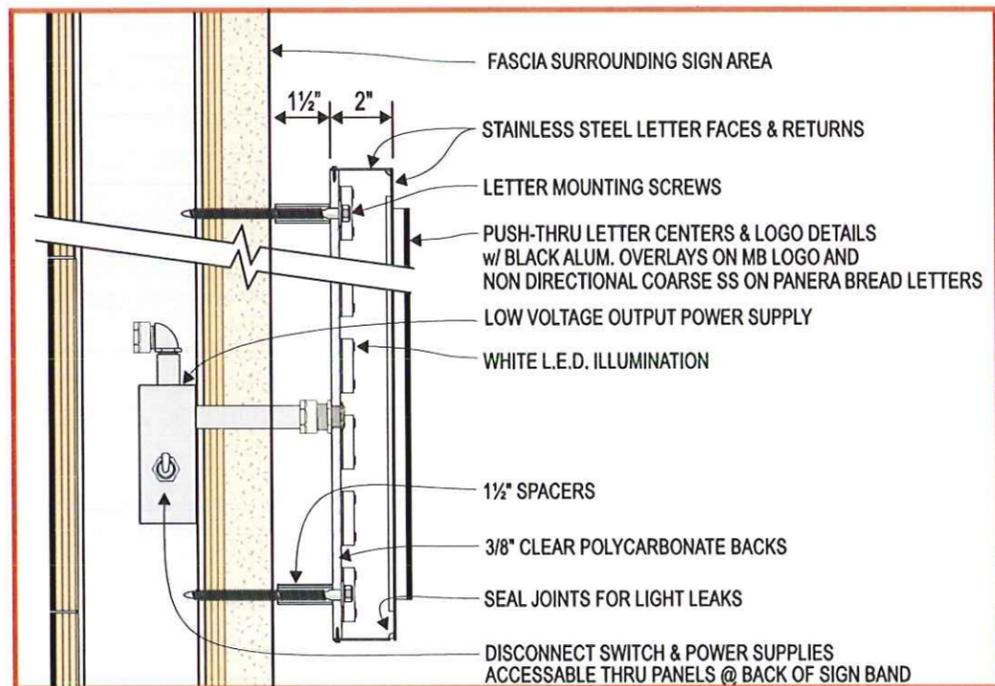
WEST ELEVATION: 1/8" = 1'-0"

AWNING DETAILS ON SHEET: Y-046d

SIGN AREA ALLOWANCE = 60.9 SQ.FT.

"PANERA BREAD" SIGN = 29.62 SQ.FT.
 MB LOGO DOES NOT EXCEED 4 S/F
 TOTAL PROPOSED..... = 29.62 SQ.FT.

CODE COMPLIANT



HALO-LIT PANERA BREAD LETTERS



SIGN ELEVATION: 1/4" = 1'-0" 28.29 SQ.FT.

HALO-LIT CHANNEL LETTERS

- STENCIL-CUT STAINLESS STEEL FACES & RETURNS "PANERA BREAD" PAINTED BLACK WITH NON DIRECTIONAL COARSE 1/8" THICK SS OVERLAY
- BRASS MOTHER BREAD LOGO WITH NON DIRECTIONAL COARSE FINISH WITH LIGHT OXIDATION
- (CLEAR) PUSH THRU LOGO DETAILS & LETTER CENTERS w/ 3/16" NON DIRECTIONAL COARSE SS OVERLAY
- CLEAR EDGE EXPOSURE DEPTH ON PUSH-THRUS 1/16"
- WHITE L.E.D. ILLUMINATION
- 3/8" THICK CLEAR POLYCARBONATE BACKS
- 1/4-20 S.S. ALL-THREAD w/ 1 1/2" DEEP SPACERS/STANDOFFS
- U.L. & MANUFACTURERS LABELS

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 LINCOLN, RI 02865-4255

401-334-9100 401-334-7799
 PHONE FAX

WEB www.mandevillesign.com

APPROVALS
 Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO	BY	DESCRIPTION	DATE
1	WD	update sign code notes	03/18/14
2	JM	update exterior elevation	03/19/14
3	WD	updates to bldg & signs	03/20/14
4	WD	updates to bldg & signs	05/01/14
5	JM	Reduced MB logo HTE "P" height omitted Drive thru signage	06/24/14
6	JM	Reduced MB logo HTE 4 S/F	06/25/14
7	WD	redesigned sign pkg.	06/28/14
8	JM	updated sign layout and omitted blade sign	07/07/14
9	JM	updated sign colors and awning pattern	07/14/14
10			
11			

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Panera
BREAD

STORE NUMBER #651

447 North Milwaukee Ave.
 VERNON HILLS, IL

LOCATION

#25710-1

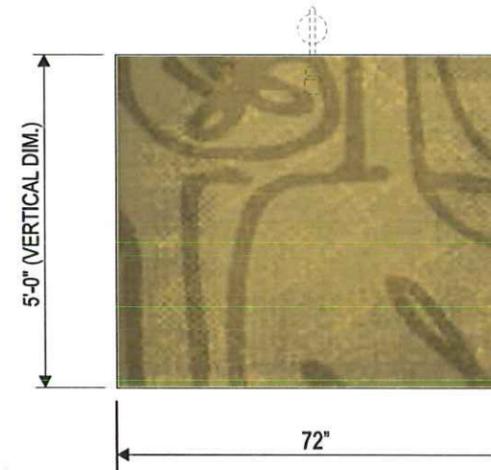
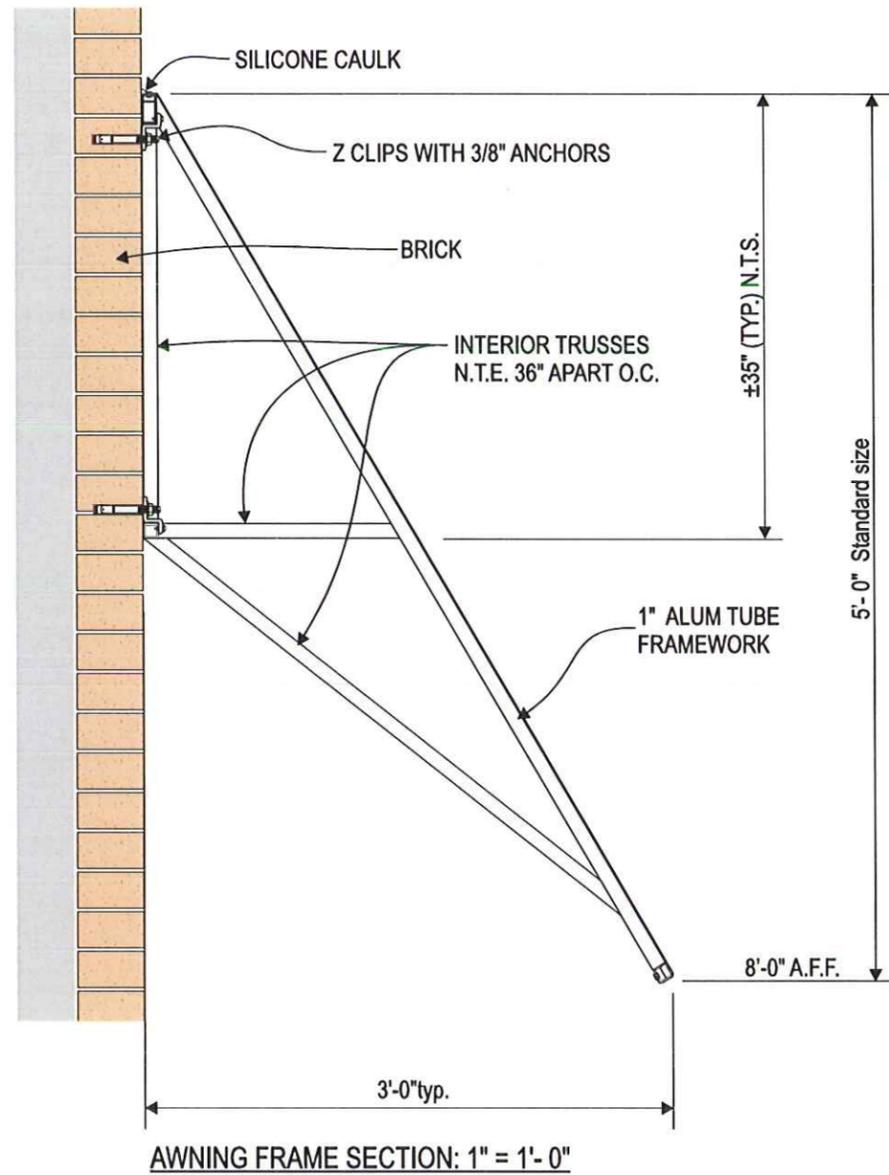
WORK ORDER NUMBER(S)

PROJECT MANAGER JIM F.

CHECKED BY DATE ARTIST DATE

Y-046cV3

DRAWING NAME



AWNING: 3/8" = 1'-0"

TYPICAL AWNING COVER DESIGN

EXTERNALLY ILLUMINATED G-3 AWNING:

- 1" SQ. ALUMINUM EXTRUSION WELDED FRAME
- FRAME POWDER COATED SEIBERT SILVER #189110
- TRUSS SPACING N.T.E. 36" APART O.C.
- MAIN STREET DIGITALLU PRINTED FABRIC COVER
- GRAY PVC TRIM STAPLE COVER
- MOUNTED USING Z-CLIPS & APPROPRIATE ANCHORS
- G.C. TO PROVIDE WOOD BLOCKING IF NECESSARY

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APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO	BY	DESCRIPTION	DATE
1	WD	update awning detail	05/01/14
2	JM	update awning fabric	07/14/14
3			
4			
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12			

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STORE NUMBER #651

447 North Milwaukee Ave.
VERNON HILLS, IL

LOCATION

#25710-1

WORK ORDER NUMBER(S)

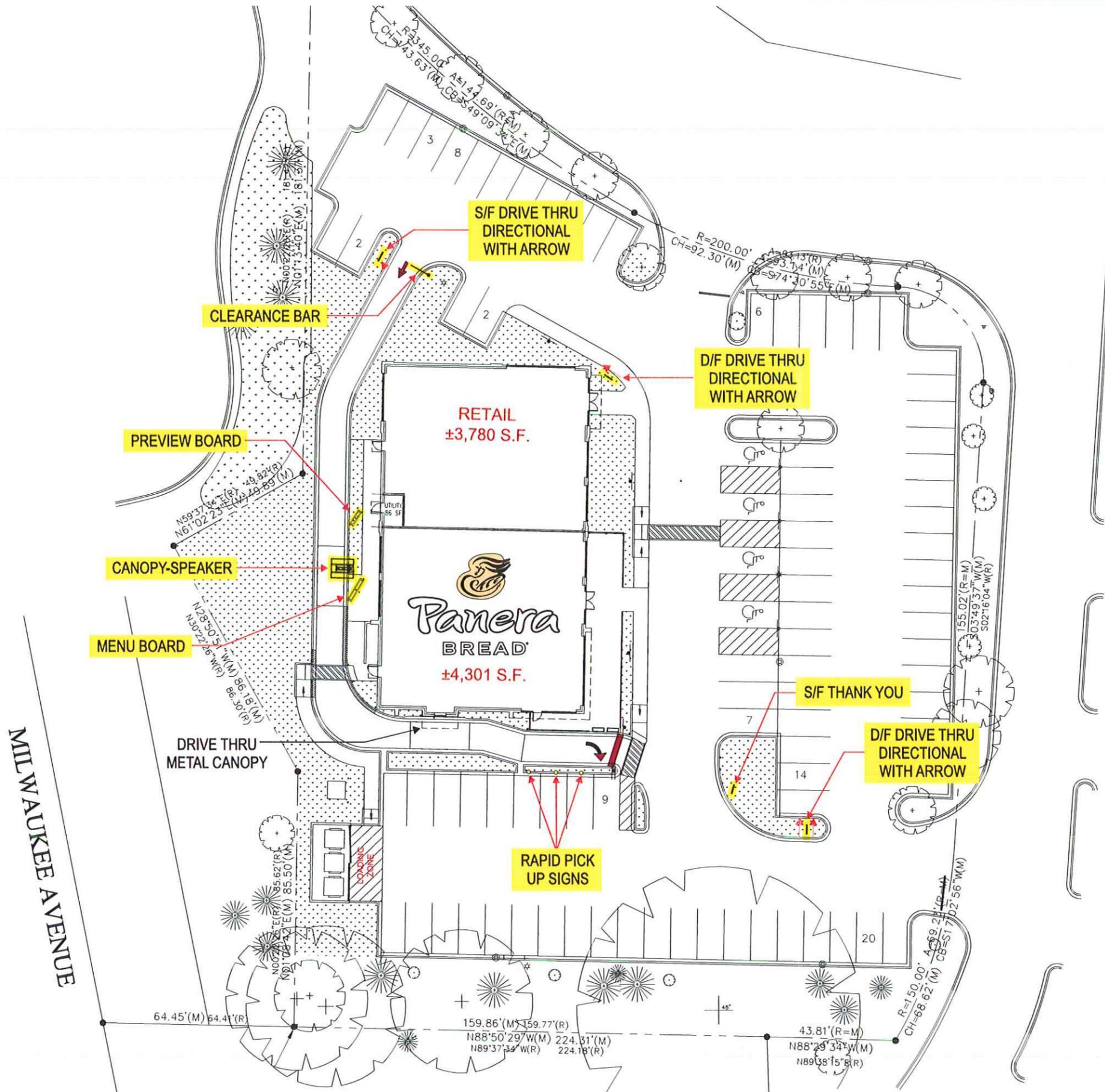
PROJECT MANAGER JIM F.

CHECKED BY DATE ARTIST DATE

02/27/14

Y-046d

DRAWING NAME



SITE PLAN: NOT TO SCALE

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APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JM	updated site plan	04/18/14
2	JM	added directional signs	04/20/14
3	JM	added RPU signs	04/22/14
4	WD	updated site plan	05/01/14
5	JM	removed monument sign and relocated RPU signs	05/15/14
6			
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12			

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Panera BREAD

STORE NUMBER #651

THE MARKETPLACE
 AT VERNON HILLS
 447 North Milwaukee Ave.
 VERNON HILLS, IL

LOCATION

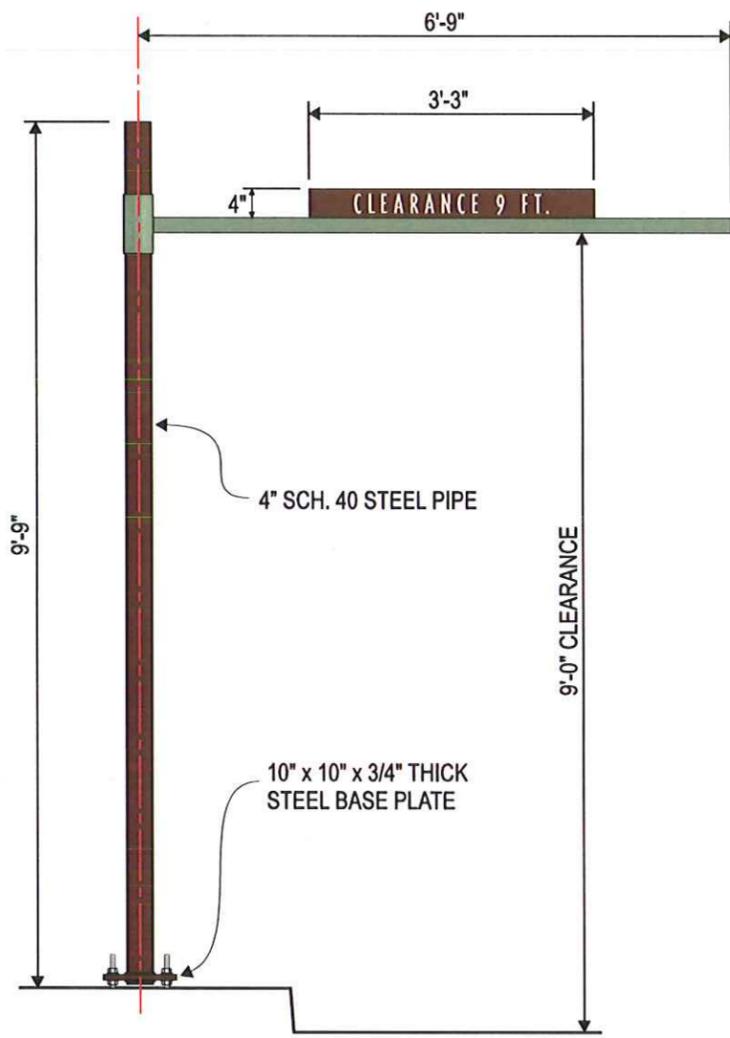
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WORK ORDER NUMBER(S)

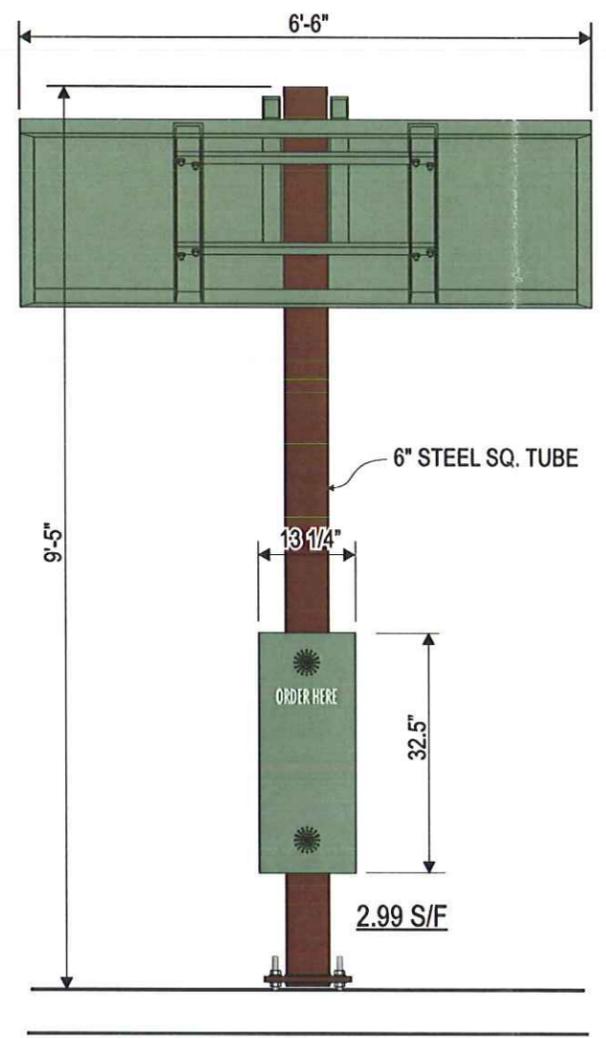
PROJECT MANAGER JIM F.

CHECKED BY	DATE	ARTIST	DATE
			02/27/14

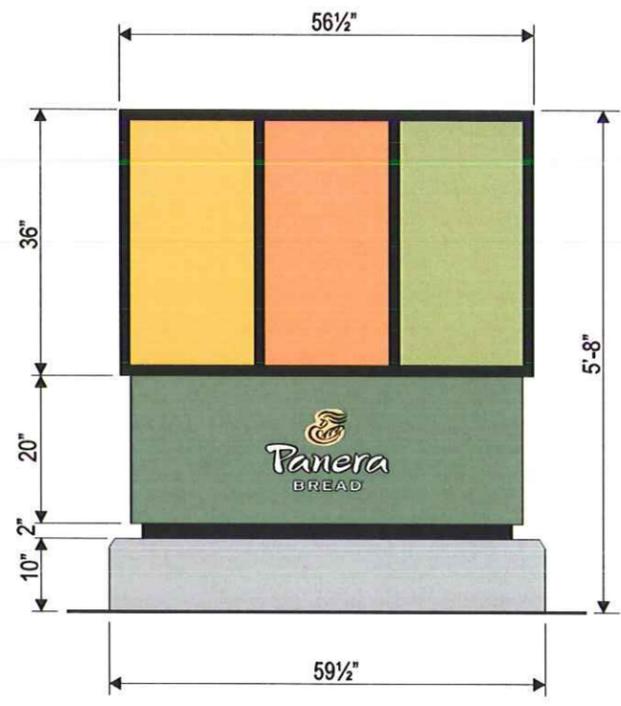
DRAWING NAME Y-046e



D/T HEIGHT CLEARANCE BAR
1/2" = 1'-0"



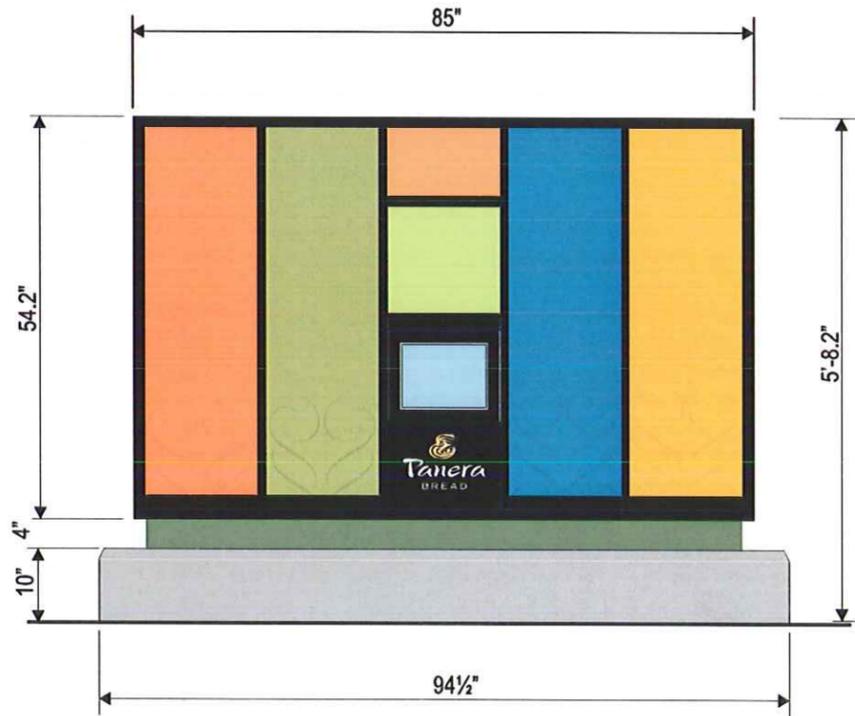
D/T CANOPY ELEVATION
1/2" = 1'-0"



PREVIEW BOARD ELEVATION

1/2" = 1'-0" 21.97 sq.ft.

Code notes: N.T.E. 8'-0" high. N.T.E. 32.0 sq.ft.



MENU BOARD ELEVATION

1/2" = 1'-0" 31.99 sq.ft.

Code notes: N.T.E. 8'-0" high. N.T.E. 32.0 sq.ft.

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APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	WD	update sign code notes	03/18/14
2	WD	update canopy, delete logo	05/01/14
3	JM	reduced size of speaker box	05/15/14
4			
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12			

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Panera BREAD

STORE NUMBER #651

447 North Milwaukee Ave.
VERNON HILLS, IL

LOCATION

#25710-1

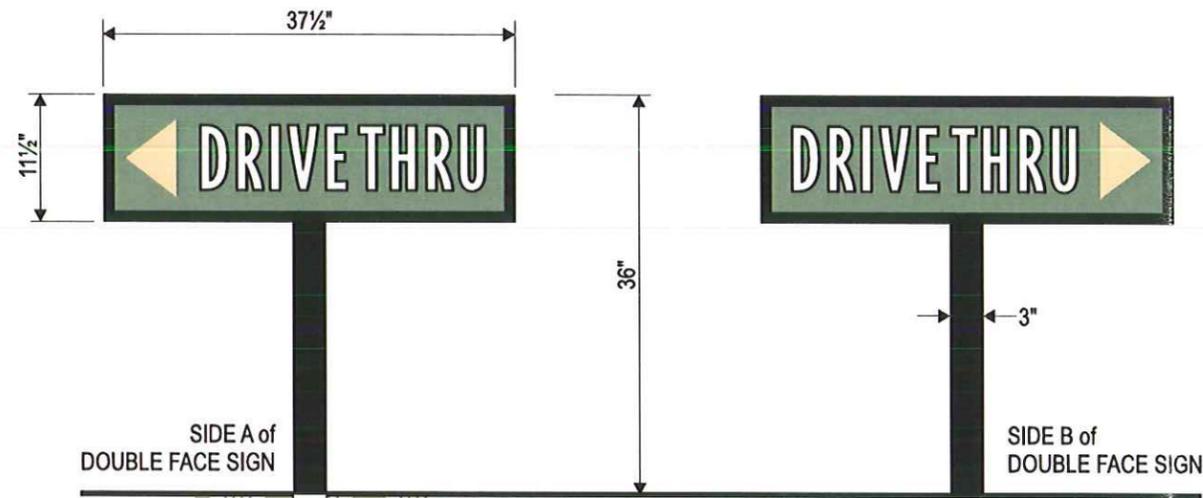
WORK ORDER NUMBER(S)

PROJECT MANAGER JIM F.

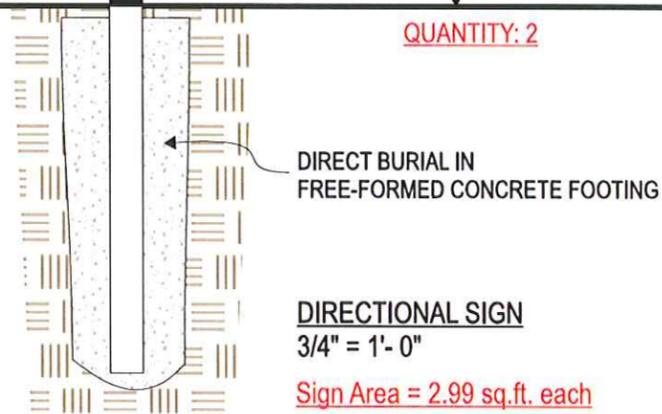
CHECKED BY	DATE	WD ARTIST	DATE
			02/27/14

Y-046f

DRAWING NAME



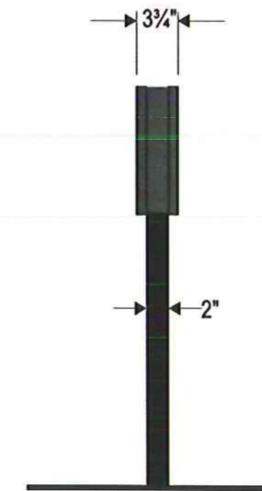
QUANTITY: 2



ELECTRICAL REQUIREMENTS:
 .5 AMPS @ 120 VOLTS
 TYPICAL FOR ALL SIGNS

INTERNALLY ILLUMINATED DIRECTIONAL SIGNS:

- (BLACK) PAINTED 3/4" DEEP .063 ALUM. RETURNS & 1" ALUM. RETAINERS
- (CLEAR) POLYCARBONATE FACES
- (PANTONE 5757U GREEN) OPAQUE BACKGROUND
- (WHITE) COPY WITH (BLACK) OUTLINES
- (PANTONE 1355 PEACH) ARROWS IF REQUIRED
- (WHITE) L.E.D. ILLUMINATION
- (BLACK) 2" DEEP X 3" WIDE X 1/4" WALL ALUMINUM TUBE POSTS
- (BLACK) PAINTED FINISHED .080 ALUM. BACKS ON SINGLE FACE SIGNS
- DIRECT BURIAL IN FREE-FORMED CONCRETE FOOTING



DIRECTIONAL SIGN
END VIEW
 3/4" = 1'-0"

Code:
 Height unrestricted.
 N.T.E. 3.0 sq.ft. ea.



QUANTITY: 1



QUANTITY: 1

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APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	WD	update sign code notes	03/18/14
2	JM	update sign quantities	03/20/14
3	WD	update directional signs	05/01/14
4			
5			
6			
7			
8			
9			
10			
11			
12			

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Panera BREAD

STORE NUMBER #651

447 North Milwaukee Ave.
 VERNON HILLS, IL

LOCATION

#25710-1

WORK ORDER NUMBER(S)

PROJECT MANAGER JIM F.

CHECKED BY	DATE	WD ARTIST	DATE
			02/27/14

Y-046g

DRAWING NAME

TWO TENANT MONUMENT SIGN
 TO BE PROPOSED FOR THIS
 PROJECT-DESIGN TO BE DETERMINED

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APPROVALS
Signatures Required Before Release To Production

Engineering
 BY _____ DATE _____

Sales
 BY _____ DATE _____

Estimating
 BY _____ DATE _____

Production
 BY _____ DATE _____

Quality Control
 BY _____ DATE _____

VM PRODUCT NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JM	updated monument sign	03/18/14
2	WD	update sign code notes	03/18/14
3			
4			
5			
6			
7			
8			
9			
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12			

DO NOT SCALE DRAWING

CLIENT



Panera
 BREAD

STORE NUMBER #651

447 North Milwaukee Ave.
 VERNON HILLS, IL

LOCATION

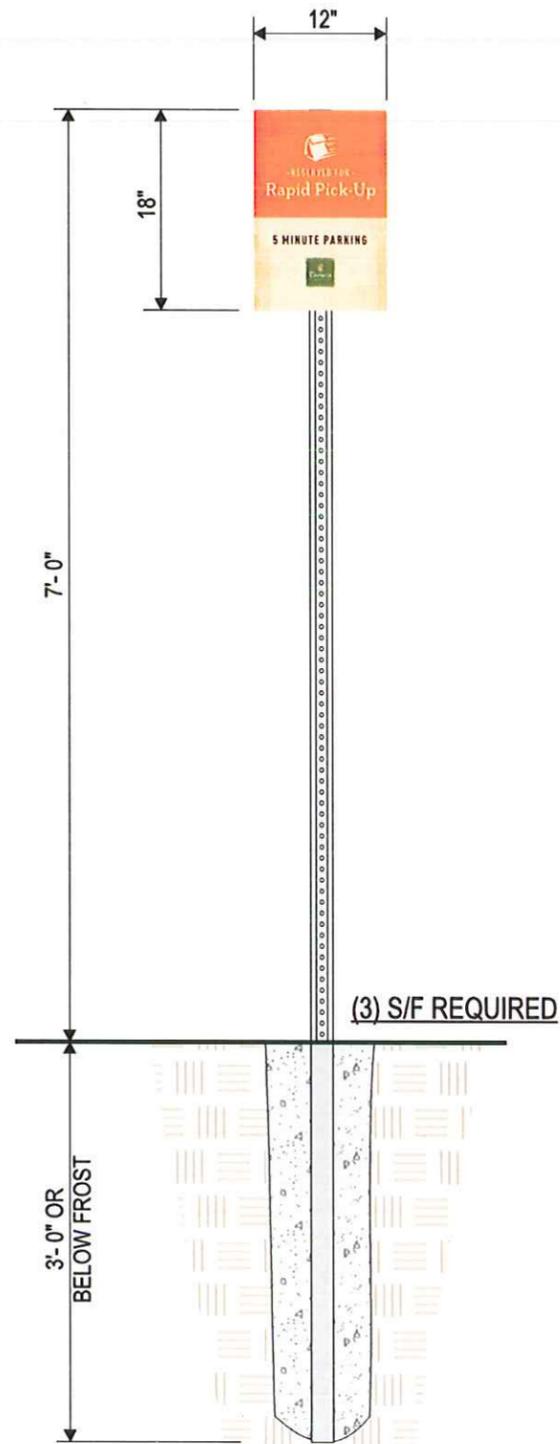
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WORK ORDER NUMBER(S)

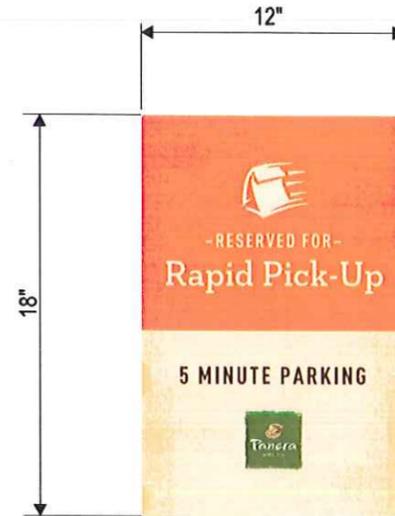
PROJECT MANAGER JIM F.

<small>CHECKED BY</small>	<small>DATE</small>	<small>ARTIST</small>	<small>DATE</small>
			02/27/14

Y-046h
DRAWING NAME



SCALE (TYP. OF 3): 3/4" = 1'-0"



SCALE: 1 1/2" = 1'-0"

(3) REQUIRED - S/F PARKING SIGNS

SINGLE-SIDED TRAFFIC CONTROL SIGNS:

- WHITE REFLECTIVE PANELS
- DIGITALLY PRINTED GRAPHICS WITH CLEAR OVERLAMINATE
- 10' HEAVY DUTY U-IRON SUPPORT POSTS
- FREE FORMED CONCRETE FOOTINGS

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APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)

REVISIONS

NO	BY	DESCRIPTION	DATE
1	JM	added RPU signs	04/22/14
2			
3			
4			
5			
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7			
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10			
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12			

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CLIENT

STORE NUMBER #651

447 North Milwaukee Ave.
VERNON HILLS, IL

LOCATION

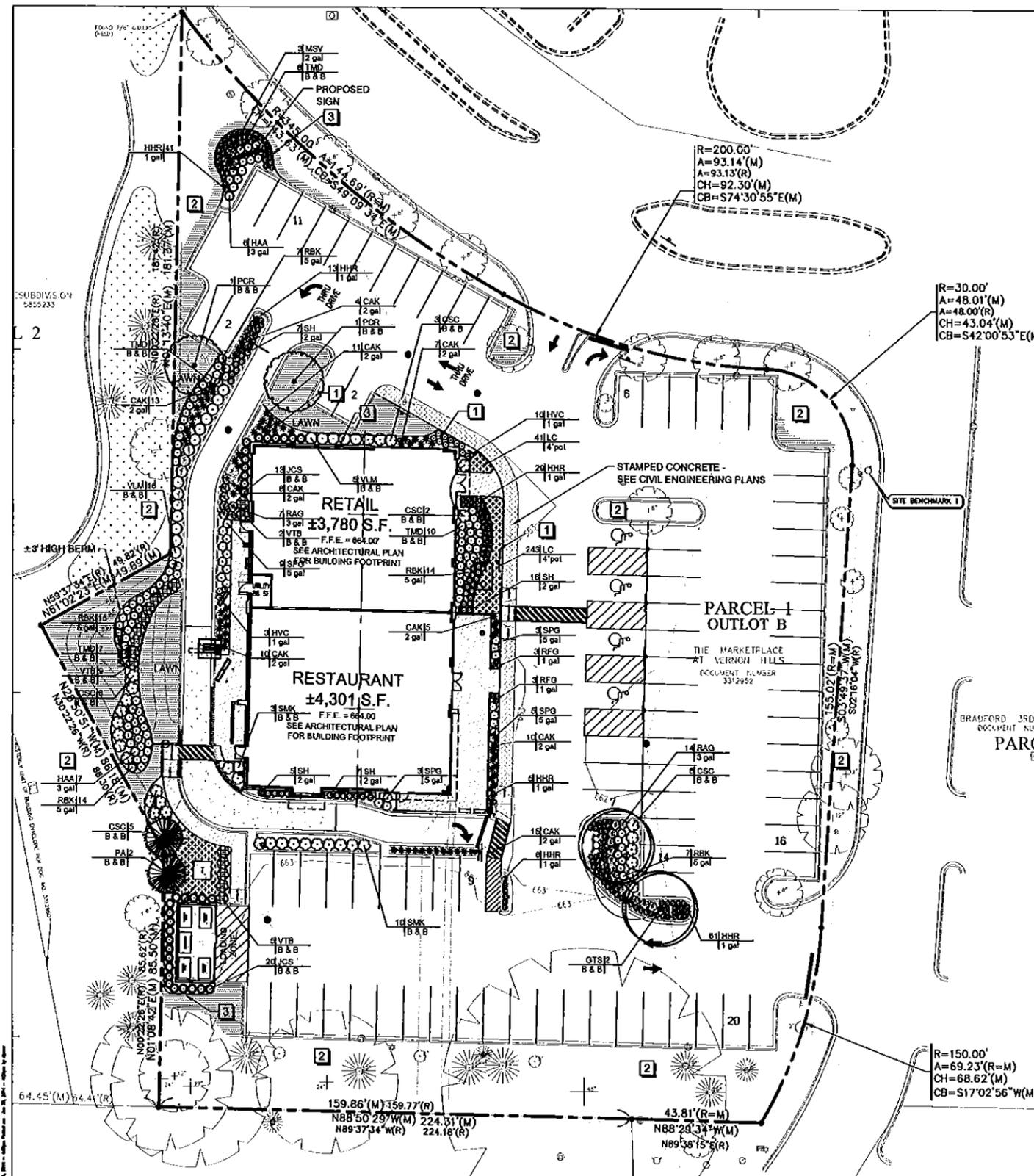
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WORK ORDER NUMBER(S)

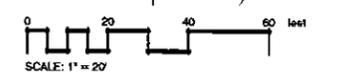
PROJECT MANAGER JIM F.

CHECKED BY	DATE	ARTIST	DATE
			02/27/14

DRAWING NAME Y-046i



LANDSCAPE PLAN



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	3" DEPTH CEDAR MULCH
2	BACK FILL BEHIND EXISTING CURBS WITH CLEAN TOPSOIL TO PROVIDE POSITIVE DRAINAGE AND TO REMOVE ANY TRIP HAZARDS WITHIN THE EXISTING PARKWAY LAWN. THESE EXISTING LAWN AREAS ARE TO BE AERATED, 12-15 CORES PER SQUARE FOOT AND OVERSEED WITH A TURF GRASS BLEND COMMON TO SITE AND LOCALITY AT A RATE OF 4 LBS. PER 1000 SQUARE FEET. TOPSOIL AREAS SHALL INCLUDE A PELLET MULCH OR STRAW BLANKET.
3	CULTIVATED BEDLINE 4" DEPTH



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	SIZE
●	GTS	2	Gleditsia triacanthos Inermis 'Shademaster' TM	Shademaster Locust	B & B	2.5' Gal	
●	PA	2	Picea abies FULL BRANCHING	Norway Spruce	B & B		6' HL Min.
●	PCR	2	Pyrus calleryana 'Redspire'	Redspire Callery Pear	B & B	2.5' Gal	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPREAD
⊙	CSC	24	Cornus sericea 'Cardinal'	'Cardinal' Red-bird Dogwood	B & B	36" Ht. Min.	
⊙	HAA	13	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gal	24" HT. MIN.	
⊙	JCS	33	Juniperus chinensis 'Spartan'	Spartan Juniper	B & B	6' HT. MIN.	
⊙	RAO	21	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal	24" SPR. MIN.	
⊙	RBK	67	Rosa x 'Blushing Knockout'	Rose	6 gal	24" HT. MIN.	
⊙	SPG	20	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	5 gal	24" HT. MIN.	
⊙	SMK	13	Syringa pebulosa 'Miss Kim'	Miss Kim Lilac	B & B	36" Ht. Min.	
⊙	TMO	35	Taxus x media 'Daniformis'	Dense Yew	B & B	24" HT. MIN.	
⊙	VLM	21	Viburnum lentiana 'Mohican'	Mohican Wayfaring Tree	B & B	36" Ht. Min.	
⊙	VIB	16	Viburnum trilobum 'Bailey Compact'	Bailey's Compact American Cranberry Bush	B & B	36" Ht. Min.	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPREAD
⊙	HVR	155	Hemerocallis x 'Happy Return'	Happy Returns Daylily	1 gal		
⊙	HVC	13	Heuchera villosa 'Caramel'	Coral Bells	1 gal		
⊙	RFQ	6	Rudbeckia hirta 'Goldsturm'	Goldsturm Black-eyed Susan	1 gal		
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPREAD
⊙	CAK	80	Calamagrostis x acutiflora 'Karl Foersde'	Father Reed Grass	2 gal		
⊙	MSV	3	Masochorus linearis 'Variegatus'	Japanese Silver Grass	2 gal		
⊙	SH	35	Sporobolus heterolepis	Prairie Dropseed	2 gal		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	
⊙	LC	284	Liriope spicata	Creeping Lily Turf	4' pot	12" o.c.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	
⊙	PP	3,400 sf	Lawn Grasses	Kentucky Bluegrass	soil		

GENERAL NOTES:

- GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
- CONTRACTOR TO REPAIR AND REPLACE ANY PLANT MATERIAL DAMAGED BY THIS CONSTRUCTION OUTSIDE PROJECT LIMITS. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO OWNER OR TENANT.
- CONTRACTOR TO PROVIDE SITE IRRIGATION FOR ALL NEW LANDSCAPE AREAS ON SITE. IRRIGATION FOR THESE AREAS TO PROVIDE 100% COVERAGE OF ALL NEW PLANTED AREAS. SHRUB BEDS TO BE WATERED WITH SUBSURFACE IRRIGATION. LAWN AREAS TO BE KEPT ON SEPARATE ZONES FROM SHRUB BEDS, DO NOT SPRAY ONTO BUILDING. IRRIGATION SYSTEM TO BE DESIGNED/INSTALLED PER ALL LOCAL, STATE AND FEDERAL CODES.
- UNDERDRAINS TO BE INSTALLED BENEATH NEW LANDSCAPE ISLANDS AND TIED INTO STORM LINES.
- EXISTING TREES TO REMAIN SHALL BE CROWN CLEANED AND VISTA PRUNED.
- ALL LANDSCAPE PLANTINGS AROUND BUILDING TO BE MAINTAINED IN A NEAT AND HEALTHY CONDITION AND SHALL NOT BLOCK ANY VISIBILITY INTO OR OUT OF RETAIL ESTABLISHMENTS.

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
05/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	REVISION
07/01/14	PLANNING AND ZONING

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

PROJECT MANAGER
D. JASSARD, P.E.

QUALITY CONTROL

DRAWN BY
D. JASSARD, P.E.

PROJECT NAME

VERNON HILLS, ILLINOIS
PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVE.

shorewood DEVELOPMENT GROUP

PROJECT NUMBER
20130779.0

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.0

NOT ISSUED FOR CONSTRUCTION



LANDSCAPE NOTES

LANDSCAPE PLANTING

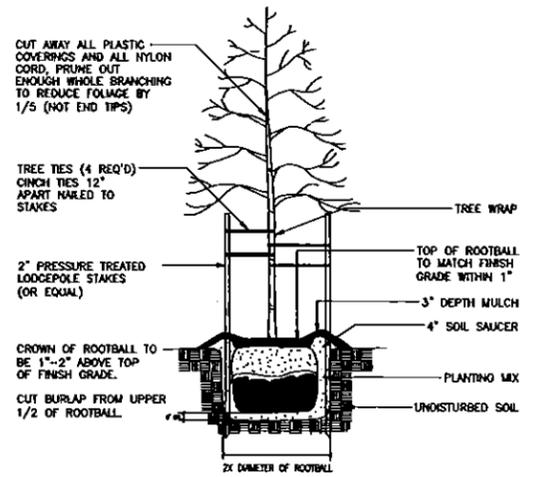
1. THE LANDSCAPE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND VERIFY THEM TO HIS SATISFACTION. THE LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE CONDITIONS AND DO THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN.
2. PRIOR TO CONSTRUCTION THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD THE LANDSCAPE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES HE SHALL MAKE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE WITHOUT ADDITIONAL COMPENSATION.
3. ALL PLANT MATERIAL SIZES AND MEASUREMENTS, INCLUDING TRUNK, HEAD, AND SPREAD SIZES, CONTAINER AND ROOTBALL SIZES, QUALITY AND CONDITION SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1).
4. ALL PLANT MATERIAL ARE SUBJECT TO THE APPROVAL BY THE OWNER, AND MAY BE INSPECTED AT THE PLACE OF GROWTH OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL WHICH IS NOT TO HIS SATISFACTION.
5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING WORK (INCLUDING WATERING, SPRAYING FOR INSECTS AND DISEASE, MULCHING, MOWING, FERTILIZING, CULTIVATING, EDGING AND WEEDING) FOR A PERIOD OF 90 DAYS AFTER ACCEPTANCE BY THE OWNER.
6. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL LANDSCAPE PLANTING WORK AND MATERIALS FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE THE WORK HAS BEEN APPROVED BY THE OWNER AS INSTALLED. ALL PLANT MATERIAL NOT HEALTHY GROWING CONDITION SHALL BE REMOVED IMMEDIATELY AND REPLACED AS SOON AS POSSIBLE WITH LIKE KIND AND SIZE AT NO CHARGE TO THE OWNER.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SOIL SAMPLES FROM SOIL AND NATIVE OR FILL SOILS AT THE SITE AND SUBMITTING THEM TO AN APPROVED SOIL TESTING LABORATORY, AND OBTAIN ANALYSES AND RECOMMENDATIONS FOR AMENDING THESE SOILS AND FERTILIZATION OF SPECIFIED PLANT MATERIAL AT A MINIMUM ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12 LBS. /1000 SF OF 10-10-10 FERTILIZER.
8. ALL PLANTING AREAS, SHRUB BEDS AND TREES SHALL BE MULCHED WITH A MINIMUM COMPACTED DEPTH OF THREE (3) INCHES OF MULCH AS SPECIFIED. PRIOR TO MULCHING APPLY A PRE-EMERGENT HERBICIDE (APPROVED BY OWNER) AS RECOMMENDED BY THE MANUFACTURER, TO PREVENT RECURRING WEED AND GRASS GROWTH.
9. CONTRACTOR IS TO TAKE SPECIAL CARE WHEN INSTALLING NEW PLANT MATERIAL SO AS NOT TO DISTURB ANY EXISTING PLANTINGS DESIGNATED TO REMAIN. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO OWNER.

TURF AND LAWNS

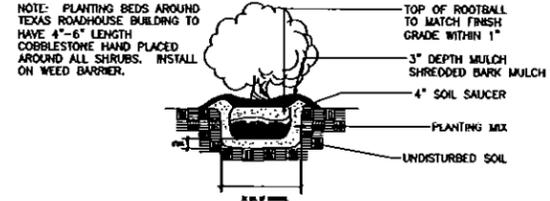
1. ALL DISTURBED AREAS SHALL RECEIVE 4" MINIMUM OF TOPSOIL (COMPACTED) AND GRASSED WITH SOO OR SEED AS INDICATED ON PLAN. LANDSCAPE CONTRACTOR TO COORDINATE HIS/HER WORK WITH OTHER TRADES REGARDING FINISH GRADING. IF AVAILABLE CONTRACTOR IS TO USE STOCKPILED TOPSOIL ON-SITE. IF NOT AVAILABLE THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR IMPORTING THE TOPSOIL NECESSARY TO MEET FINISH GRADE.
2. TOPSOIL SHALL BE FERTILE, FRABLE AND REPRESENTATIVE OF LOCAL PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND FREE OF CLAY LUMPS, SUBSOIL, NOXIOUS WEEDS OR OTHER FOREIGN MATTER SUCH AS STONES, ROOTS, STICKS AND OTHER EXTRANEIOUS MATERIALS. NOT FROZEN OR MUDDY. PH OF TOPSOIL TO RANGE BETWEEN 5.5 AND 7.5.
3. SOODED AREAS SHALL BE GRASSED KENTUCKY BLUEGRASS SOO. SOO SHALL BE LAD WITH CLOSE, TIGHT FITTING JOINTS, WHICH SHALL BE LAD IN ROWS PARALLEL TO THE CONTOUR LINES. ALL SOODED AREAS SHALL BE ROLLED TO ACHIEVE A SMOOTH, UNIFORM LAWN.
4. SEEDING AREAS SHALL BE GRASSED WITH KENTUCKY 31 TALL FESCUE AND BLUEGRASS AT A RATE OF (5) POUNDS PER 1000 SQ. FT. OF GRASSED AREA. SEED MAY BE APPLIED EITHER BY A MECHANICAL SPREADER OR HYDROSEEDING. WHICHEVER METHOD IS CHOSEN A THICK STAND OF GRASS SHALL BE ACHIEVED WITHIN 21 DAYS OR A SECOND OVERSEEDING WILL BE REQUIRED.
5. FERTILIZATION AND SOIL AMENDMENTS FOR ALL GRASSED AREAS SHALL BE AS PER LABORATORY ANALYSIS. HYDROSEEDING MAY BE SUBSTITUTED FOR MECHANICAL SEEDING BY MOWING SEED, FERTILIZER AND FLUORIZED MULCH IN WATER, USING EQUIPMENT SPECIFICALLY DESIGNED FOR HYDROSEED APPLICATION. MIX UNTIL UNIFORMLY BLENDED INTO HOMOGENEOUS SLURRY SUITABLE FOR HYDRAULIC APPLICATION. APPLY UNIFORMLY AT A RATE AS REQUIRED TO OBTAIN SPECIFIED SEEDING RATE.
6. ANY EXISTING LAWN AREA DISTURBED BY CONSTRUCTION IS TO BE REPAIRED TO ITS ORIGINAL CONDITION BY SEEDING.

TREES AND SHRUBS

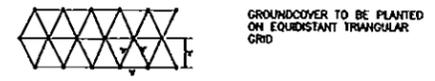
1. ALL TREES LOCATED IN GRASSED AREAS SHALL BE PLANTED AS PER DETAIL AND MULCHED WITH AT LEAST FOUR (4) FOOT DIAMETER OF SHREDDED BARK MULCH, TO A MINIMUM 3" DEPTH.
2. SHRUB BEDS SHALL BE MOUNDING WITH TOPSOIL A MINIMUM OF 6" ABOVE TOP OF CURB AND SHALL BE MULCHED WITH A 3" DEPTH OF SHREDDED BARK MULCH.
3. TREES SHALL BE PLANTED NO CLOSER THAN FIVE (5) FEET FROM BACK OF SIDEWALK OR BUILDING STRUCTURE.
4. LOCATION AND LAYOUT OF ALL SHRUBS AND TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
5. ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.
6. ALL TREES ARE TO BE STAKED AND GUYED PER PLANTING DETAILS.



1 TREE PLANTING DETAIL
NOT TO SCALE 329343.39-81



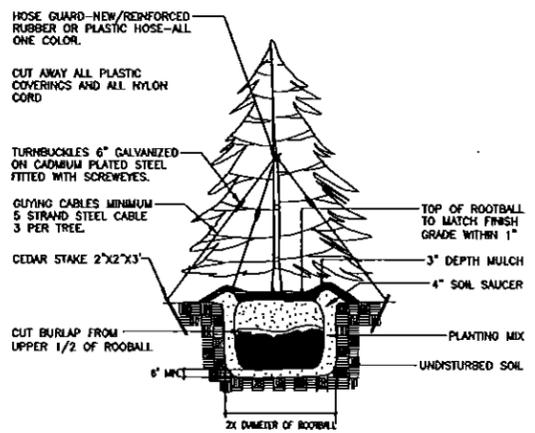
4 SHRUB PLANTING DETAIL
NOT TO SCALE 329333.16-81



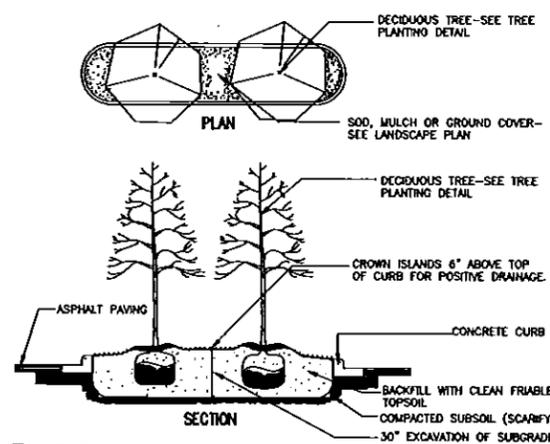
**SEE PLAN FOR REQUIRED SPACING

SPACING "D"	ROW WIDTH "A"	NO. OF PLANTS/SF
6" O.C.	5.20"	4.61
8" O.C.	6.93"	2.60
10" O.C.	8.66"	1.66
12" O.C.	10.44"	1.15
15" O.C.	13.00"	.758
18" O.C.	15.60"	.512
24" O.C.	20.80"	.330

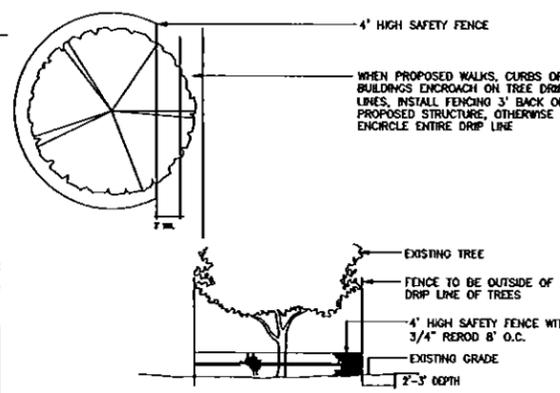
5 GROUND COVER PLANTING DETAIL
NOT TO SCALE 329333.83-81



2 EVERGREEN TREE PLANTING DETAIL
1" = 1" 329343.46-81



6 TYPICAL ISLAND PLANTING DETAIL
NOT TO SCALE 329343.69-81



3 TREE PROTECTION DETAIL
NOT TO SCALE 329343.67-81

GreenbergFarrow

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
05/20/14	TECHNICAL REVIEW
05/27/14	TECHNICAL REVIEW
	RESUBMISSION
07/01/14	PLANNING AND ZONING

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PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

PROJECT MANAGER
D. JARRARD, FIA

QUALITY CONTROL
D. JARRARD, FIA

PROJECT NAME

VERNON HILLS, ILLINOIS

PROPOSED REDEVELOPMENT
447 N. MILWAUKEE AVE.

shorewood DEVELOPMENT GROUP

PROJECT NUMBER
20130779.0

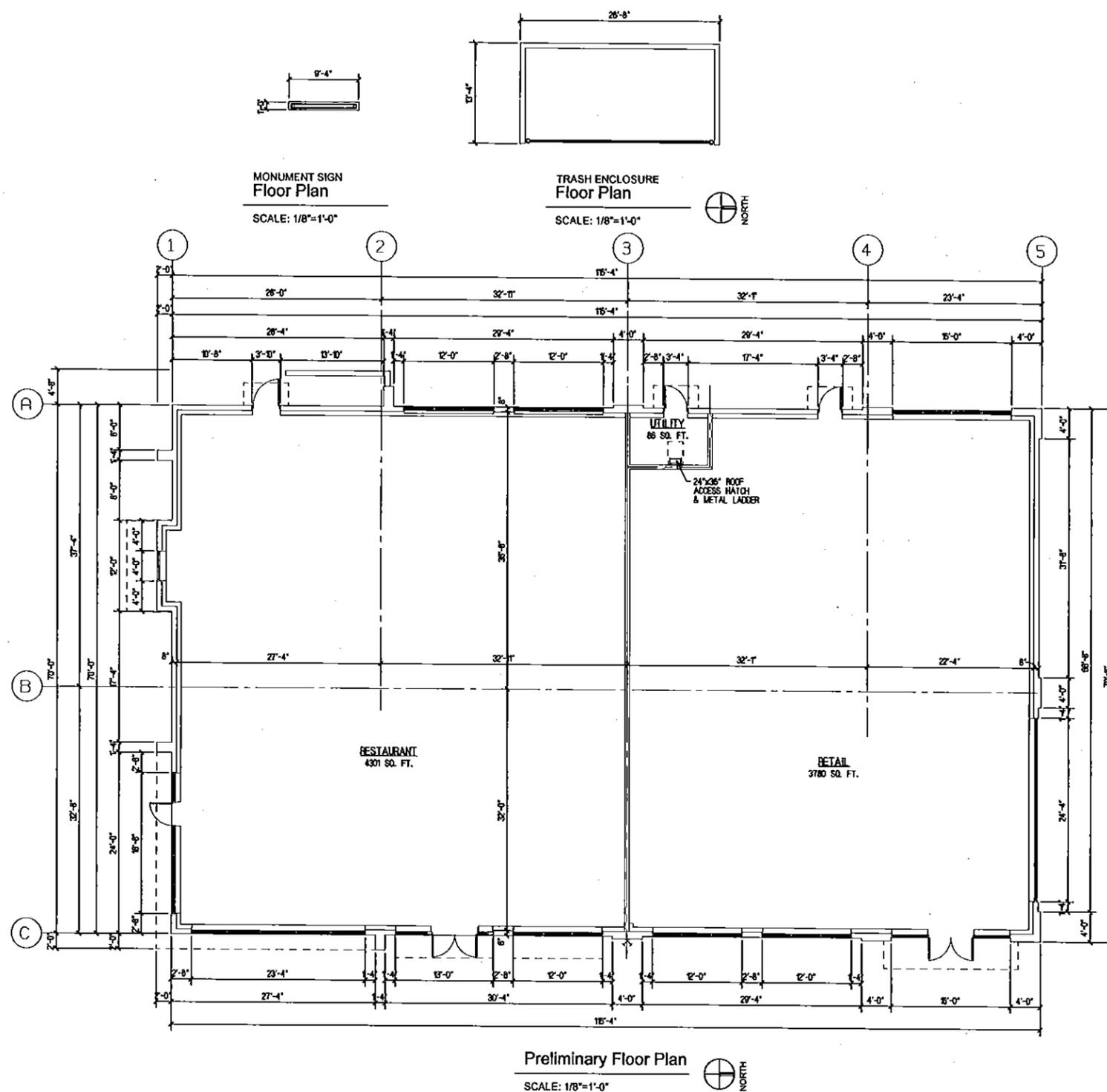
SHEET TITLE

LANDSCAPE NOTES AND DETAILS

SHEET NUMBER

L2.0

NOT ISSUED FOR CONSTRUCTION



DATE	JANUARY 13, 2014
REVISIONS	02/07/14
	03/07/14
	03/07/14-2
	03/07/14 TECHNICAL REVIEW
	05/14/14
	07/07/14 PLANNING & ZONING

PROPOSED 2 TENANT COMMERCIAL BUILDING FOR:
Shorewood Development Group
 THE MARKET PLACE AT VERNON HILLS
 447 N. MILWAUKEE AVENUE
 VERNON HILLS, ILLINOIS 60061

Reitan Architects, LLC.
 135 Wilby Road - Suite 166 - Schaumburg, Illinois 60173
 PH. 847-518-2227 - FAX 847-518-0347
 Assumed Name No. 184-004083

SHEET NAME	PRELIMINARY FLOOR PLAN
SHEET	SK2 OF 2
PROJECT NO.	1400