

VILLAGE OF VERNON HILLS

ORDINANCE 2016-016

AN ORDINANCE AMENDING ORDINANCE 91-59 TO AMEND THE SPECIAL USE PERMIT TO PERMIT THE EXPANSION OF THE COMMUNITY CENTER AT 635 ASPEN DRIVE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 16<sup>th</sup> DAY OF MARCH 2016

Published in pamphlet form by the  
Authority of the President and Board of Trustees of  
the Village of Vernon Hills, Lake County, Illinois,  
this 18<sup>th</sup> Day of March 2016

**ORDINANCE NO. 2016-016**

**AN ORDINANCE AMENDING ORDINANCE 91-59  
TO AMEND THE SPECIAL USE PERMIT TO  
PERMIT THE EXPANSION OF THE  
COMMUNITY CENTER AT 635 ASPEN DRIVE IN  
THE VILLAGE OF VERNON HILLS,  
LAKE COUNTY**

**WHEREAS**, Tom LaLonde of Williams Architects, representing the Vernon Hills Park District located at 635 Aspen Drive, and legally described in Exhibit A, has petitioned the Village of Vernon Hills for approval of the following:

1. To amend Ordinance 91-59, which granted the Special Use Permit for a Community Center, to allow for the expansion of the Delores C. Sullivan Community Center;
2. Preliminary and final site and landscaping plan approvals;
3. Preliminary and final approval of the architectural elevations.

**WHEREAS**, Williams Architects has requested no variations as a part of the petition.

**WHEREAS**, the requested approvals would be in general compliance with the following:

- Proposed Site Plan prepared by Williams Architects with a received date of February 10, 2016 and consisting of 2 pages.
- Proposed Engineering Plans prepared by Williams Architects with a received date of February 10, 2016 and consisting of 14 pages.
- Proposed Landscaping Plans prepared by Williams Architects with a received date of February 10, 2016 and consisting of 3 pages.
- Architectural Elevations prepared Williams Architects with a received date of February 10, 2016 and consisting of 3 pages

Said Plans are attached hereto as Exhibit B; and

**WHEREAS**, the requested approvals will allow for expansion of an existing community center to be utilized for a gymnasium, offices, and preschool classes.

**WHEREAS**, upon due notice and after public hearing held February 17, 2016 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

**WHEREAS**, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that address the conditions in Section 18.3 of the Zoning Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:**

**SECTION I.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the Special Use Permit to allow the expansion of a community center and certain conditions of approval as listed in Exhibit C, is hereby granted. Said parcel is legally described in Exhibit A. The approval is subject to the conditions listed in Section V and the terms and conditions as set forth in Exhibit C.

**SECTION II.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, approvals of the preliminary and final site and landscaping plans for the entire site as set forth in Exhibit B are hereby granted subject to the conditions listed in Section V.

**SECTION III.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations as set forth in Exhibit B are hereby granted subject to the conditions listed in Section V.

**SECTION IV.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as set forth in Exhibit B are hereby approved subject to the conditions listed below in Section V.

**SECTION V.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the terms and conditions as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

**SECTION VI. SEVERABILITY.** In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

**SECTION VII. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

**SECTION VIII. SUCCESSORS AND ASSIGNS.** All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

**SECTION IX. EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

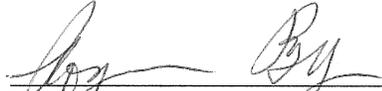
**SECTION X. ORDINANCE NUMBER.** This ordinance shall be known as Ordinance Number 2016-016.

Adopted by roll call vote as follows:

AYES: 6 – Marquardt, Koch, Williams, Grieb, Hebda, Schultz

NAYS: 0 - None

ABSENT AND NOT VOTING: 0 – None



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Roger L. Byrne, Village President

PASSED: 03/16/2016

APPROVED: 03/16/2016

PUBLISHED IN PAMPHLET FORM: 03/18/2016

ATTEST:



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John Kalmar, Village Clerk

**Exhibit A**  
**Legal Description**

PT NE1/4;PT LYG EOF ELY LN ASPEN DR PER DOC 2719639,S OF N815',W OF E58RDS(EX  
20'STRIP,CL IS //TO NLN&PASSESS THRU SWCOR LT1 DEERPATH SUB PARCEL G-UNIT 2 &  
W OFE957'& E OF ELN ASPEN DR)

SECTION 5 TOWNSHIP 43 RANGE 11

**Exhibit B**  
**Plans**

General Compliance with the following plans:

- Proposed Site Plan prepared by Williams Architects with a received date of February 10, 2016 and consisting of 2 pages.
- Proposed Engineering Plans prepared by Williams Architects with a received date of February 10, 2016 and consisting of 14 pages.
- Proposed Landscaping Plans prepared by Williams Architects with a received date of February 10, 2016 and consisting of 3 pages.
- Architectural Elevations prepared Williams Architects with a received date of February 10, 2016 and consisting of 3 pages

**Exhibit C**  
**Terms and Conditions of Approval**

Conditions of Approval for the Entire Site:

1. Final approval of plans by the Village Engineer and Landscape Architect prior to issuance of a building permit.
2. Building materials consistent with the existing material color and type of the Sullivan Center.
3. Compliance with all ordinance and standards of the Village except as otherwise noted.
4. Park District is encouraged to preserve the existing trees on the property.
5. Provide a cost estimate to extend that portico at the east entrance and if financially feasible, complete the extension as part of this project.
6. Park District is encouraged to reconfigure the pathway system on the northeast side of the building to change the 90 degree turn into a curved path.



AFFIDAVIT OF SERVICE

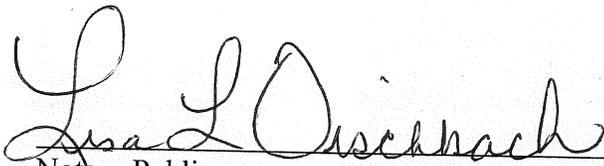
STATE OF ILLINOIS     )  
                                  )  
COUNTY OF LAKE     )

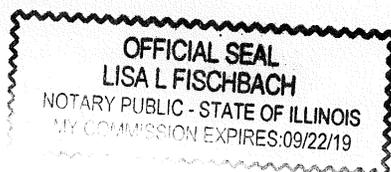
I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2016-016, AN ORDINANCE AMENDING ORDINANCE 91-59 TO AMEND THE SPECIAL USE PERMIT TO PERMIT THE EXPANSION OF THE COMMUNITY CENTER AT 635 ASPEN DRIVE IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM MARCH 18, 2016 TO MARCH 28, 2016



\_\_\_\_\_  
John M. Kalmar, Village Clerk

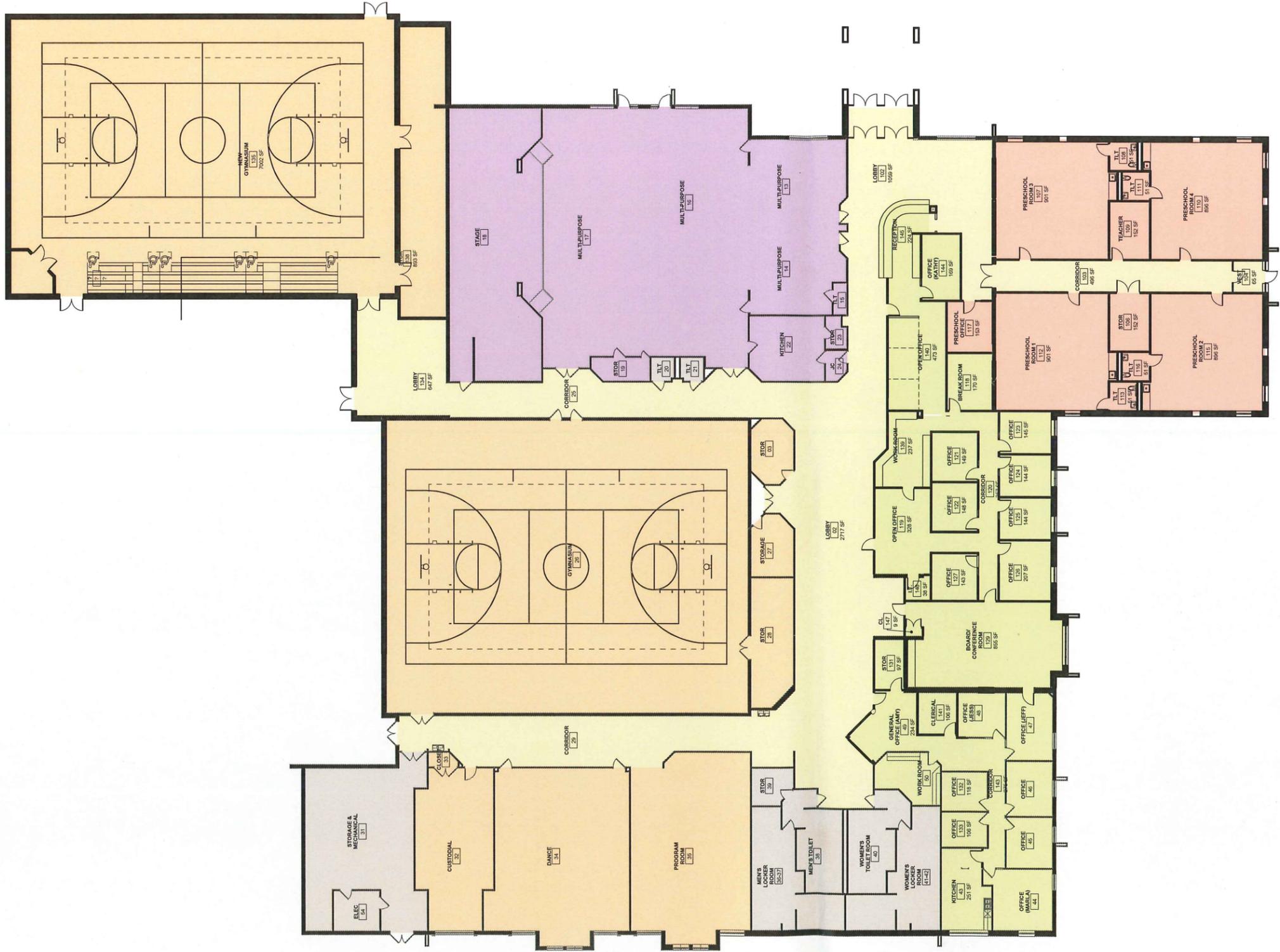
SUBSCRIBED AND SWORN TO BEFORE  
THIS 18th DAY OF MARCH 2016

  
Notary Public



2015-017  
12/22/15

500 Park Blvd., Suite 600  
Irvine, CA 92614  
Phone 949.221.1212  
www.williams-architects.com  
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RECEIVED

FEB 10 2016

Community Development  
Department



SCALE: 1/8" = 1'-0"

FLOOR PLAN

Vernon Hills Park District  
Sullivan Community Center



Sullivan Community Center  
Vernon Hills Park District  
ASPEN DRIVE  
VERNON HILLS, ILLINOIS 60061

WA No.	2015037
Date	10/02/2015
Drawn	SL
Checked	TDL

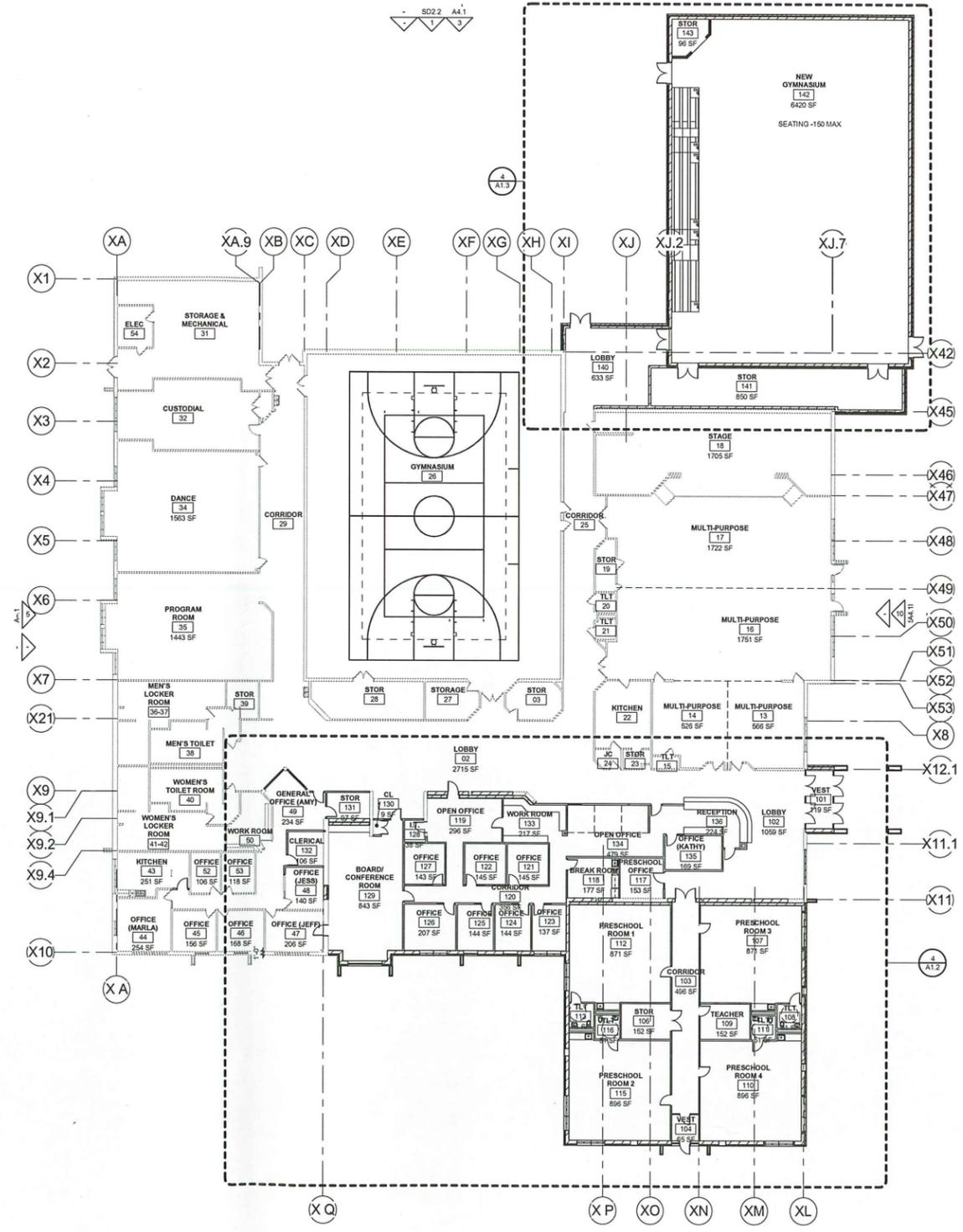
NO.	DATE	REVISIONS	DESCRIPTION

**WILLIAMS ARCHITECTS**  
ARCHITECTURE | PLANNING | ADAPTICS | INTERIORS  
500 Park Boulevard, Suite 800, Naperville, IL 60563  
Phone: 630-252-1122 | Fax: 630-252-1120



FLOOR PLAN

A1.1



GROUND FLOOR

# SITE IMPROVEMENT PLANS

## SULLIVAN COMMUNITY CENTER VERNON HILLS PARK DISTRICT

### 635 ASPEN DRIVE VERNON HILLS, ILLINOIS

#### SHEET INDEX

1. TITLE SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. GEOMETRIC PLAN
4. GRADING PLAN
5. UTILITY PLAN
- ~~6. EROSION CONTROL PLAN~~
7. EROSION CONTROL NOTES & DETAILS
8. GENERAL NOTES
9. DETAILS
10. DETAILS
11. DETAILS

#### STANDARD SYMBOLS

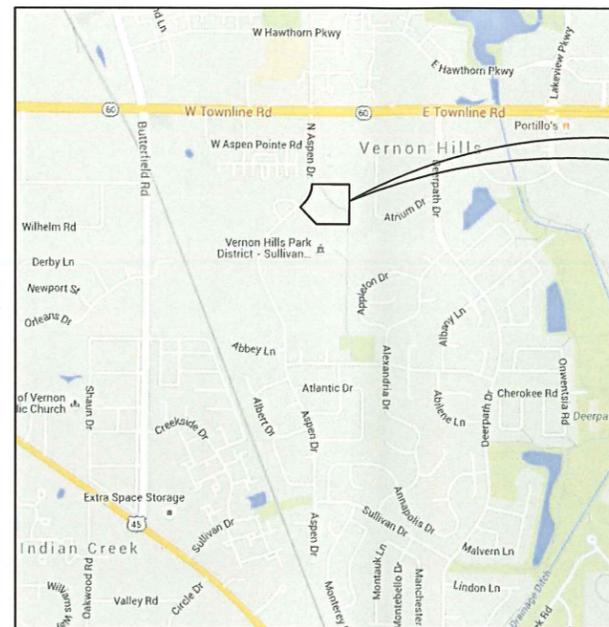
FEATURE	EXISTING	PROPOSED
BUFFALO BOX	⊙	●
BUSH/SHRUB	⊙	●
CATCH BASIN	⊙	●
CLEANOUT	⊙	●
COMBINE SEWER LINE	—	—
CONTOUR	-708	-708
CULVERT	—	—
DITCH/SWALE	—	—
ELECTRIC LINE	—	—
ELECTRIC MANHOLE	⊙	●
FENCE	-X-X-X-X-	-X-X-X-X-
FIRE HYDRANT	⊙	●
FLARED END SECTION	—	—
GAS LINE	—	—
GAS MANHOLE	⊙	●
GAS VALVE	⊙	●
INLET	⊙	●
LIGHT POLE	⊙	●
OVERHEAD WIRES	—	—
POWER POLE	⊙	●
R.O.W LINE	—	—
R.O.W MARKER	⊙	●
SANITARY FORCEMAIN LINE	—	—
SANITARY SEWER LINE	—	—
SANITARY SEWER MANHOLE	⊙	●
SIGN	⊙	●
SPOT ELEVATION	x850.00	x850.0
STORM SEWER LINE	—	—
STORM SEWER MANHOLE	⊙	●
TELEPHONE LINE	—	—
TELEPHONE MANHOLE	⊙	●
TELEPHONE BOX/PEDESTAL	⊙	●
TREE—CONIFEROUS (SIZE/TAG#)	⊙ 345	● 345
TREE—DECIDUOUS (SIZE/TAG#)	⊙ 12"	● 12"
VALVE BOX	⊙	●
VALVE VAULT	⊙	●
WATER VALVE	⊙	●
WATERMAIN LINE	—	—

**EXISTING UTILITIES:** WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.I.E. AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY



#### LOCATION MAP



#### PROJECT LOCATION

SULLIVAN COMMUNITY CENTER  
 635 N. ASPEN DRIVE  
 VERNON HILLS, ILLINOIS 60061

**OWNER:**  
 VERNON HILLS PARK DISTRICT  
 LASCHEN COMMUNITY CENTER  
 294 EVERGREEN DRIVE  
 VERNON HILLS, ILLINOIS 60061

**PREPARED BY:**  
 GEWALT HAMILTON ASSOCIATES  
 625 FOREST EDGE DRIVE  
 VERNON HILLS, ILLINOIS 60061

**TOPOGRAPHY BY:**  
 GEWALT HAMILTON ASSOCIATES  
 625 FOREST EDGE DRIVE  
 VERNON HILLS, ILLINOIS 60061

J.U.L.I.E

JOINT  
 UTILITY  
 LOCATION  
 INFORMATION FOR  
 EXCAVATION  
 CALL 811



Know what's below.  
 Call before you dig.

**NOTE: CONSTRUCTION MEANS, METHODS AND JOB  
 SITE SAFETY IS THE SOLE AND EXCLUSIVE  
 RESPONSIBILITY OF THE CONTRACTOR**

#### BENCHMARK.

SOURCE BENCHMARK: (GPS-102)  
 CONCRETE MONUMENT AND BRASS CAP, FLUSH  
 PANELED STAMPED GPS-102 LOCATED AT THE  
 NORTHEAST CORNER OF ILLINOIS ROUTE 60 AND  
 ENTRANCE TO "CHICAGOLAND INDOOR GOLF".  
 ELEVATION: 699.68

SITE BENCHMARK:  
 NORTH FLANGE BOLT ON HYDRANT LOCATED ±69.5'  
 SOUTHWEST OF SOUTHWEST BUILDING CORNER TO COOK  
 MEMORIAL PUBLIC LIBRARY AND ±155' EAST OF  
 CENTERLINE OF ASPEN DRIVE.  
 ELEVATION: 708.10

DATUM: NAVD 88  
 (VILLAGE OF VERNON HILLS BENCHMARK)

#### Point Table

Point #	Northing	Easting	Elevation	Description
1	2029006.07	1082775.62	695.55	CP1-XSW
2	2029367.11	1082553.10	702.58	CP2-XSW
3	2029241.74	1082699.88	701.64	CP3-XSW
4	2029157.14	1083055.79	701.35	CP4-SMN
5	2029199.43	1082892.16	701.16	CP5
6	2028802.21	1082996.85	695.53	CP6-SMN
7	2029386.26	1082899.57	701.55	CP7-SMN
8	2029456.52	1083022.25	703.45	CP8-SN
9	2029572.07	1082721.54	705.13	CP9-SMN
10	2029662.24	1082851.12	705.51	CP10-XSW
11	2029497.60	1083122.67	702.27	CP11-XTC
12	2028867.16	1083107.25	695.94	CP12-XTC
100	2029805.08	1082940.52	706.38	CP30
103	2029672.36	1082582.24	706.78	CP20

**PRELIMINARY ENGINEERING PLAN  
 NOT FOR CONSTRUCTION**

**GHA GEWALT HAMILTON  
 ASSOCIATES, INC.**  
 625 Forest Edge Drive ■ Vernon Hills, IL. 60061  
 TEL 847.478.9700 ■ FAX 847.478.9701

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**TITLE SHEET**  
**SULLIVAN COMMUNITY CENTER EXPANSION**  
**635 N. ASPEN DRIVE**  
**VILLAGE OF VERNON HILLS, ILLINOIS**

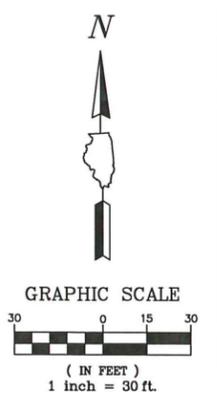
NO.	BY	DATE	REVISION

FILE: 5088.300 DT.dwg	SHEET NUMBER
DRAWN BY: ASH DATE: 1/18/16	GHA PROJECT # 5088.300
CHECKED BY: TAR DATE: 1/18/16	SCALE: NA
	1 OF 11 SHEETS



**LEGEND**

-  BITUMINOUS PAVEMENT REMOVAL - FULL DEPTH
-  COLD MILL - 2" MILL
-  PCC SIDEWALK / PAVEMENT REMOVAL
-  BARRIER CURB REMOVAL
-  B6.12 CURB & GUTTER REMOVAL
-  UTILITY LINE TO BE ABANDONED
-  GUARDRAIL REMOVAL
-  FENCE REMOVAL
-  STRUCTURE REMOVAL
-  SAW CUT
-  BUTT JOINT
-  TREE REMOVAL



**EXISTING CONDITIONS AND DEMOLITION NOTES**

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SILT FENCE AND EROSION CONTROL DEVICES AS SHOWN ON SHEET 7 AS REQUIRED PER NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
2. PRIOR TO DEMOLITION INSTALL TREE PROTECTION FENCE AS OUTLINED IN THE TREE PRESERVATION NOTES ON THIS PAGE AND ON THE DETAIL ON SHEET XXX. ROOT PRUNING ADJACENT TO UTILITY TRENCHES WILL BE REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FENCING THE ACTIVE WORK ZONE FROM THE PUBLIC AND PROTECTING THE PUBLIC FROM ANY CONSTRUCTION RELATED HAZARDS. AT A MINIMUM, ALL EXCAVATION, DEMOLITION AREAS AND OTHER AREAS POTENTIALLY HAZARDOUS TO PEDESTRIANS AND VEHICLES MUST BE PROTECTED.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND DISPOSAL OF ALL EXISTING IMPROVEMENTS ON SITE NECESSARY TO COMPLETE THE JOB. THESE IMPROVEMENTS INCLUDE, BUT ARE NOT LIMITED TO, EXISTING PAVEMENT, CURBS, SIDEWALKS, UTILITIES, LIGHTING, LIGHT BASES, MANHOLES, FENCES, AND OTHER STRUCTURES WITHIN THE WORK AREA. EXCAVATE AND GRADE TO PROPOSED PAVEMENT AND BUILDING SUBBASE GRADES. THESE ITEMS SHALL BE COMPLETELY REMOVED AND LEGALLY DISPOSED OF OFF SITE
5. REMOVE ABANDON EXISTING UTILITIES AS SHOWN. UTILITIES THAT ARE REMOVED SHALL BE BACKFILLED WITH CA-6 CRUSHED STONE IN LIFTS OF 8" OR LESS AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY. UTILITIES TO BE ABANDONED SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF 2 FEET LONG NON-SHRINK CONCRETE / MORTAR PLUGS. MANHOLE STRUCTURES TO BE ABANDONED SHALL HAVE THE TOP SECTION REMOVED, SEWERS BULLHEADED WITH CONCRETE ACCORDINGLY AND BACKFILLED WITH CA-6 CRUSHED STONE.
6. REMOVE TREES, STUMPS AND OTHER VEGETATION AS DESIGNATED ON THE PLANS. ANY VEGETATION NOT SHOWN REMAINING ON THE LANDSCAPE PLANS IS TO BE ASSUMED TO BE REMOVED AND DISPOSED OF OFFSITE.
7. COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL PLANS WITH RESPECT TO DEMOLITION, TRANSITION, AND CONTINUITY OF SERVICE.
8. COORDINATE WITH UTILITY COMPANIES TO ENSURE CONTINUOUS SERVICE, PARTICULARLY NATURAL GAS, ELECTRIC POWER AND TELEPHONE.
9. CONTRACTOR SHALL REMOVE EXISTING FENCE FABRICS, POSTS, AND CONCRETE FOUNDATION COMPLETELY.

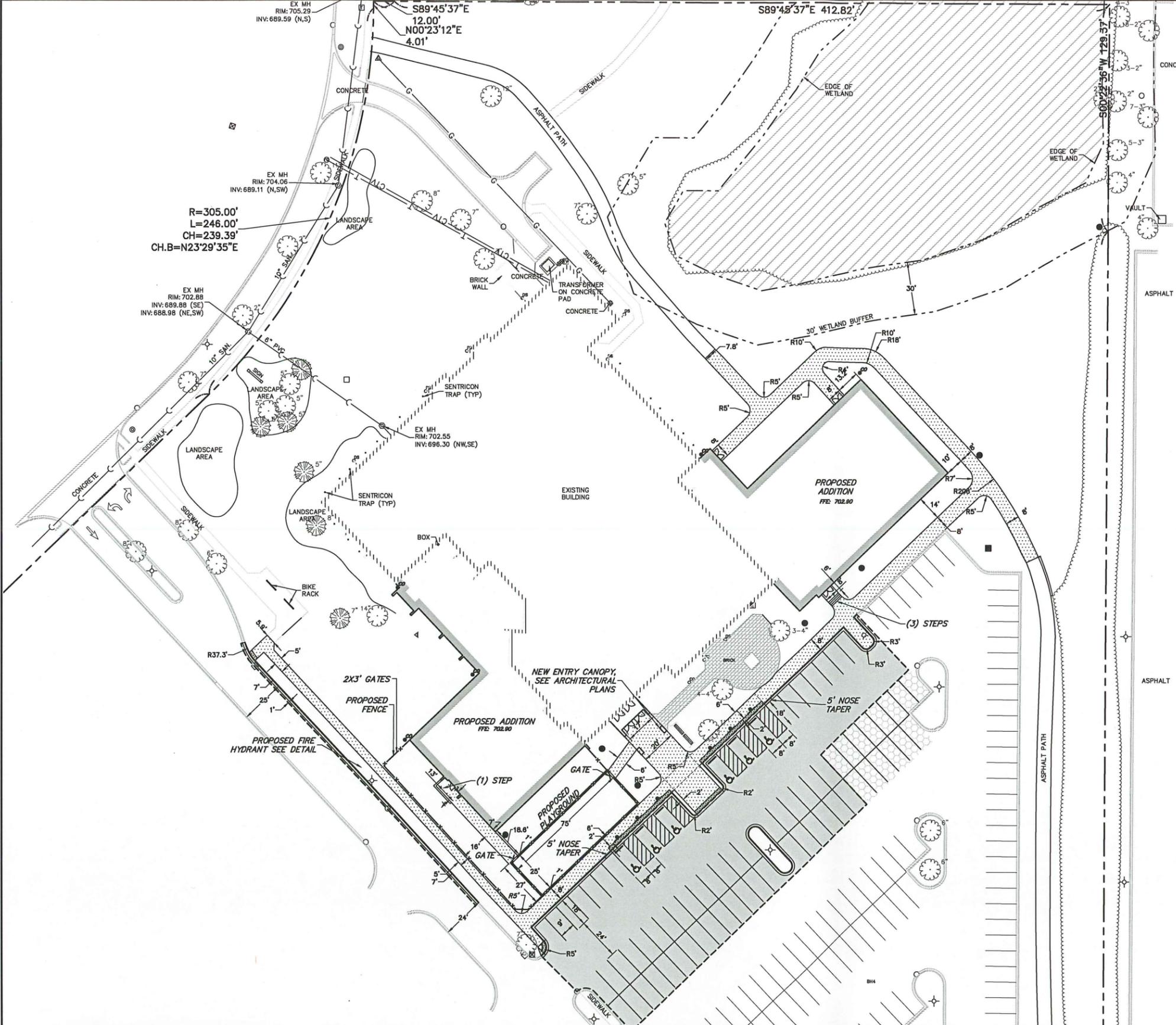
**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
 625 Forest Edge Drive ■ Vernon Hills, IL. 60061  
 TEL 847.478.9700 ■ FAX 847.478.9701

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**EXISTING CONDITIONS & DEMOLITION PLAN**  
**SULLIVAN COMMUNITY CENTER EXPANSION**  
**635 N. ASPEN DRIVE**  
**VILLAGE OF VERNON HILLS, ILLINOIS**

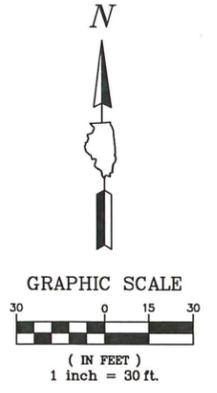
NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE 5088.300_PR.dwg	SHEET NUMBER
DRAWN BY: ALC	2
DATE 1/18/16	5088.100
CHECKED BY: TAR	SCALE 1"=30'
DATE 1/18/16	OF 11 SHEETS



**LEGEND**

- BITUMINOUS PAVEMENT
- PAVEMENT OVERLAY, 2.25"
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- DETECTABLE WARNINGS
- BARRIER CURB
- DEPRESSED BARRIER CURB
- B6.12 CURB & GUTTER
- B6.12 CURB & GUTTER REVERSE PITCH
- DEPRESSED B6.12 CURB & GUTTER
- HANDICAPPED RAMP (SIDEWALK)



STANDARD STALLS:	295
HANDICAP STALLS:	11
TOTAL PARKING STALLS:	306
MAIN PARKING STANDARD STALLS:	170
MAIN PARKING HANDICAP STALLS:	6
SOUTH PARKING STANDARD STALLS:	125
SOUTH PARKING HANDICAP STALLS:	5

**STRIPING COLOR SCHEDULE**

ITEM:	COLOR:
PARKING STALL	WHITE
LETTERING "NO PARKING"	RED
LETTERING "COMPACT"	WHITE
"STOP" LEGENDS	WHITE
ACCESSIBILITY SYMBOL	BLUE W/YELLOW SYMBOLS
ACCESSIBLE LOADING	YELLOW
LOADING ZONE	YELLOW
DIRECTIONAL SIGNAGE	WHITE
CENTER LINE STRIPING	WHITE

IDOT APPROVED PAINT SHALL BE APPLIED IN TWO SINGLE 16 MIL. APPLICATION

**NOTES:**

- ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPING UNLESS OTHERWISE NOTED EXCEPT FOR RADII OF CURB, WHICH ARE DIMENSIONED TO BACK OF CURB.
- CONTRACTOR SHALL CONSTRUCT CURB & GUTTER WITH BOTH NORMAL AND REVERSE PITCH GUTTER DEPENDENT UPON ADJACENT ASPHALT SLOPE.
- SEE ARCH. PLANS FOR BLDG. DIMENSIONS.

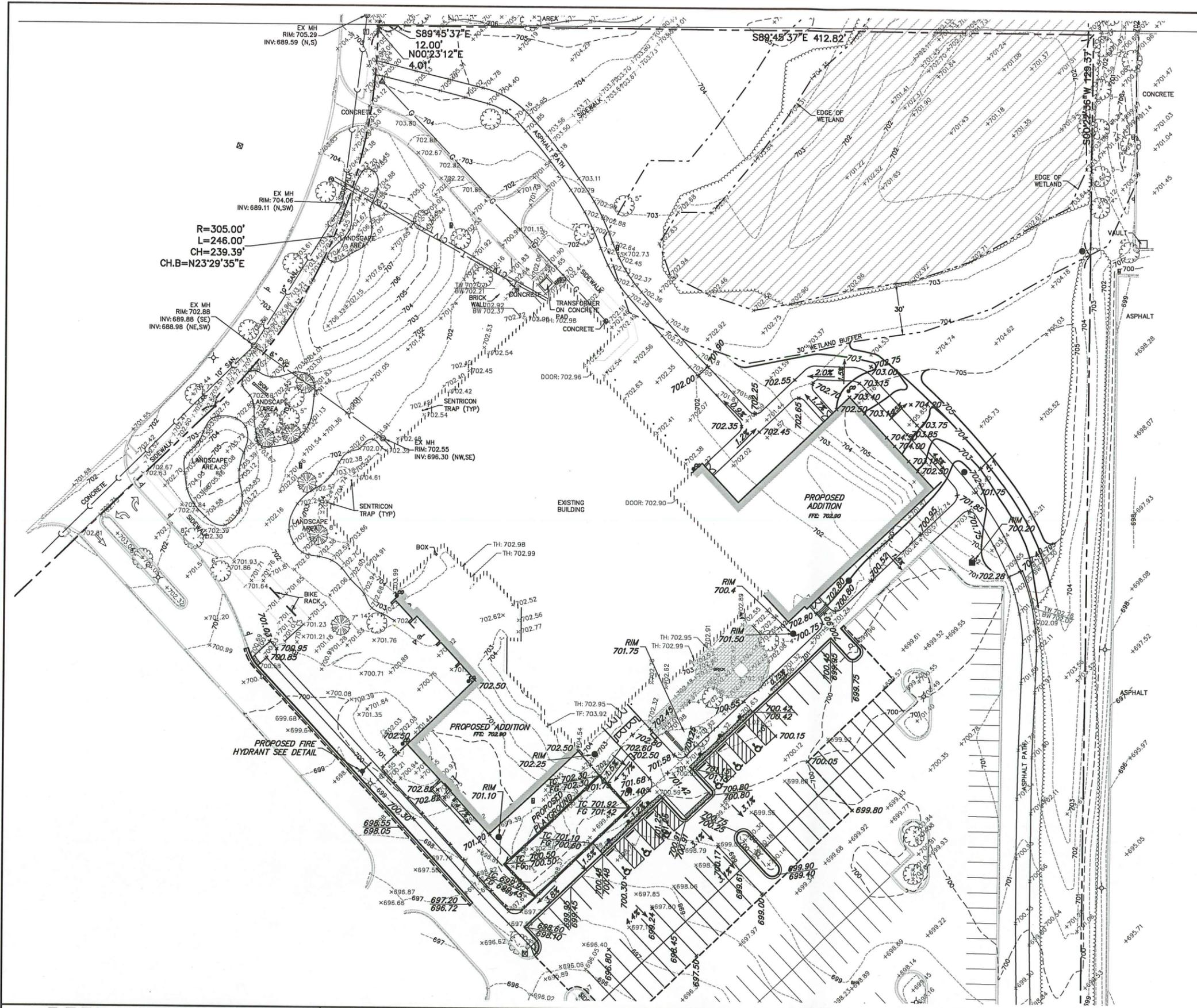
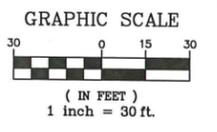
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**GEOMETRIC PLAN**  
**SULLIVAN COMMUNITY CENTER EXPANSION**  
**635 N. ASPEN DRIVE**  
**VILLAGE OF VERNON HILLS, ILLINOIS**

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5088.300_PR.dwg	SHEET NUMBER:
DRAWN BY: ALC	3
DATE: 1/18/16	GHA PROJECT #
	5088.100
CHECKED BY: TAR	SCALE:
DATE: 1/18/16	1"=30'
	OF 11 SHEETS



R=305.00'  
 L=246.00'  
 CH=239.39'  
 CH.B=N23°29'35"E

**GRADING NOTES**

1. PRIOR TO ANY EXCAVATION WORK, PROVIDE EROSION CONTROL.
2. IN PROPOSED PAVEMENT AREAS, EXCAVATE TO SUB-BASE, COMPACT SOIL TO 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) AND INSTALL PAVEMENT SECTION AS NOTED ON THE PLANS. PRIOR TO APPROVAL OF THE SUB-BASE, ALL PAVEMENT AREAS WILL BE PROOF ROLLED. ANY AREAS FOUND TO DEFLECT SHALL BE SCARIFIED AND RECOMPACTED AS DIRECTED BY THE ENGINEER, UNTIL THIS STANDARD IS ACHIEVED.
3. SUBGRADE SOILS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY UNLESS OTHERWISE NOTED. BASE COURSE STONE AND TRENCH BACKFILL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL IMPORT OR EXPORT SOIL AS NECESSARY TO CONSTRUCT THE SITE TO SPECIFIED PLAN GRADES. SUCH WORK IS CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR SUCH WORK.
5. CRUSHED CONCRETE SHALL NOT BE ALLOWED FOR PAVEMENT BASE COURSE OR TRENCH BACKFILL.
6. ALL PROPOSED GREEN AREAS ARE TO HAVE ALL DEBRIS REMOVED AND REPLACED WITH SIX INCHES OF TOPSOIL AND SOD. TOPSOIL SHALL BE FURNISHED AND PLACED BY THE CONTRACTOR. ALL TOPSOIL SHALL BE FREE OF CLODS, STONES, STICKS AND DEBRIS.
7. AFTER ESTABLISHMENT OF VEGETATION, OR PLACEMENT OF BASE COURSE IN PAVED AREAS, REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES.
8. CAMPUS AND PUBLIC ROADWAYS SHALL BE KEPT CLEAN OF ALL DEBRIS AND SOIL AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SWEEP AND WASH THE ROAD ON A DAILY BASIS OR MORE FREQUENTLY AS MAY BE NEEDED.

SITE AREA: 31.03 ACRES  
 PROJECT AREA: 3.11 ACRES  
 EXISTING IMPERVIOUS AREA: 1.86 ACRES  
 EXISTING PERVIOUS AREA: 1.25 ACRES  
 PROPOSED IMPERVIOUS AREA: 2.17 ACRES  
 PROPOSED PERVIOUS AREA: 0.94 ACRES

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 625 Forest Edge Drive ■ Vernon Hills, IL. 60061  
 TEL 847.478.9700 ■ FAX 847.478.9701

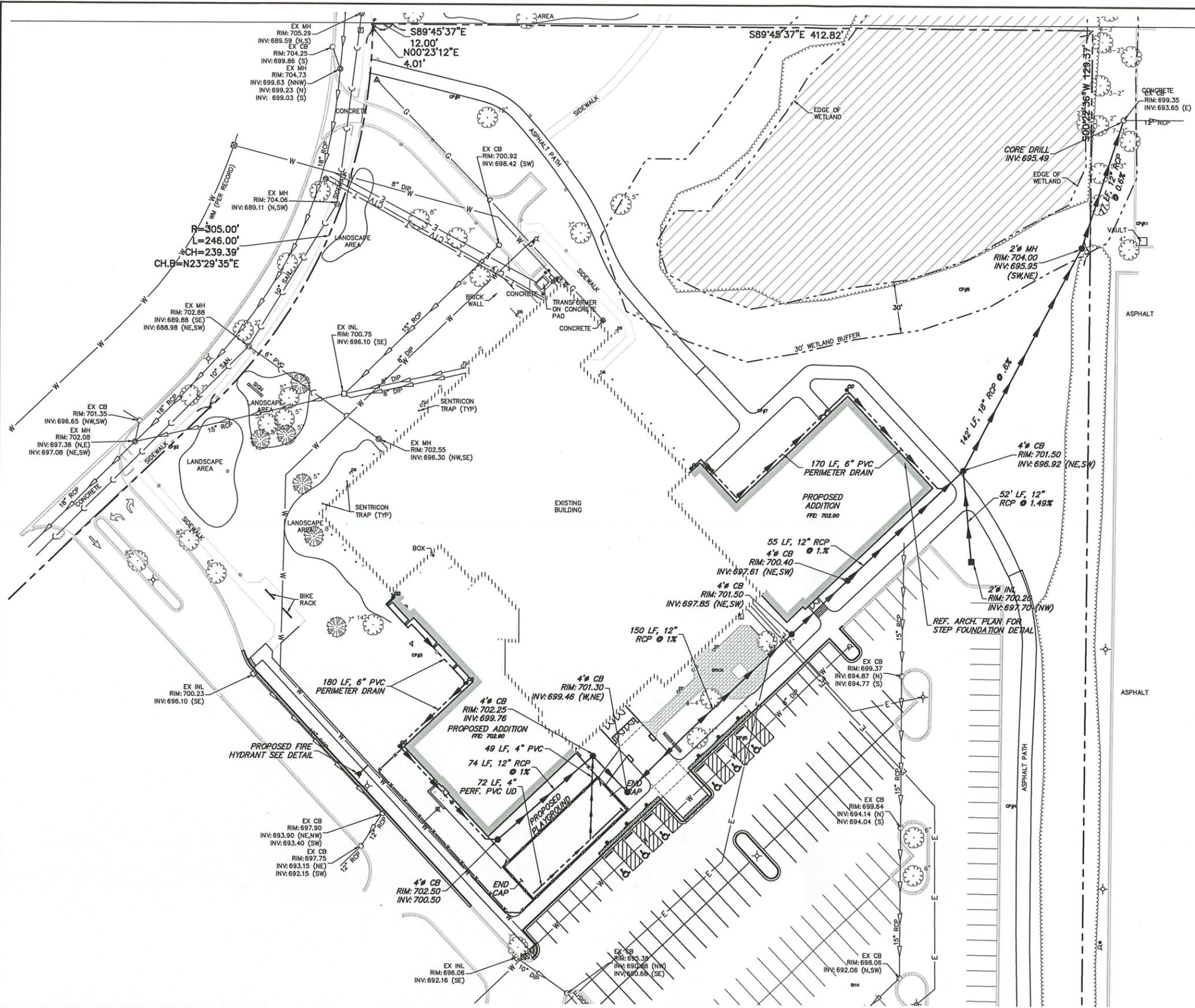
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**GRADING PLAN**  
**SULLIVAN COMMUNITY CENTER EXPANSION**  
**635 N. ASPEN DRIVE**  
**VILLAGE OF VERNON HILLS, ILLINOIS**

NO.	BY	DATE	REVISION

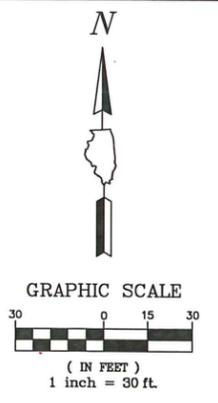
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DRAWN BY: ALC	GHA PROJECT #
DATE: 1/18/16	5088.100
CHECKED BY: TAR	SCALE:
DATE: 1/18/16	1"=30'
	OF 11 SHEETS

**4**



**LEGEND**

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED STORM SEWER
- PROPOSED STORM UNDERDRAIN - PERFORATED
- PROPOSED STORM UNDERDRAIN - SOLID
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED INLET
- PROPOSED CATCHBASIN
- PROPOSED MANHOLE



**UTILITY PLAN NOTES**

1. THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF VERNON HILLS (847-387-3726) AND GEWALT HAMILTON ASSOCIATES, INC. (847-478-9700) 3 WORKING DAYS IN ADVANCE OF ANY WORK BEING PERFORMED ON-SITE.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO INITIATING WORK. ANY DISCREPANCIES FOUND BETWEEN THE INFORMATION NOTED ON THE PLANS AND ACTUAL FIELD CONDITIONS, OR ANY CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED ANY FURTHER UNTIL GIVEN WRITTEN CLARIFICATION ON HOW TO PROCEED.
3. INSTALL ALL STORM SEWERS AS SHOWN. ALL SOLID WALL PVC SHALL BE SDR 26 ASTM D-3034 WITH ASTM D-3212 JOINTS. ALL PERFORATED PVC SHALL BE SDR 26 ASTM D-3034 WITH ASTM D-3212 JOINTS. ALL RCP STORM SEWER SHALL BE DOT CLASS IV, UNLESS OTHERWISE NOTED. WHERE STORM SEWER CROSSES OVER WATERMAIN, PVC STORM SEWER SHALL BE SDR 26 ASTM D-2241 WITH ASTM D-3139 /ASTM F-477-76 JOINTS (WATERMAIN CLASS). CONNECTION OF PROPOSED STORM SEWERS TO EXISTING MANHOLES SHALL BE DONE BY CORING INTO THE EXISTING STRUCTURE AS DETAILED. FRAME AND GRATES ARE NOTED ON THE PLANS PER STRUCTURE, SPECIFIED AS FOLLOWS:
  - A). TYPE 1 = 9" (PAVED AREAS) NEENAH R-1713 FRAME, 4" (GRASS AREAS) NEENAH R-2595-A FRAME, O.L.=OPEN GRATE TYPE 'D', C.L.=CLOSED LID.
  - B). TYPE 8 = NEENAH R-4340-B
  - C). TYPE 11 = NEENAH R-3281-A
4. STORM SEWER CONSTRUCTION SHALL BEGIN AT DOWNSTREAM MANHOLE AND AS OUTLINED IN THE CONSTRUCTION SEQUENCE.
5. INSTALL ALL WATERMAIN AS SHOWN. ALL WATERMAIN SHALL BE DIP CL 52 SIZE AS NOTED. PROVIDE AS-CONSTRUCTED LOCATIONS OF ALL BENDS.
6. UTILITIES PROPOSED IN EXISTING PAVEMENT AREAS SHALL BE INSTALLED TO LIMIT PAVEMENT REMOVAL AND REPLACEMENT TO THE EXTENT POSSIBLE. PRIOR TO INSTALLING UTILITY, THE EXISTING PAVEMENT SHALL BE SAWCUT STRAIGHT. REPAIR PAVEMENT IN ACCORDANCE WITH THE PAVEMENT PATCHING DETAIL USING HEAVY DUTY PAVEMENT METHOD.

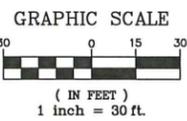
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**UTILITY PLAN**  
**SULLIVAN COMMUNITY CENTER EXPANSION**  
**635 N. ASPEN DRIVE**  
**VILLAGE OF VERNON HILLS, ILLINOIS**

NO.	BY	DATE	REVISION

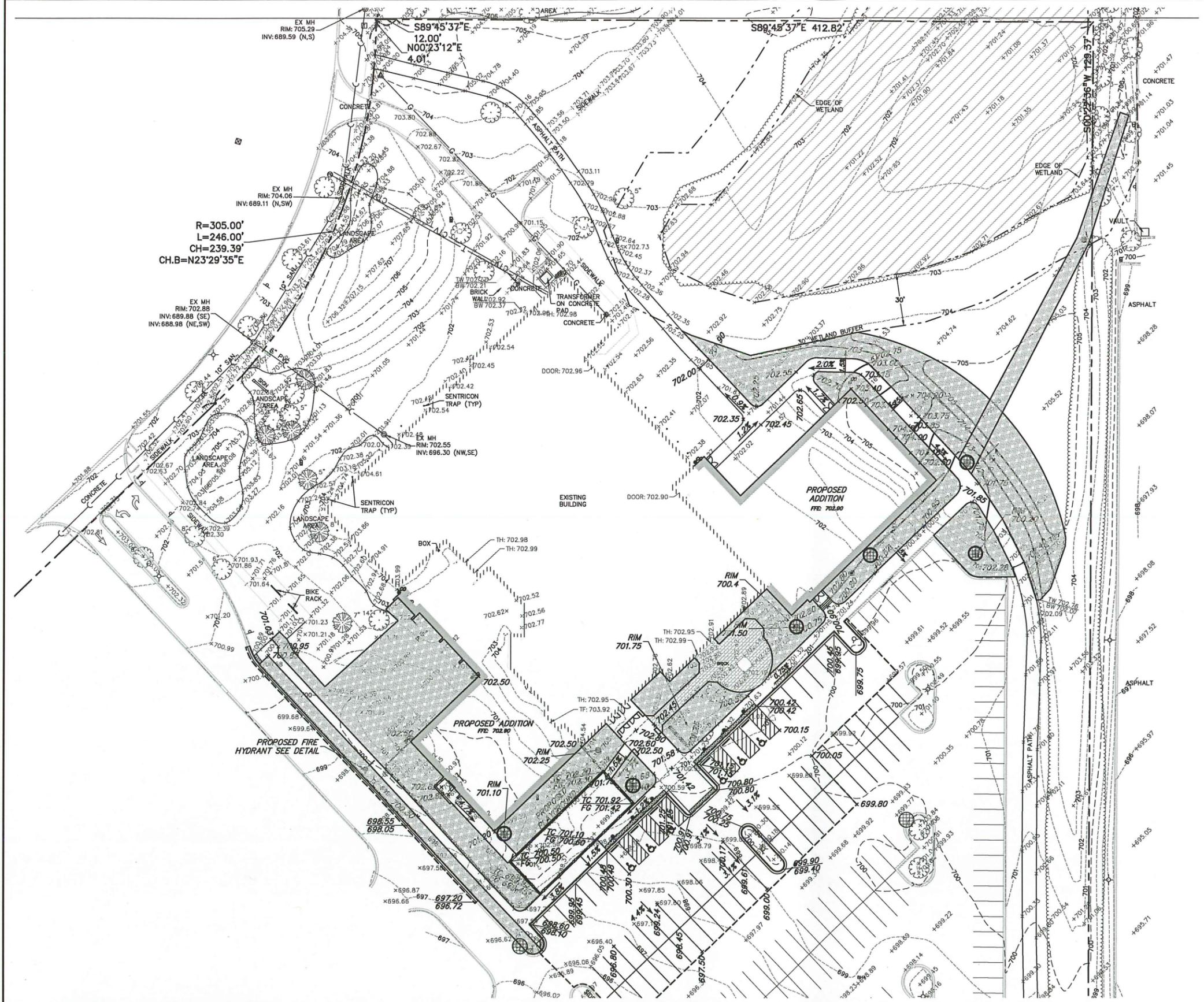
FILE 5088.300_PR.dwg	SHEET NUMBER
DRAWN BY: ALC	GHA PROJECT #
DATE 1/18/16	5088.100
CHECKED BY: TAR	SCALE
DATE 1/18/16	1"=30'
	OF 11 SHEETS



**LEGEND**

- RESTORATION
- TOPSOIL 4"
- CLASS 2A SEED
- EROSION CONTROL BLANKET
- STORM SEWER INLET PROTECTION:
- INLET FILTER BASKET
- INLET FILTER BASKET & COIR LOG
- PERIMETER SILT FENCE

NOTE: REFERENCE LANDSCAPE ARCH. PLANS FOR LANDSCAPE AREAS



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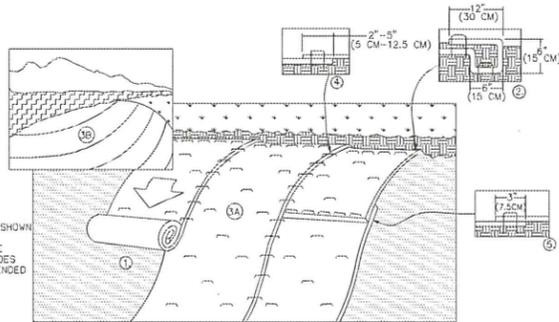
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**EROSION CONTROL PLAN**  
**SULLIVAN COMMUNITY CENTER EXPANSION**  
**635 N. ASPEN DRIVE**  
**VILLAGE OF VERNON HILLS, ILLINOIS**

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

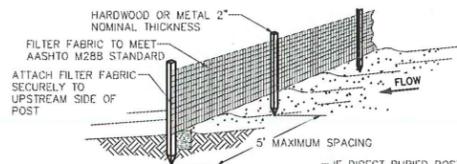
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	OF 11 SHEETS

STAPLE PLACEMENTS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SEE STAPLE PATTERN GUIDES FOR ACTUAL RECOMMENDED PLACEMENTS.

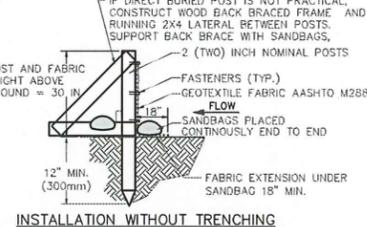


1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
  2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
  3. ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2'-5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
  5. CONSECUTIVE RECP'S SPUNCE DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.
- NOTE:  
\*IN LOOSE SOIL, CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

### EROSION CONTROL BLANKET SLOPE INSTALLATION



TRENCH DETAIL



INSTALLATION WITHOUT TRENCHING

1. SET POSTS AND EXCAVATE OR SLIT-TRENCH A 6-INCH DEEP TRENCH UPSLOPE ALONG THE LINE OF THE POST
2. ATTACH AASHTO GEOTEXTILE FILTER FABRIC TO EACH POST WITH A MINIMUM OF THREE (3) FASTENERS PER POST AND EXTEND TO THE BOTTOM OF THE TRENCH. ACCEPTABLE FASTENERS INCLUDE STAPLES, ZIP-TIES, OR WIRE TIES.
3. BACKFILL AND COMPACT THE EXCAVATED SPOIL MATERIALS

PROPERTY	TEST PROCEDURE
Grab Elongation	ASTM D-4533 123 lbs
Machine Direction	ASTM D-4833 101 lbs
X-Machine Direction	ASTM D-4491 0.05 sec <sup>-1</sup>
A.S.O.	ASTM D-4751 30 u.s. Sieve
UV Stability	ASTM D-4355 70%

- NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
  2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
  3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  4. FABRIC AND INSTALLATION SHALL MEET THE REQUIREMENTS OF ASHTO STANDARD SPECIFICATION M-288-00.
  5. SLICING METHOD IS PREFERRED.

### SILT FENCE INSTALLATION DETAIL

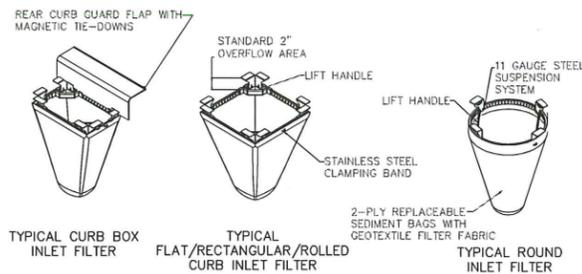
Stabilization Type:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Permanent Seeding			A			X	X	X	X	X		
Dormant Seeding	B											
Temporary Seeding			C			X	X	X	X	X		
Sodding			E	X	X	X						
Mulching			F									

### TYPICAL SOIL PROTECTION CHART

- A = KENTUCKY BLUEGRASS @ 90 LBS./AC. MIXED WITH PERENNIAL RYEGRASS @ 30 LBS./AC.  
 B = KENTUCKY BLUEGRASS @ 135 LBS./AC. MIXED WITH PERENNIAL RYEGRASS @ 45 LBS./AC.  
 C = SPRING OATS @ 100 LBS./AC.  
 D = WHEAT OR CEREAL RYE @ 150 LBS./AC.  
 E = SOD  
 F = STRAW MULCH (HYDROMULCH OR USE STRAW BLANKET) @ 2 TONS/AC.  
 XXX = IRRIGATION NEEDED

IRRIGATION SHOULD BE PROVIDED AS NECESSARY TO THOROUGHLY ESTABLISH INTENDED GROWTH.

NOTE:  
SPRAYED ON PRODUCTS CANNOT BE USED NOV.-FEB.



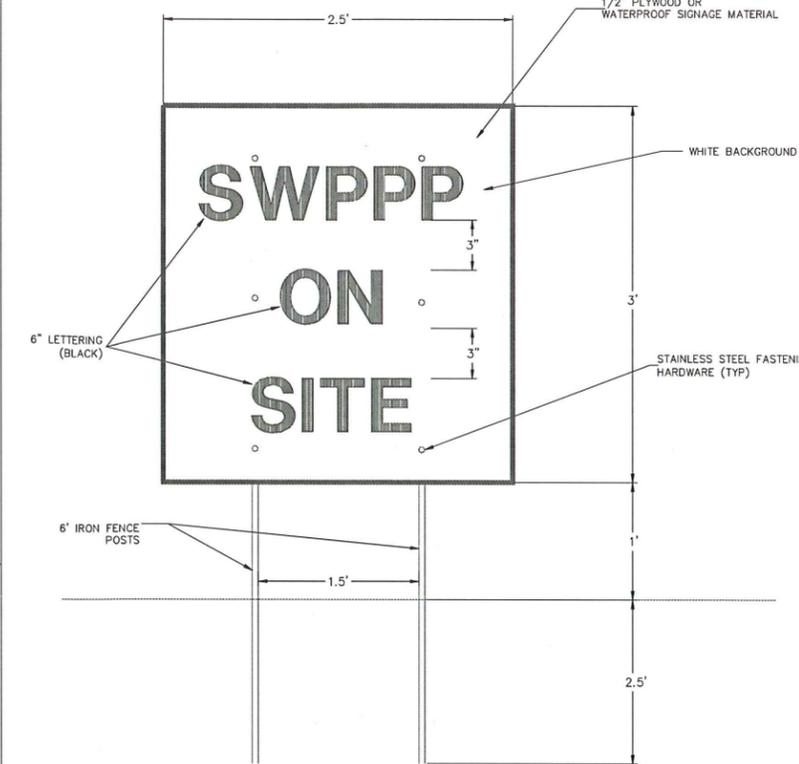
MAINTENANCE  
1. CLEAN OUT AFTER EVERY RAIN EVENT

Material Property	Test Method	Value (min. ave.)
> Inner Filter Bag Specs (24" x 36" x 48")		
Grab Tensile	ASTM D 4532	100 lbs
Puncture Strength	ASTM D 4833	65 lbs
Trapezoidal Tear	ASTM D 4535	45 lbs
UV Resistance	ASTM D 4355	70% at 500 hrs
App. Open Size (AOS)	ASTM D 4751	70 sieve (1.21 mm)
Permittivity	ASTM D 4491	2.0/sec
Water Flow Rate	ASTM D 4491	145 gpm/sqft
> Polyester Outer Reinforcement Bag Specifications		
Weight	ASTM D 3776	4.55 oz/sqyd +/- 15%
Thickness	ASTM D 1777	0.40 +/- .005
> Frame Construction		
A36 Structural Steel	ASTM A 576	Tensile Strength > 58,000 psi
11 Gauge Zinc Plated		Yield Strength > 35,000 psi

### INLET FILTER BASKET DETAIL

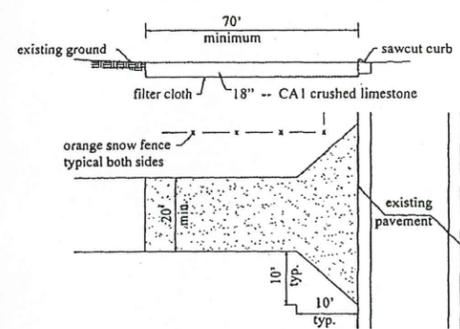
- NOTES:  
 1. WORDING IS TO BE PLACED ON WATERPROOF MATERIAL OR ENCLOSED WITHIN A WATERPROOF ENCASUREMENT.  
 2. THE SIGN SHALL BE FASTENED TO THE POSTS AT A MINIMUM OF SIX (6) LOCATIONS WITH STAINLESS STEEL HARDWARE.  
 3. THE SIGN SHALL BE POSTED AT THE MAIN ENTRANCE TO THE CONSTRUCTION SITE. IF THE ENTRANCE LOCATION IS RELOCATED, THE SWPPP SIGNAGE SHALL ALSO BE RELOCATED.

### SWPPP SIGNAGE



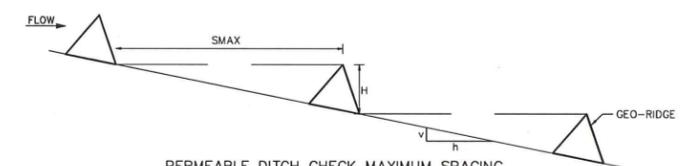
### VILLAGE OF VERNON HILLS EXHIBIT NO. 38

#### STABILIZED CONSTRUCTION ENTRANCE

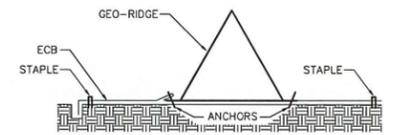


#### CONSTRUCTION ENTRANCE SPECIFICATIONS

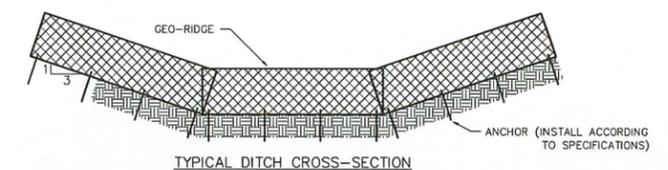
1. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to drop sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
2. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto the public right-of-way, when washing required. It shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
3. Periodic inspection and needed maintenance shall be provided after each rain.
4. Temporary ramps must be removed prior to November 15<sup>th</sup>.
5. Provide proper warning signs for both the street and pedestrian traffic.
6. Any stone placed for the Stabilized Construction Entrance shall be installed below subgrade if it is to remain. All contaminated material must be removed to the proposed subgrade elevation prior to any pavement construction.



PERMEABLE DITCH CHECK MAXIMUM SPACING



PERMEABLE DITCH CHECK CROSS-SECTION

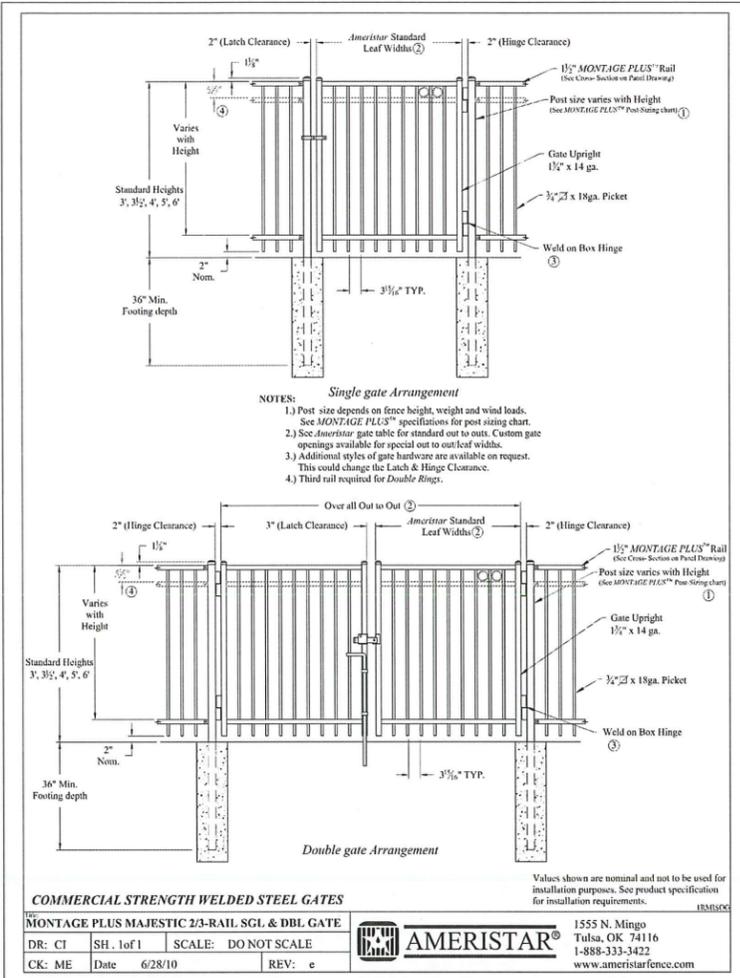


TYPICAL DITCH CROSS-SECTION

- NOTES:  
 1. THE PERMEABLE DITCH CHECK SHALL BE GEO-RIDGE, OR EQUIVALENT.  
 2. THE PERMEABLE DITCH CHECK SHALL BE ANCHORED WITH 10" GALVANIZED ARDOX SPIKES WITH A 3/8" X 1.5" GALVANIZED WASHER.  
 3. THE EROSION CONTROL BLANKET (ECB) SHALL BE A MACHINE-PRODUCED MAT OF 100% COCONUT FIBER MATRIX STITCH BONDED WITH UV STABILIZED THREAD BETWEEN TWO UV STABILIZED POLYPROPYLENE NETTINGS. THE ECB SHALL BE C125 AS MANUFACTURED BY NORTH AMERICAN GREEN (NAG), OR EQUIVALENT.  
 4. THE PERMEABLE DITCH CHECK SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
 5. THE PERMEABLE DITCH CHECK SHALL BE CLEANED WHEN SEDIMENT HAS ACCUMULATED HALF THE HEIGHT OF THE DITCH CHECK.  
 6. THE PERMEABLE DITCH CHECK SHALL BE REMOVED ONLY AFTER SITE HAS ACHIEVED FULL STABILIZATION.  
 7. THE DEGRADABLE VERSION SHALL ONLY BE USED ON TOP OF AN EROSION CONTROL BLANKET, TURF REINFORCEMENT MAT OR STABILIZED AREA.

### GEO-RIDGE PERMEABLE DITCH CHECK

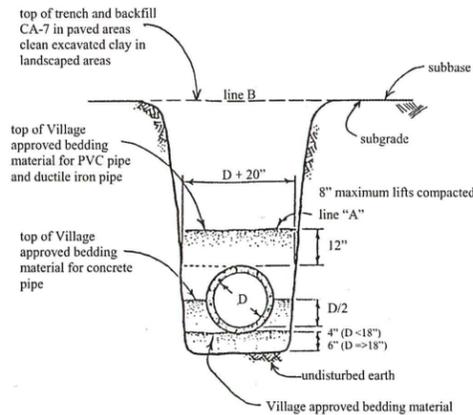




Appendix B - Development Regulations

VILLAGE OF VERNON HILLS  
EXHIBIT NO. 1

TYPICAL TRENCH AND STANDARD BEDDING



Notes:

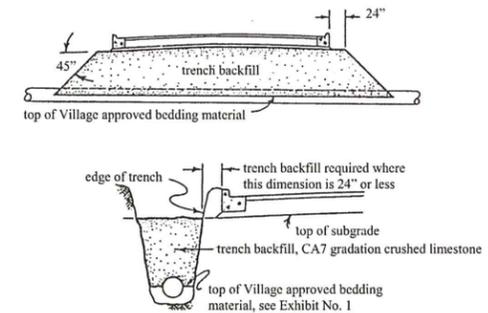
1. Village approved bedding material for non-plastic pipe shall be well compacted crushed limestone, CA7 gradation.
2. Village approved bedding material for plastic pipe shall conform ASTM D2321, Class II non-angular aggregate except the maximum size shall be 1/2 inch, #6 washed stone.
3. No jetting will be allowed between November 15<sup>th</sup> and April 1<sup>st</sup>.
4. Voids left by sheeting shall be filled with standard bedding materials as the sheeting is removed.
5. All clay caps over storm sewer trenches within paved areas shall be exposed and additional trench and backfill added, if necessary, before subbase placement.

CDB:93

Appendix B - Development Regulations

VILLAGE OF VERNON HILLS  
EXHIBIT NO. 2

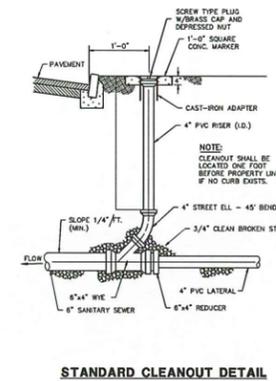
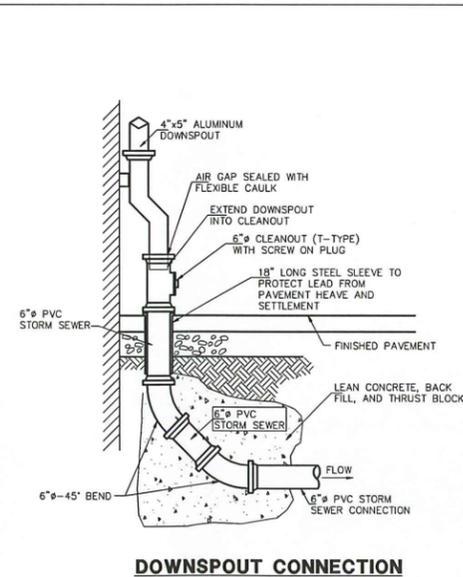
TRENCH BACKFILL



Notes:

1. Trench backfill shall conform to the provision of compaction of the IDOT Standard Specifications for Road and Bridge Construction, Latest Edition.

CDB:94



DETAILS

SULLIVAN COMMUNITY CENTER EXPANSION  
635 N. ASPEN DRIVE  
VILLAGE OF VERNON HILLS, ILLINOIS

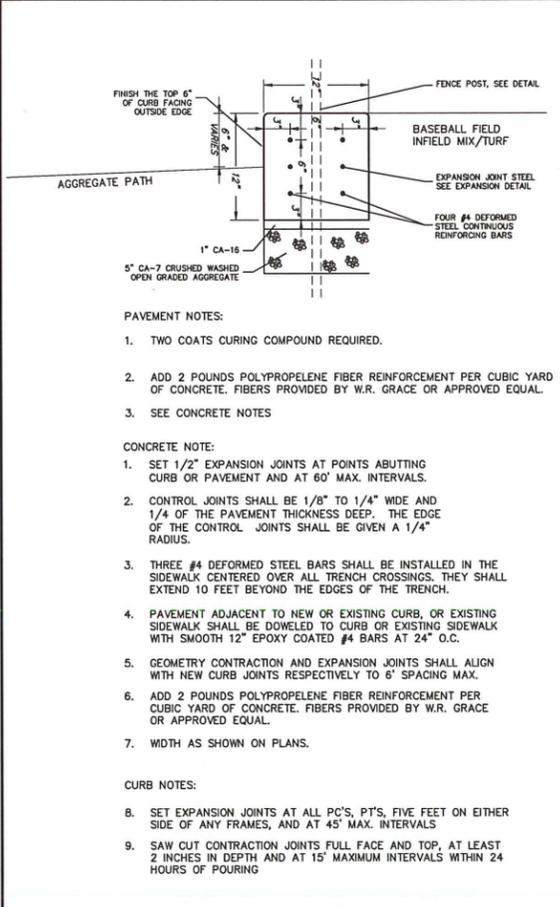
NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

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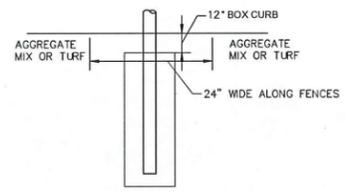
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DATE: 1/18/16	5088.300
CHECKED BY: TAR	SCALE:
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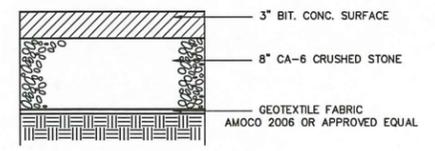
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OF 11 SHEETS



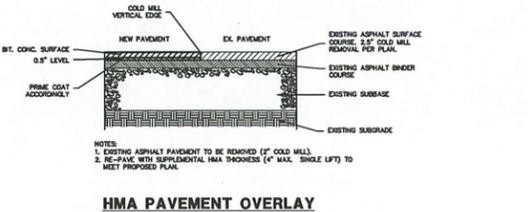
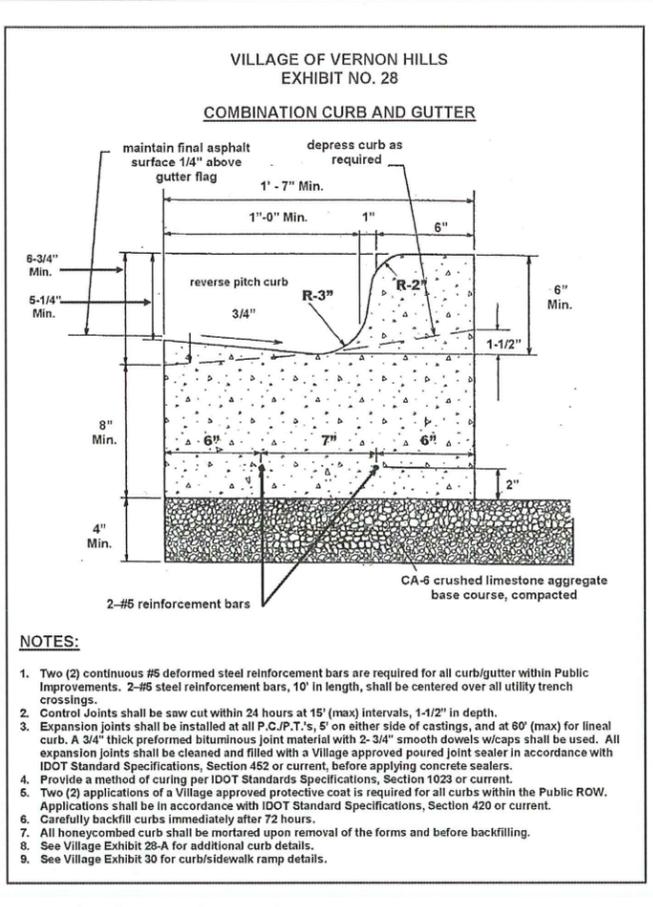
**BOX CURB WITH FENCE**



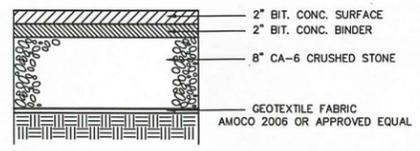
**FENCE SECTION**



**HMA PAVEMENT PATH**



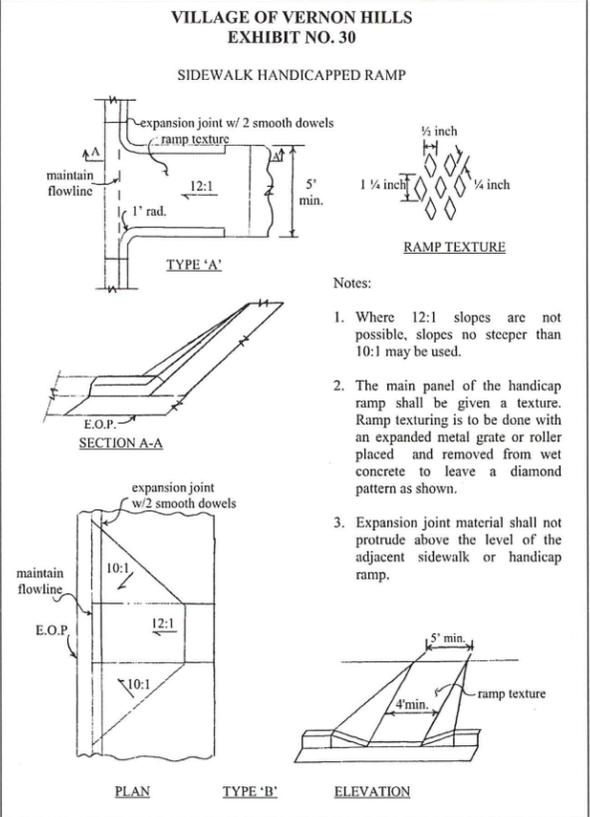
**HMA PAVEMENT OVERLAY**



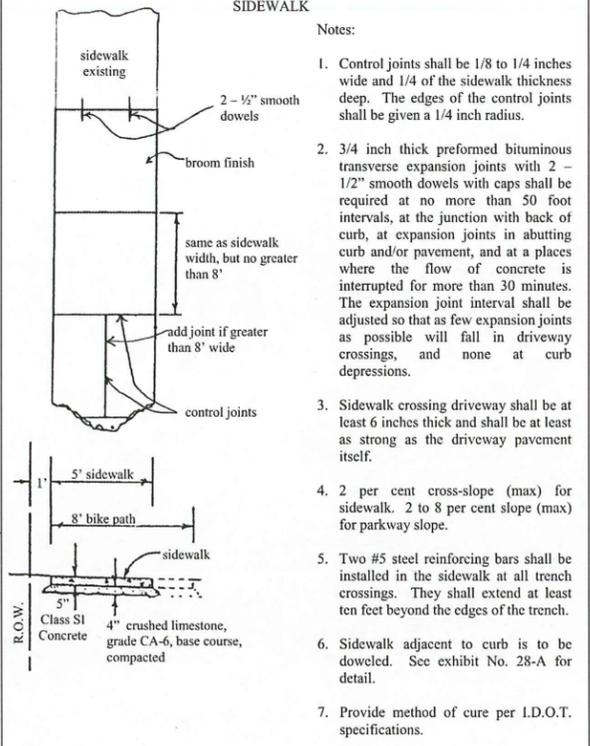
**FULL DEPTH PAVEMENT DETAIL**

**DETAILS**

**SULLIVAN COMMUNITY CENTER EXPANSION  
635 N. ASPEN DRIVE  
VILLAGE OF VERNON HILLS, ILLINOIS**

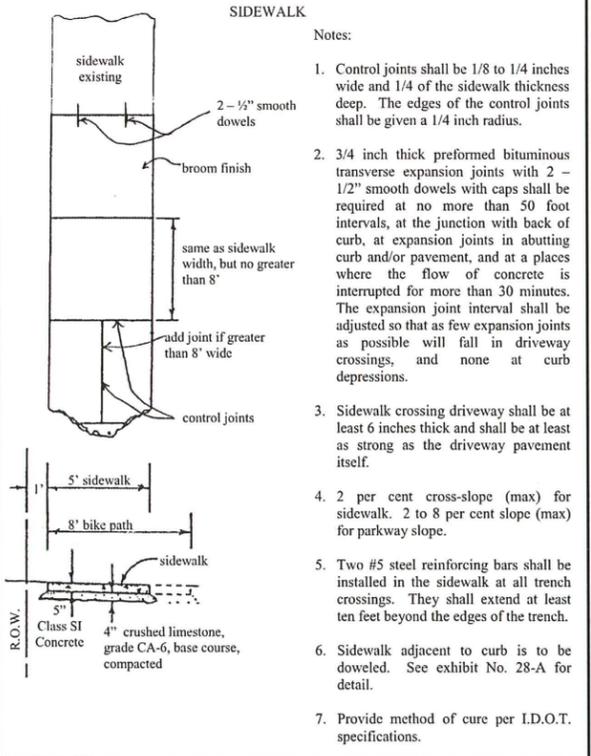


**VILLAGE OF VERNON HILLS EXHIBIT NO. 29**

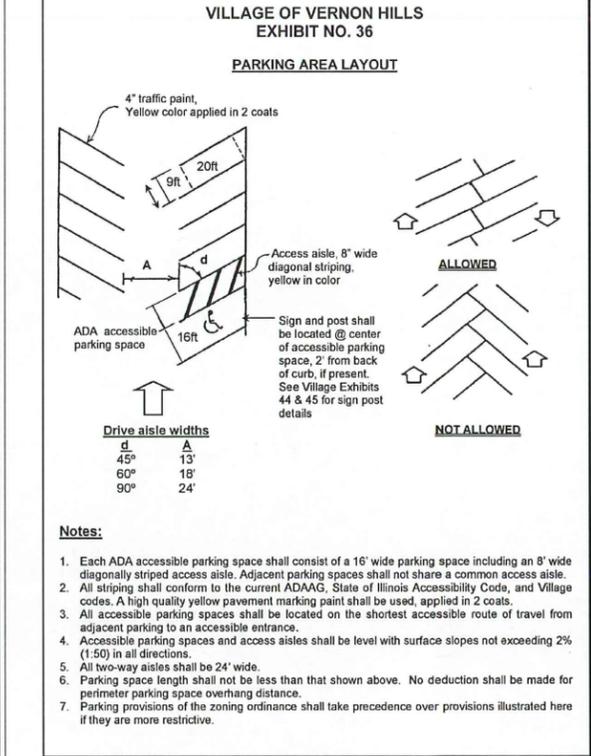


**VILLAGE OF VERNON HILLS EXHIBIT NO. 29**

**VILLAGE OF VERNON HILLS EXHIBIT NO. 29**



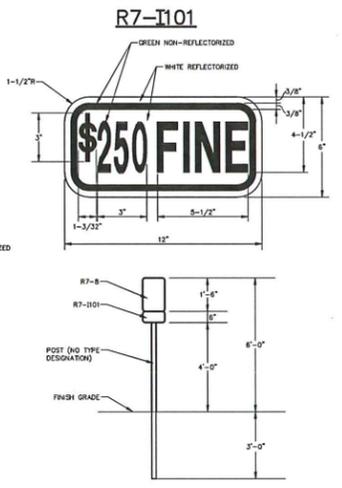
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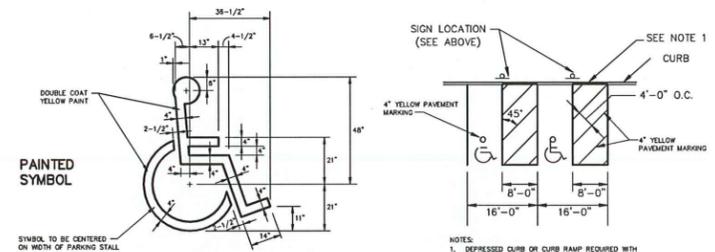
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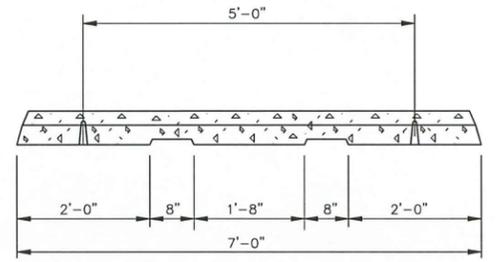
HANDICAPPED PARKING SIGN



R7-1101

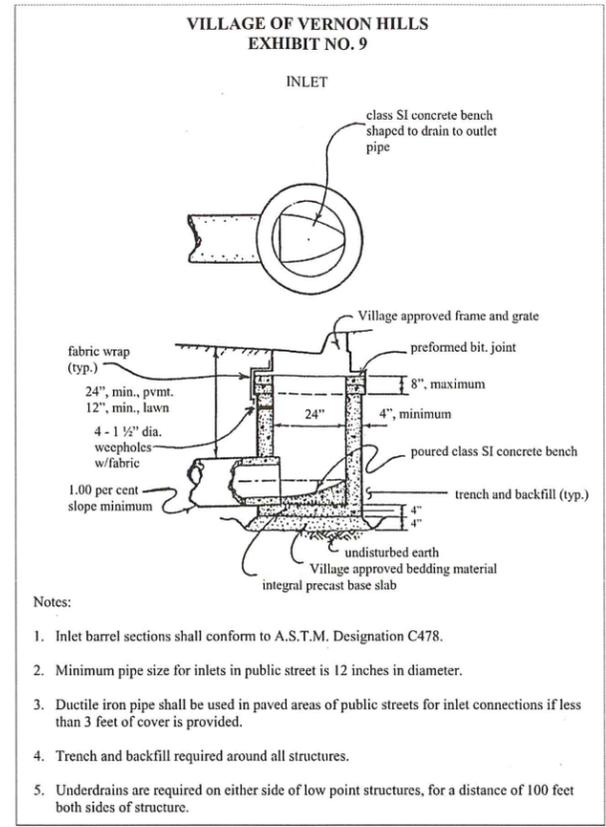


HANDICAPPED PARKING STALL AND SIGN DIMENSIONS

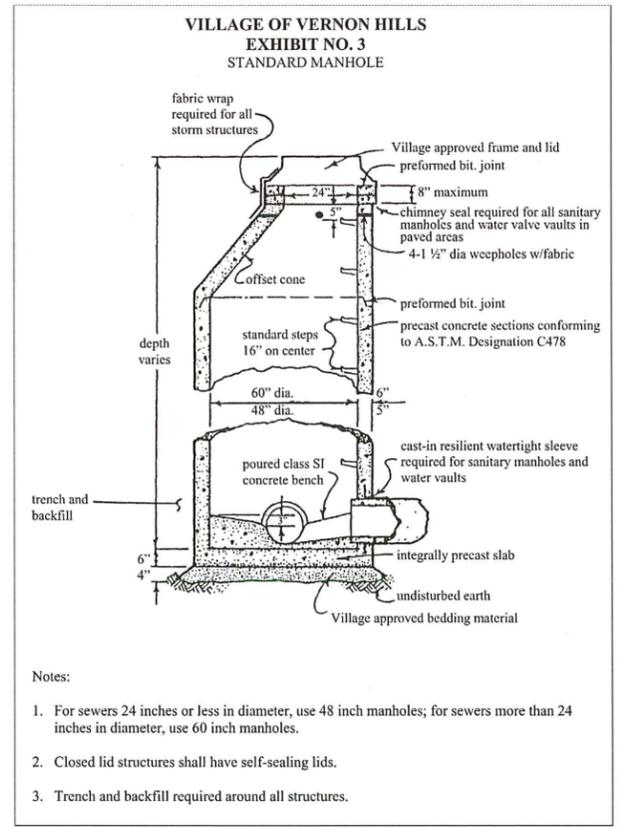


- NOTES:
1. WHEEL STOPS TO BE CENTERED IN WIDTH OF PARKING STALLS.
  2. STEEL REBAR TO BE INSTALLED AS REQUIRED TO SECURE WHEEL STOPS.

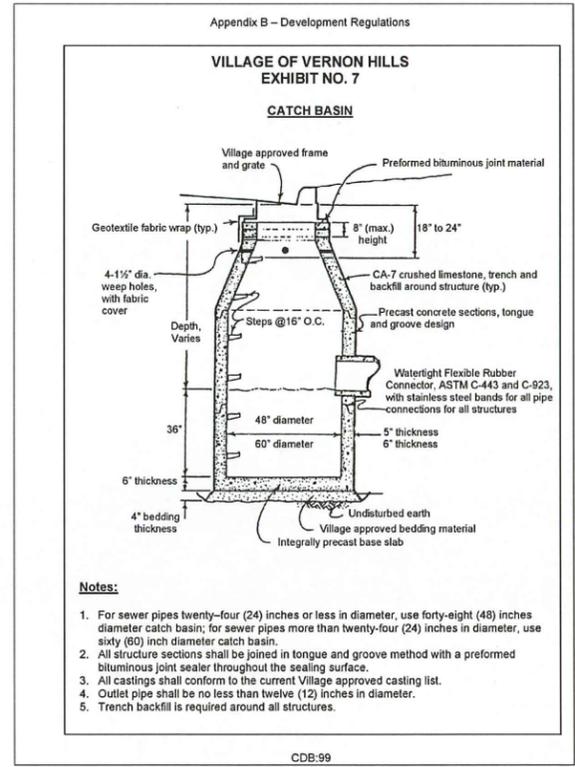
WHEEL STOP



- Notes:
1. Inlet barrel sections shall conform to A.S.T.M. Designation C478.
  2. Minimum pipe size for inlets in public street is 12 inches in diameter.
  3. Ductile iron pipe shall be used in paved areas of public streets for inlet connections if less than 3 feet of cover is provided.
  4. Trench and backfill required around all structures.
  5. Underdrains are required on either side of low point structures, for a distance of 100 feet both sides of structure.

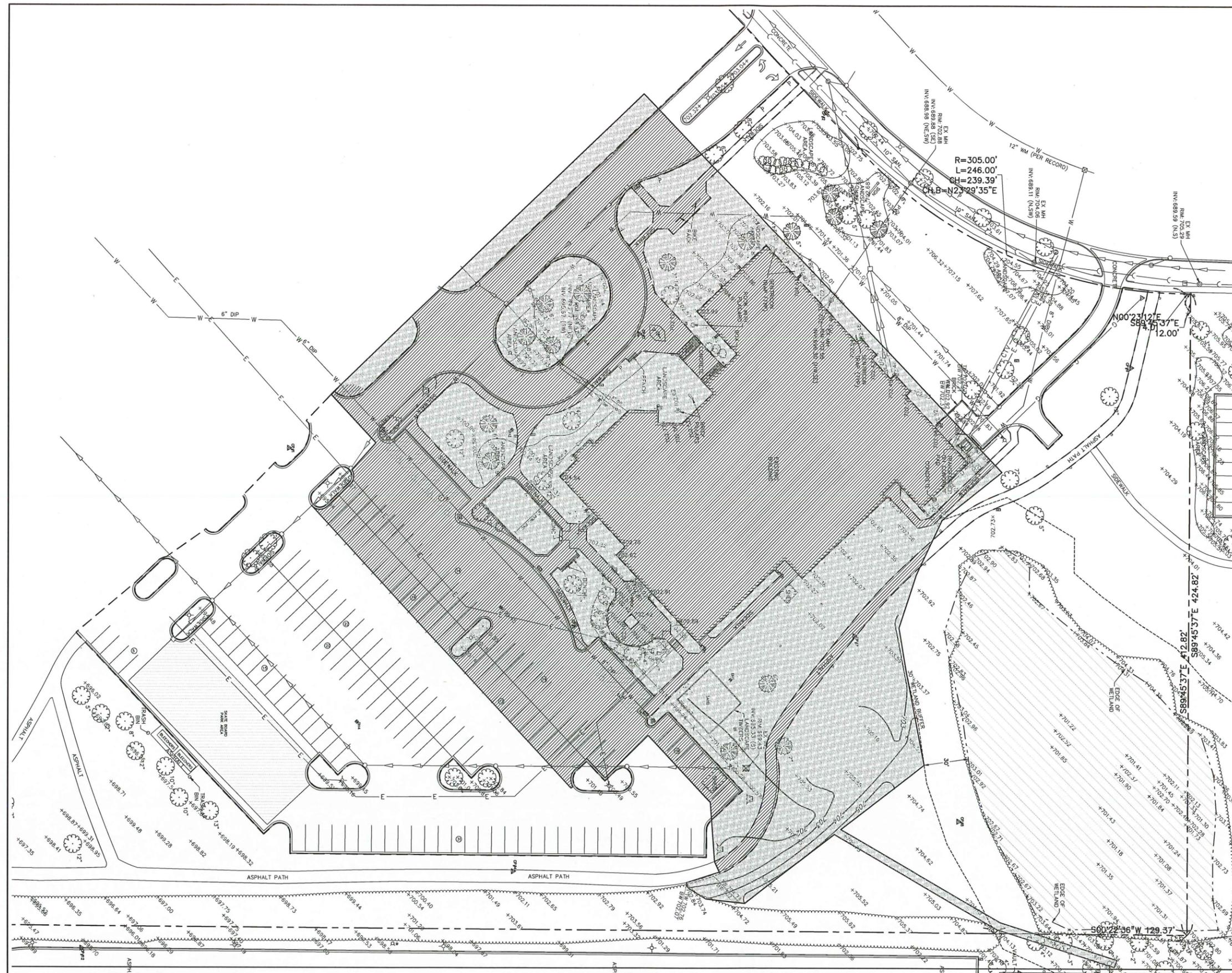
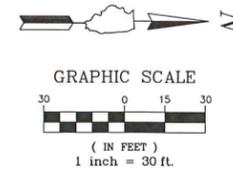


- Notes:
1. For sewers 24 inches or less in diameter, use 48 inch manholes; for sewers more than 24 inches in diameter, use 60 inch manholes.
  2. Closed lid structures shall have self-sealing lids.
  3. Trench and backfill required around all structures.



- Notes:
1. For sewer pipes twenty-four (24) inches or less in diameter, use forty-eight (48) inch diameter catch basin; for sewer pipes more than twenty-four (24) inches in diameter, use sixty (60) inch diameter catch basin.
  2. All structure sections shall be joined in tongue and groove method with a preformed bituminous joint sealer throughout the sealing surface.
  3. All castings shall conform to the current Village approved casting list.
  4. Outlet pipe shall be no less than twelve (12) inches in diameter.
  5. Trench backfill is required around all structures.

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION



SITE AREA: 31.03 ACRES  
 PROJECT AREA: 3.11 ACRES  
 EXISTING IMPERVIOUS AREA: 1.86 ACRES  
 EXISTING PERVIOUS AREA: 1.25 ACRES

**LEGEND**

- IMPERVIOUS AREA
- PERVIOUS AREA

**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
 625 Forest Edge Drive ■ Vernon Hills, IL 60061  
 TEL 847.478.9700 ■ FAX 847.478.9701

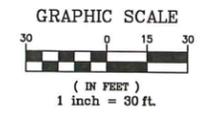
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**EXISTING IMPERVIOUS AREA EXHIBIT**  
**SULLIVAN COMMUNITY CENTER EXPANSION**  
 635 N. ASPEN DRIVE  
 VILLAGE OF VERNON HILLS, ILLINOIS

NO.	BY	DATE	REVISION

FILE 5088.300_imp.dwg	SHEET NUMBER
DRAWN BY: ASH	GHA PROJECT #
DATE 1/15/16	5088.300
CHECKED BY: CAS	SCALE
DATE 1/18/16	1"=20'
	OF 2 SHEETS

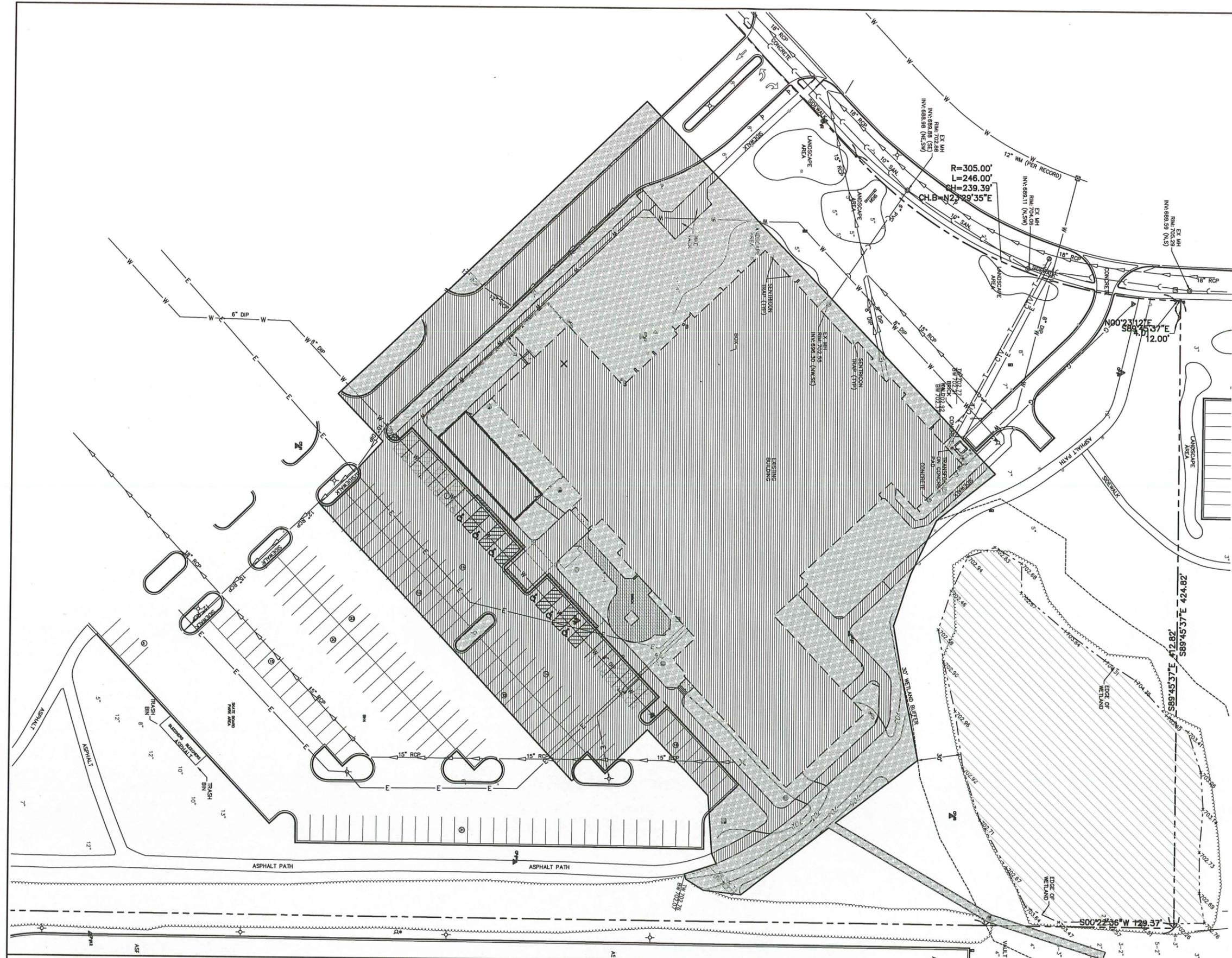
**EX-1**



SITE AREA: 31.03 ACRES  
PROJECT AREA: 3.11 ACRES  
PROPOSED IMPERVIOUS AREA: 2.17 ACRES  
PROPOSED PERVIOUS AREA: 0.94 ACRES

LEGEND

- IMPERVIOUS AREA
- PERVIOUS AREA



**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
625 Forest Edge Drive ■ Vernon Hills, IL 60061  
TEL 847.478.9700 ■ FAX 847.478.9701

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**PROPOSED IMPERVIOUS AREA EXHIBIT**  
**SULLIVAN COMMUNITY CENTER EXPANSION**  
**635 N. ASPEN DRIVE**  
**VILLAGE OF VERNON HILLS, ILLINOIS**

NO.	BY	DATE	REVISION

FILE: 5088.300_MJP.dwg	SHEET NUMBER
DRAWN BY: ASH	<b>EX-2</b>
DATE: 1/15/16	
GHA PROJECT # 5088.300	OF 2 SHEETS
CHECKED BY: CAS	
DATE: 1/18/16	SCALE: 1"=20'

# Plat of Survey

That part of the Northeast Quarter of Section 5, Township 43 North, Range 11, East of the Third Principal Meridian, in the County of Lake, State of Illinois, known as the line of Aspen Drive, as dedicated by instrument recorded September 9, 1988 as Document No. 2719639 (excepting therefrom the East 39 rods thereof), excepting therefrom that part of the East 39 rods thereof, is hereby dedicated for street purposes by plat of street dedication, recorded as Document 2719639, in Lake County, Illinois.

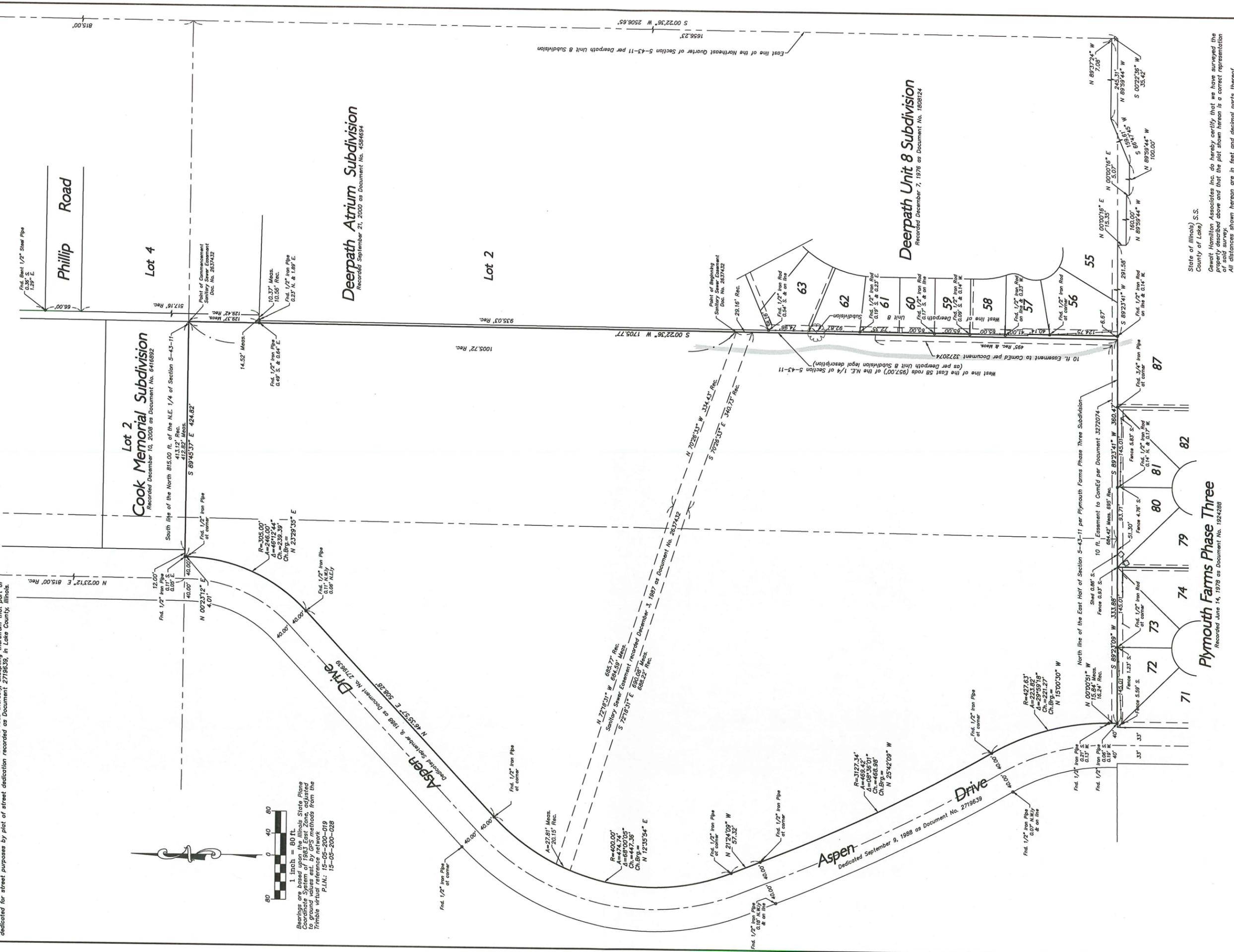


1 inch = 80 ft.  
 Readings are taken from the State Plane Coordinate System of 1983 East Zone adjusted to ground values est. by GPS methods from the Trimble virtual reference network.  
 P.I.N.: 15-05-200-019  
 15-05-200-026

North line of the Northeast Quarter of Section 5-43-11  
 3233  
 514

Townline

Road



Phillip Road

Cook Memorial Subdivision  
 Recorded December 10, 2008 as Document No. 6418892

Deerpath Atrium Subdivision  
 Recorded September 21, 2000 as Document No. 4584684

Deerpath Unit 8 Subdivision  
 Recorded December 7, 1976 as Document No. 1808124

Plymouth Farms Phase Three  
 Recorded June 14, 1978 as Document No. 1924288

State of Illinois) S.S.  
 County of Lake) G.S.  
 Gewart Hamilton Associates Inc. do hereby certify that we have surveyed the property described above and that the plat shown hereon is a correct representation of said survey.  
 All distances shown hereon are in feet and decimal parts thereof.  
 Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

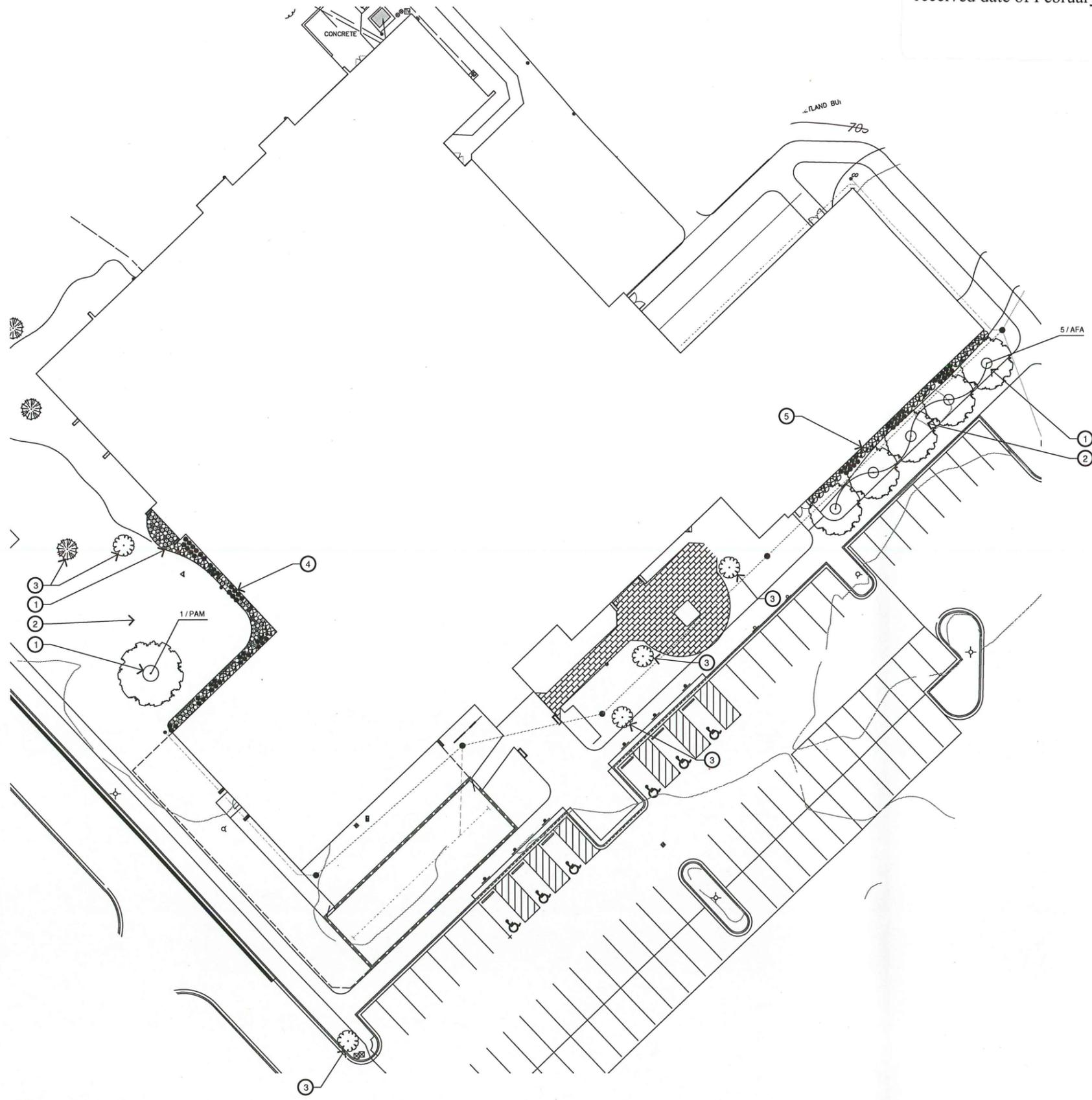
Gewart Hamilton Associates, Inc.  
 Professional Design Firm License No. 184-000922  
 George A. Starn  
 Professional Land Surveyor No. 2585  
 License Expires November 30, 2016  
 This survey conforms to the current Illinois Minimum Standards of practice applicable to boundary surveys.

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**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
 625 Forest Edge Drive • Vernon Hills, IL 60061  
 TEL: 847-478-9700 • FAX: 847-478-9701

DRAWN BY: G.S.  
 CHECKED BY: X.X.  
 DATE: 07/08/2016  
 GHA PROJECT # 5088.300  
 SCALE: 1" = 80'

FILE 5088.300.BD.dwg



Notes

1. Remove all turf encountered within bed limits and haul from site. Furnish and install 3" minimum layer of double shredded hardwood bark mulch in all planting beds and tree rings. (See Specifications)
2. Fine grade, fertilize and seed all disturbed areas. (See Specifications)
3. Existing tree to remain.
4. See Sheet L-2 detail 1.
5. See Sheet L-2 detail 2.

Plant List & Key

Key	Botanical Name (Common Name)	Size	Quantity
<b>Shade Trees</b>			
AFA	<i>Acer freemanii</i> 'Armstrong' (Armstrong Maple)	4"	5
PAM	<i>Platanus x acerifolia</i> 'Morton Circle' (London Planetree-Exclamation)	4"	1
<b>Deciduous Shrubs</b>			
AMM	<i>Aronia melanocarpa</i> 'Morton' (Hoquios Beauty Black Chokeberry)	24"	35
<b>Perennials &amp; Grasses</b>			
ASB	<i>Allium</i> 'Summer Beauty' (Summer Beauty Onion)	1 GAL	37
ABI	<i>Amsonia</i> x 'Blue Ice' (Blue Ice Bluestar)	1 GAL	46
CAK	<i>Calamagrostis acutifolia</i> 'Karl Foerster' (Karl Foerster Feather Reed Grass)	1 GAL	70
SHT	<i>Sporobolus heterolepis</i> 'Tara' (Dwarf Prairie Dropseed)	1 GAL	58

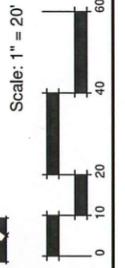
1 Landscape Plan  
 Scale: 1" = 20'

Project & Client Name

Sullivan Community Center  
 Vernon Hills Park District

Project #: B16007

Scale: 1" = 20'

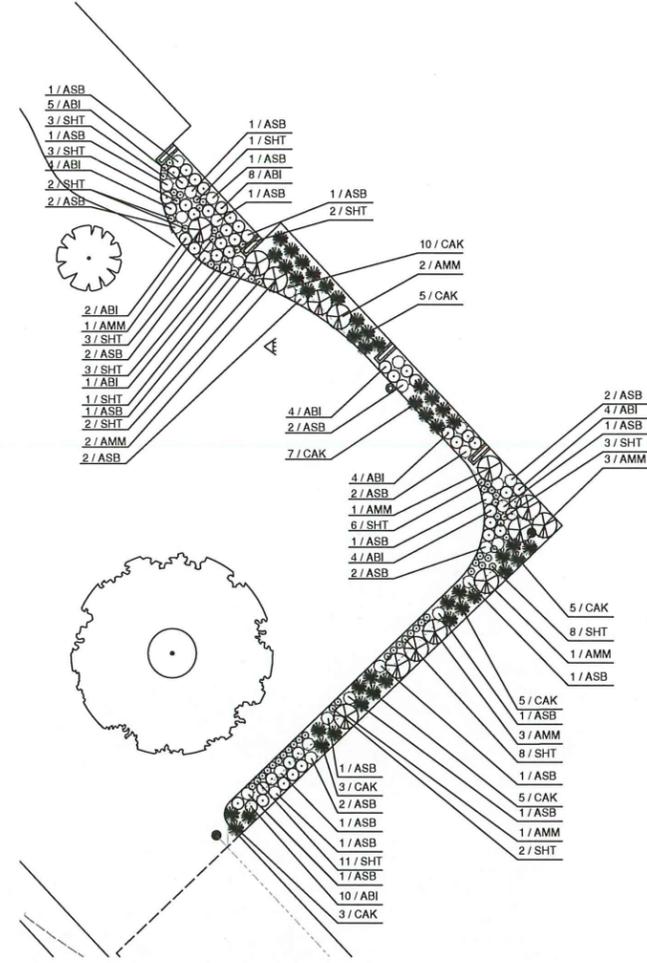


Issues & Revisions	
#	Description
1	01/22/16 Client Review

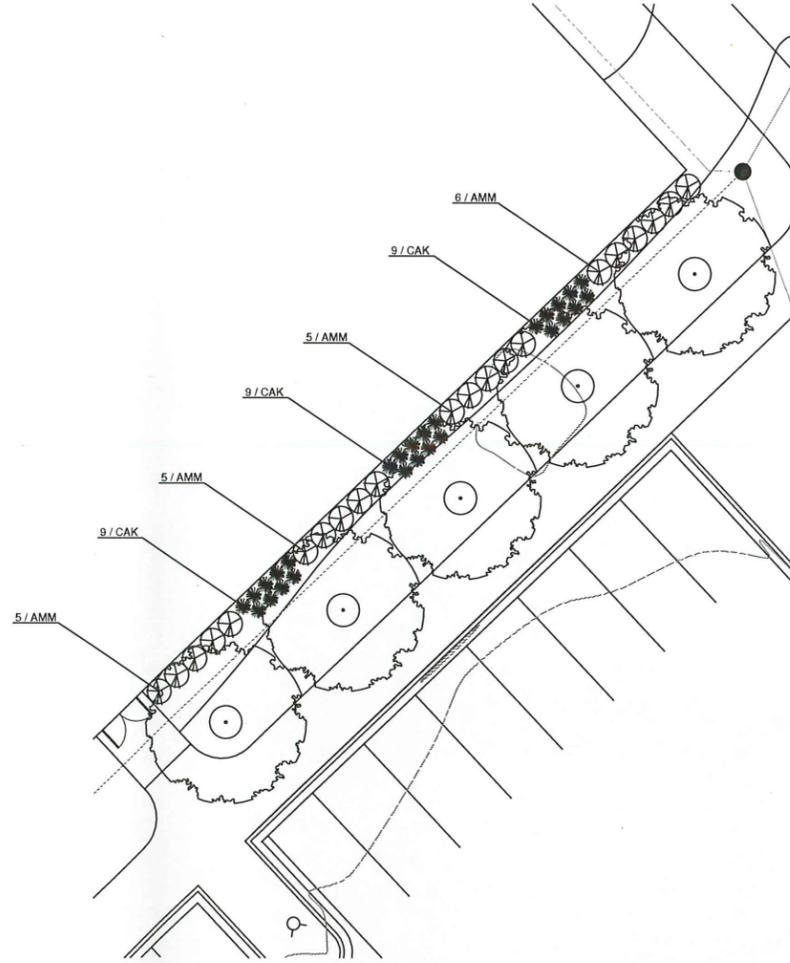
Sheet Title  
 Landscape Plan

Sheet #  
 L-1

**BDG**  
**Brusseau Design Group, LLC**  
 Landscape Architecture • Land Planning • Recreational Planning & Design  
 2075 Pratum Avenue, Hoffman Estates, IL 60112  
 (824) 293-6470 (824) 293-6477 Fax



1 Detailed Landscape Plan  
Scale: 1" = 10'

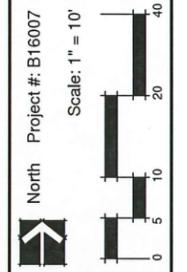


2 Detailed Landscape Plan  
Scale: 1" = 10'

Sheet # **L-2**

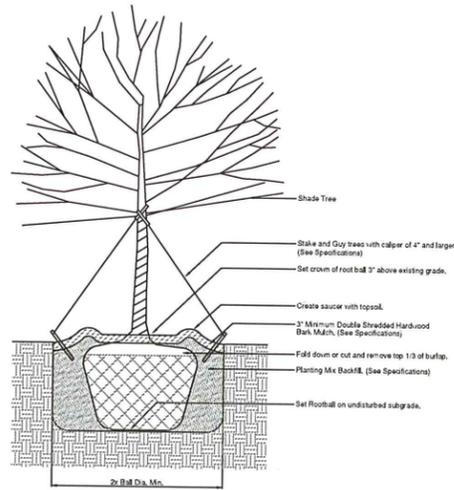
Sheet Title  
**Detailed Landscape Plan**

Issues & Revisions	
#	Description
1	Client Review

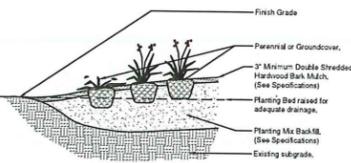
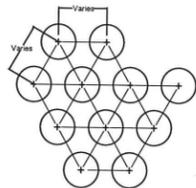


Project & Client Name  
**Sullivan Community Center  
Vernon Hills Park District**

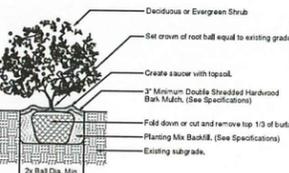
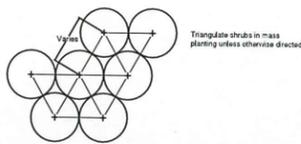
**BDG**  
**Brusseau Design Group, LLC**  
Landscape Architecture • Land Planning • Recreational Planning & Design  
2875 Prairium Avenue, Hoffman Estates, IL 60132  
(824) 293-0470 (824) 293-0477 Fax



1 Shade Tree Planting  
Not to Scale



2 Perennial Planting  
Not to Scale



3 Shrub Planting  
Not to Scale

Specifications

Section 32 92 00 - Turf and Grasses

1.0 General Description

This work shall consist of cultivating and fine grading of topsoil, rock and debris removal, fertilizing and seed installation or sod installation.

1.1 Submittals

The Contractor must submit fertilizer mixture tags, seed mixture tags or sod specifications from the sod nursery for approval by the Landscape Architect or the Owner's Representative. Products must be approved by the Landscape Architect or the Owner's Representative prior to any installation.

1.2 Product Delivery, Storage and Handling

All sod, seed, fertilizer and other materials to be used for the installation must be protected from weather, damage during transit and vandalism while stored at the project site. Any materials that have been damaged by any of the above will not be acceptable for use on the project.

1.3 Protection

The Contractor will be responsible for the protection of any seeded or sodded areas until the final acceptance of the installation. The Contractor may only use bannicides, devices or products that are acceptable to the Owner or the Landscape Architect for protection of seeded or sodded areas.

2.0 Products

A. Water: The Contractor will be required to supply water including all meters, hoses and connections, etc. necessary to water the turf areas.

B. Sod:

- All sod used for this project must be blended Blue Grass as specified below, with no more than 5% weeds or other grasses. The sod must be free of rocks, stones or debris and must have a 1" minimum thickness of soil and an adequate root system. Sod must be cut into one (1) square yard sections. Big roll sod in widths of 30" are also acceptable.
- All sod used must contain equal percentages of at least four different varieties of the following:
  - Midnight
  - Columbia
  - Nucleide
  - Rugby II
  - Bluemoon
  - Wabale
- All sod must be supplied by growers within a fifty (50) mile radius of the project site. The sod must be delivered to the project site on skids or pallets. Dumping of sod from any vehicle is not permitted. Damaged sod or any sod that appears to be dry or in decline will not be accepted. All sod must be planted within forty-eight (48) hours after it has been harvested.

C. Seed:

1. Grass seed mixture must be composed of the following seeds mixed in proportions by weight, with the following minimum percentages of purity and germination:

General or Common Areas:				
Proportion By Weight	Name of Grass	Purity Percent	Germination	
80%	Blended Blue Grass (Midnight, Columbia, Nucleide, Rugby II, or Bluemoon) Use at least 4 varieties.	90%	80%	
20%	Perennial Ryegrass (Roadrunner Manhattan III, Charger II and Catalina) 10%	98%	80%	

Athletic Fields:				
Proportion By Weight	Name of Grass	Purity Percent	Germination	
15%	Banff Kentucky Blue	98%	85%	
15%	Touchdown Kentucky Blue	98%	85%	
15%	Challenger Kentucky Blue	98%	85%	
15%	Rugby Kentucky Blue	97%	80%	
10%	Limousine Kentucky Blue	98%	85%	
30%	Alliance Ryegrass	98%	90%	

- All seed must be delivered to the project site in unopened bags, which include identification tags or labels.
- All seed must be delivered to the project site in unopened bags, which include identification tags or labels.

D. Fertilizer:

- Commercial fertilizers must contain the following percentages by weight:
 

Nitrogen	10%
Phosphoric Acid	18%
Potash	18%

 After Seeding 25-0-10
 

Nitrogen	25%
Phosphoric Acid	60%
Potash	10%
Sulfur	10%
- All fertilizer must be delivered to the project site in unopened bags, which include identification tags or labels.

Section 32 92 00 - Turf and Grasses, continued

3.0 Execution

A. The Contractor must inspect all final grading prepared by the Grading Contractor and request approval from the Landscape Architect or the Owner's Representative to begin seed or sod installation. Any discrepancies noted in the final topsoil grades must be reviewed by the Landscape Architect and resolved prior to the commencement of seed or sod installation.

B. Fine Grading:

- All areas to be seeded or sodded shall be prepared by pulverizing the soil to a minimum depth of three (3) inches. This process shall include rototilling and/or disking, and raking and dragging the soil to produce a smooth bed for seeding or sod installation. Regardless of whether the area will receive seed or sod, the soil preparation must be consistent. All rocks and other debris 3/4 inch in diameter or greater must be removed from the surface prior to seeding or sodding.
- Should previously conditioned soil become compacted by weather, construction equipment or other means, the area shall be re-conditioned as indicated above.

3.1 Installation

- A. Planting Seasons:
- Seeded Areas: Seed may be installed from March 15th through May 14th and from August 15th through October 1st.
  - Sodded Areas: Sod may be installed from March 1st through June 15th and from August 15th through November 1st.
  - If requested in writing and approved by the Landscape Architect or the Owner's Representative, the planting seasons listed above may be extended due to favorable weather conditions.
- B. Fertilizing: Fertilizer must be mechanically broadcast or spread and tilled into the top three (3) inches of soil at the rate of 5.5 lbs. per 1,000 square feet or 240 lbs/acre.
- C. Seeding: Common Area and Athletic Field Seed shall be mechanically applied at the rate of 5.0 lbs. per 1,000 square feet of area or 220 lbs/acre. The seed shall be spread evenly and lightly raked into the soil.
- E. Sodding:
- Sod shall be installed tightly together with the joints on the long dimension of the sod staggered in a fashion equal to running bond brick.
  - After the sod is laid, it must be watered thoroughly and rolled if necessary to adhere the sod to the soil.

3.2 Maintenance, Clean-Up and Acceptance

- A. Maintenance: The Contractor must provide maintenance of seeded or sodded areas until the date of final acceptance, including the following:
- Seeded Areas:
    - Watering of turf.
    - Re-filling with topsoil and the overseeding of washed out or rutted areas.
    - Re-fertilizing with a commercial fertilizer at the rate of 5.5 lbs. per 1,000 square feet (240 lbs/acre) on one occasion after sufficient germination.
    - Overseeding any turf areas that haven't germinated sufficiently or which fail to support a uniform and consistent stand of grass. Any such areas must be re-seeded with the similar seed mixture and rate initially applied. Re-seeding must continue until all turf areas are covered with a uniform and consistent stand of grass. A uniform and consistent stand of turf will be defined as turf that is full and even with no bare areas.
    - All seeded areas must be maintained as noted above for a period of Sixty (60) days after installation or until a uniform and consistent stand of grass has been established.
  - Sodded Areas:
    - Watering of turf.
    - Re-fertilizing with a commercial fertilizer at the rate of 5.5 lbs. per 1,000 square feet (240 lbs/acre) on one occasion.
    - Replacement of sod, which fails to grow or is in a state of decline using the same sod mixture as previously installed.
    - All sodded areas must be maintained as noted above for a period of Thirty (30) days after installation or until a uniform and consistent stand of grass has been established. A uniform and consistent stand of turf will be defined as turf that is full and even with no bare areas.
- B. Clean Up:
- All debris generated by this work shall be removed from the site.
  - All pavements and walks must be clean and washed of any mud or heavy concentration of soil.
  - All planting beds must be edged or spaded to form a smooth curvilinear shape.
- C. Final Inspection and Acceptance: Upon completion of the required maintenance period, the Contractor must make a written request to the Landscape Architect to schedule a final inspection of the turf areas. The Contractor will be required to make this request a minimum of ten (10) working days prior to the inspection. Upon inspection, the Landscape Architect feels that the turf areas are not established within specification, the Contractor will be required to re-work and maintain those unacceptable areas until a final acceptance has been granted.

Section 32 93 00 - Plants

1.0 General

1.01 Description

- This work shall consist of the excavation, installation, backfilling, care and maintenance of landscape plantings.
- The size and grading standards of plant materials in this specification must conform with the "American Standard for Nursery Stock" by the American Association of Nurserymen.

1.02 Submittals

- When required in the plan notes or details, material or product samples must be submitted by the Contractor for approval by the Landscape Architect.
- The Landscape Architect shall review the materials or product samples submitted and shall reserve the right to compare the submitted materials with the materials delivered to the project site. If the materials delivered to the project site are not of the same type, consistency and quality as the submitted samples, the Landscape Architect shall have the right to reject said products and require the Contractor to provide materials from another source.

Section 32 93 00 - Plants, continued

1.03 Product Delivery, Storage & Handling

- Storage of Materials: Plant materials will be permitted to be stored at the project site in location determined by the Owner, but must be protected by the Contractor from theft, damage or vandalism. Plant materials that are stolen, or damaged in any way must be replaced by the Contractor at no additional expense to the Owner. Supplies, including but not limited to marking paint, fertilizer, insecticides, or other chemicals must be stored off site and transported to the site each day for use.
- Inspections:
  - All plant materials shall be subject to inspection and approval by the Landscape Architect or the Owner's Representative at the point of growth nursery or the project site, prior to installation. Should any plant materials be installed prior to inspection, then the Contractor will assume full responsibility for their replacement, including excavation, hauling and new materials, should they be found to be unacceptable.
  - Should any plant materials be found to be unacceptable during the on-site inspection, then they shall be replaced by the Contractor at no additional expense to the Owner.
  - The Contractor, at their expense can also arrange for the inspection of plant materials at local point of growth nurseries, which must be located within a fifty (50) mile radius of the project site. The Contractor must pre-lay all shade, ornamental and evergreen trees and a sample of shrubs and perennial materials to be used for the project. The Landscape Architect will review the pre-tagged plant materials and make a decision regarding their acceptability for the project. Should any pre-tagged plant materials not be acceptable, then the Contractor will be responsible for locating another sample for review.
  - The Contractor must request the Landscape Architect's attendance at least ten (10) working days in advance for all point of growth nursery inspections.
  - The entire cost of the inspections will be borne and paid for the Contractor including Architect's hourly cost of \$150.00/hour, unless otherwise waived by the Architect or paid for directly by the Owner.
  - A representative of the Contractor must be present during all plant material inspections.
- Digging and Handling of Plant Material
  - All shade trees, ornamental trees and evergreen trees must be balled and burlapped. Shrubs may be balled and burlapped or container grown. Perennials and groundcovers shall be grown in flats or pots.
  - Plant materials with cracked or broken balls will not be accepted.
  - All balled and burlapped plants that cannot be planted immediately upon delivery shall be heeled-in with mulch material and be watered daily until planted. Plant materials that have been stored on site for a period longer than thirty (30) days will not be accepted.
  - All plant materials must be delivered to the project site in covered trailers or protected by a tarp or appropriate coverings during transit.
  - Plant materials must be marked for identification with their name or their appropriate key symbol, which can be found on the plant list.

1.04 Protection

A. All plant materials must be protected by the Contractor from theft or vandalism until the completed planting has received Preliminary Acceptance. Any plant material that is stolen or vandalized will be replaced by the Contractor at no additional expense to the Owner.

1.04 Guarantee

- Plant materials must be guaranteed to grow and thrive for a period of one year from final acceptance. Any plant materials that are in decline as determined by the Landscape Architect or die during this Guarantee Period must be replaced by the Contractor at no additional expense to the Owner, and will be guaranteed for an additional one (1) year period.
- The Contractor will be responsible for repairing any damage to turf or pavements caused by plant material replacement.

2.0 Products and Materials

- Water: The Contractor will be required to supply water including all meters, hoses and connections, etc. necessary to water the landscape plantings.
- Peat Moss or Humus: Commercial type sphagnum Peat Moss.
- Fertilizer: AgriForm Tablets by the Scotts Company, LLC, with the following analysis:
 

Nitrogen	20%
Phosphoric Acid	10%
Potash	5%
- Mulch: A double shredded hardwood bark mulch material shall be used. Submit sample to the Landscape Architect for approval.
- Topsoil: Topsoil required for planting mixture must be pulverized, clean soil, free of weeds, roots, stalks, and other debris. Submit sample to Landscape Architect for approval.
- Planting Mixture: Planting mix soil shall consist of topsoil, topped with three (3) inch layer of One Step Soil Conditioner with Mycorrhizae as produced by Midwest Trading Horticultural Supplies, Inc. T&I in three (3) inch layer of One Step Soil Conditioner to a depth of twelve (12) inches within topsoil. Fertilizer Tablets shall be included in the installation in accordance with manufacturer's instructions.
- Plant Materials: All plant materials used for the project must be nursery grown at a location within a fifty (50) mile radius of the project site.
  - All plant materials used for this project must be freshly dug or container grown.
  - All plant materials must have a typical growth habit, be appropriately branched and densely foliated and shall be disease and pest free.
  - All plants must conform to the sizes contained on the plant list and the requirements set forth in the American Standard for Nursery Stock.
  - Plant material substitutions may only be made with the written approval of the Landscape Architect. The Contractor must submit all requests for plant material substitutions in writing to the Landscape Architect.
- Pre-Emergence Herbicide: Shall be a granular form of Preen Garden Weed Preventer. This granular weed preventer will be applied after mulch installation in all planting beds at a rate of one (1) ounce per ten (10) square feet. Immediately water in after installation. Follow manufacturer's installation instructions.

- Plant Material Layout and Location:
  - Prior to any installation, the Contractor must locate all plant materials using wooden lath or flags. The Landscape Architect or the Owner's Representative will review and approve plant material locations.
  - The Contractor must utilize J.U.L.L.E., the local municipality or the Owner's representative to locate all utilities prior to any excavation.
- Planting Hole Excavation:
  - The Contractor must excavate as necessary for installation of plant materials. All rock, broken concrete and similar debris must be removed from planting holes and hauled from the site at no additional expense to the Owner.
  - All excess soils generated from planting operations must be hauled from the site at no additional expense to the Owner.

3.0 Execution

- Plant Material Layout and Location:
  - Prior to any installation, the Contractor must locate all plant materials using wooden lath or flags. The Landscape Architect or the Owner's Representative will review and approve plant material locations.
  - The Contractor must utilize J.U.L.L.E., the local municipality or the Owner's representative to locate all utilities prior to any excavation.
- Planting Hole Excavation:
  - The Contractor must excavate as necessary for installation of plant materials. All rock, broken concrete and similar debris must be removed from planting holes and hauled from the site at no additional expense to the Owner.
  - All excess soils generated from planting operations must be hauled from the site at no additional expense to the Owner.

Section 32 93 00 - Plants, continued

3.01 Installation

- Planting Seasons:
  - Deciduous Plants must be planted during the following dates: April 1st to June 1st and October 1st to December 15th.
  - Evergreen Plants must be planted during the following dates: April 1st to May 15th and September 1st to October 1st
  - The planting periods indicated may be extended due to weather conditions or other factors, which must be approved by the Landscape Architect.
  - The Contractor will be relieved of his guarantee responsibility should the Owner require plant material installations to be completed during other times than the planting periods indicated.
- Planting:
  - All shade trees, ornamental trees, evergreen trees, shrubs and perennials shall be planted in holes excavated at least twice the width of the diameter of the ball or container and deep enough so that the top of the ball or soil in the container is at or just above existing grade.
  - Install AgriForm fertilizer tablets in excavated holes after filling half way up the root ball. Follow manufacturer's Application Rates.
  - All wire or rope must be cut and removed and the burlap folded away from the top of the ball. The excavation must be backfilled with the planting mixture and watered. Any settlement will be filled with planting mixture.
  - A 4" deep saucer, similar to the diameter of the planting hole shall be created using planting mix.
  - Groundcovers: All perennial and groundcover beds shall be tilled to a depth of six (6) inches. Three (3) inches of mushroom or similar compost must then be tilled into the soil and the planting bed raked smooth prior to planting.
- Pruning:
  - All trees and shrubs shall be pruned to enhance the natural character of the plant, and to remove any broken or damaged branches.
- Mulching:
  - All shade trees, ornamental trees, and evergreen trees shall be mulched. The mulch shall cover the planting area with a minimum of three (3) inches and not more than four (4) inches in depth. No mulch material may cover the trunk or plant stem.
  - All massed plantings will be mulched with a minimum of three (3) inches and not more than four (4) inches of mulch. The entire bed shall be mulched under the plants. A spaded edge must be produced in the bed shape as indicated on the plans.
  - Groundcover areas will not receive any mulch.
- Pre-Emergence Herbicide Application:
  - Granular weed preventer will be applied after mulch installation in all planting beds at a rate of one (1) ounce per ten (10) square feet. Immediately water in after installation. Follow manufacturer's installation instructions.
- Wrapping, Staking & Guying:
  - All shade and single stem ornamental trees must be wrapped with burlap or an approved tree wrap from the base of the tree to the start of the first branches.
  - Evergreen trees 6" high and larger must be staked and guyed. Deciduous trees 4" caliper and larger must be staked and guyed.
  - When required, a three-point guying system shall be used consisting of galvanized wires, hose loops, turn buckles and wooden stakes. Other commercial staking and guying systems may be used if presented by the Contractor and approved by the Landscape Architect. All guy wires must have high visibility orange flagging and all stakes must be painted with high visibility orange paint.

3.02 Maintenance, Clean-Up and Acceptance

- Maintenance of plant materials:
  - Maintenance of plant materials will begin upon completion of the installation of the last plant material and will continue for a period of sixty (60) days. Maintenance periods that have not been completed by November 1st, will be completed the following year, beginning on May 1st.
  - During the maintenance period, the Contractor must water and straighten all plants, as well as weed planting beds and tree rings.
  - The Owner will be responsible for all maintenance requirements after this required sixty (60) day period.
- Clean Up:
  - All debris generated during the installation of plant materials must be removed from the site.
  - All pavements and walks must be swept after each days work. Upon completion of the work, all pavements must be washed to remove mud or dirt.
- Preliminary Acceptance:
  - Upon completion of the installation of all plant materials, the Contractor must submit his request for an inspection to determine preliminary acceptance of the completed work. All such requests must be submitted to the Landscape Architect at least 10 (ten) days in advance.
- Final Acceptance:
  - Upon completion of the maintenance period the Contractor must submit his request for final acceptance of the completed work. All such requests must be submitted to the Landscape Architect at least 10 (ten) days in advance.
  - The Landscape Architect will review the work and determine whether the work should receive Final Acceptance. Should the Landscape Architect find conditions that are not acceptable, the Contractor will be notified in writing and will be required to make changes to correct the unacceptable condition.

**BDS**  
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2675 Truman Avenue, Hoffman Estates, IL 60192  
(630) 253-6777 Fax

Project & Client Name  
**Sullivan Community Center**  
**Vernon Hills Park District**

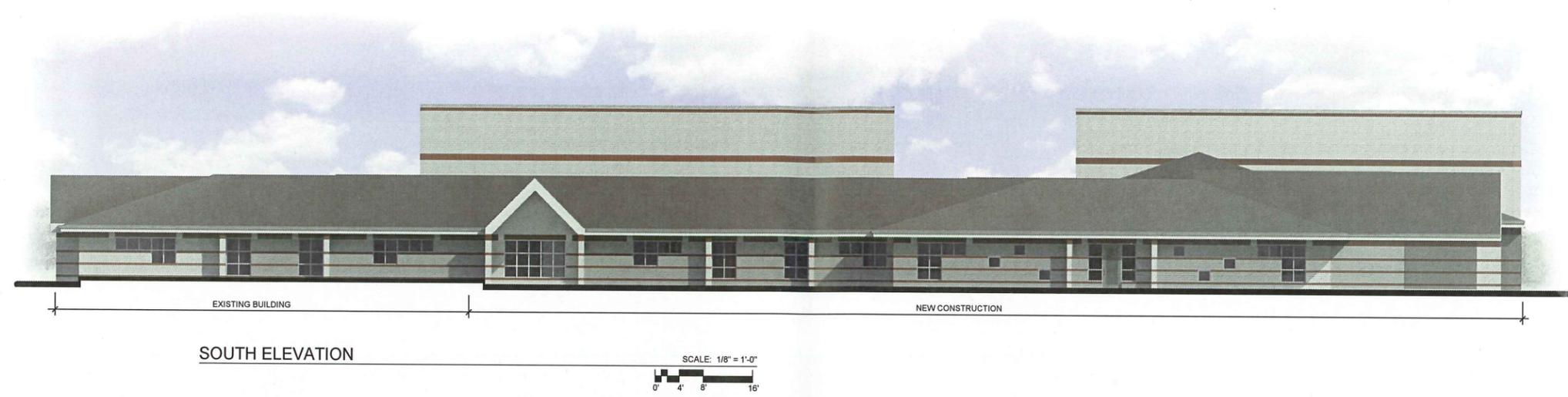
North Project #: B16007

ISSUES & REVISIONS	#	Date	Description
	1	01/22/16	Client Review

Sheet Title  
**Details & Specifications**

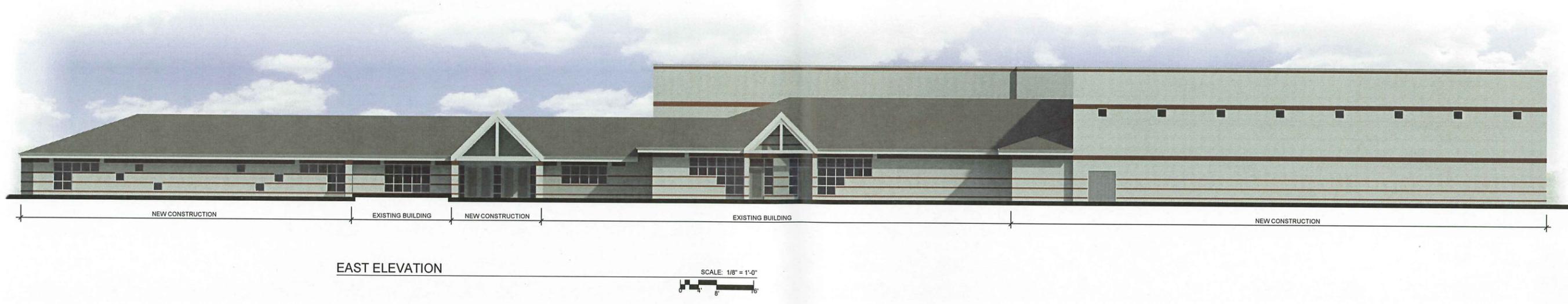
Sheet # **L-3**

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SOUTH ELEVATION

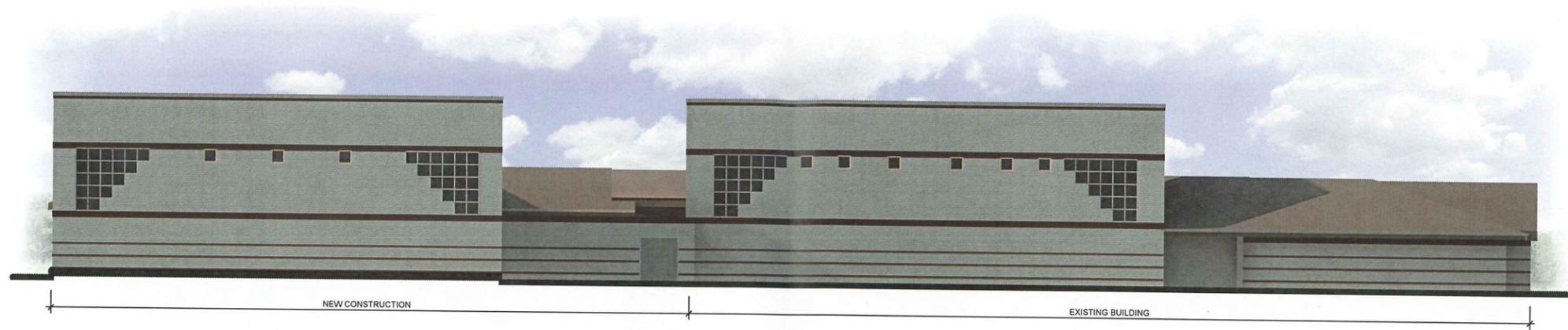
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0' 4' 8' 16'



EAST ELEVATION

SCALE: 1/8" = 1'-0"  
0' 4' 8' 16'

Vernon Hills Park District  
Sullivan Community Center



NORTH ELEVATION

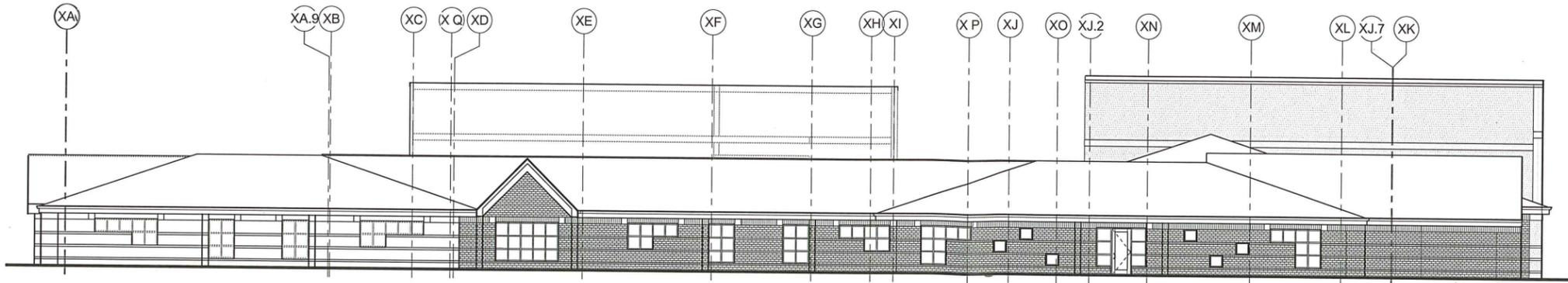
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WEST ELEVATION

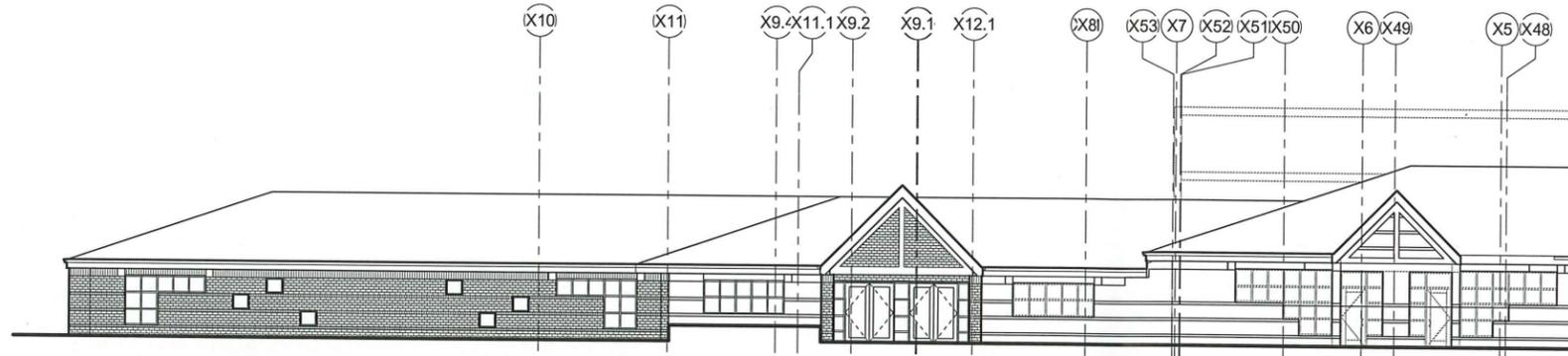
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Vernon Hills Park District  
 Sullivan Community Center



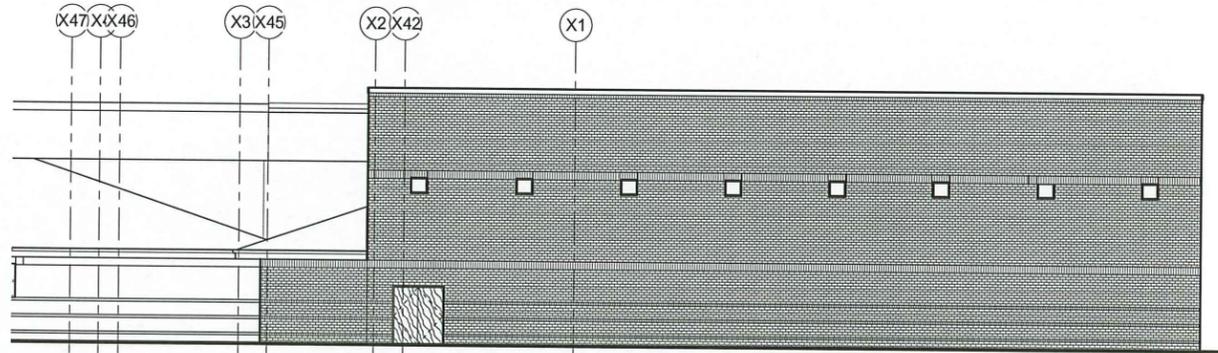
SOUTH ELEVATION

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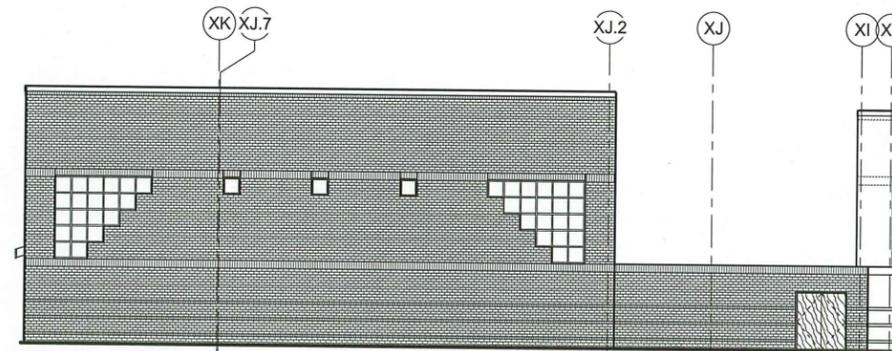


PARTIAL EAST ELEVATION SHOWING SOUTH END

SCALE: 1/8" = 1'-0" 2

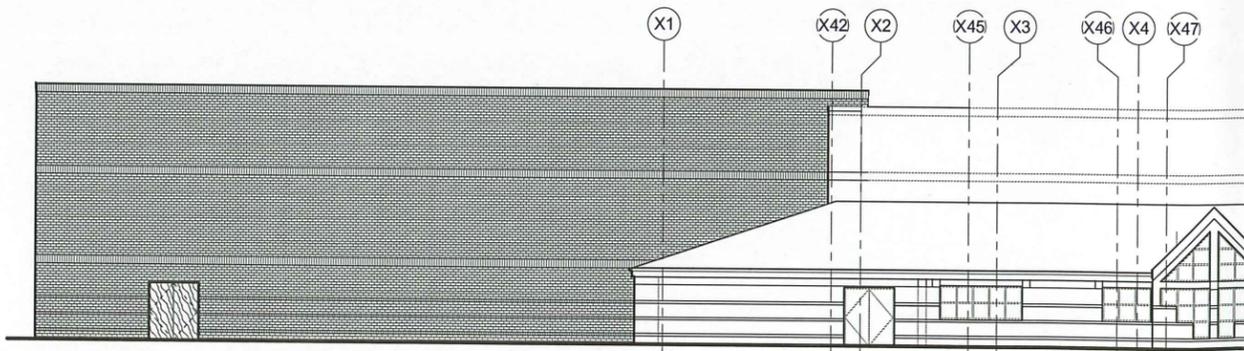


PARTIAL EAST ELEVATION SHOWING NORTH END



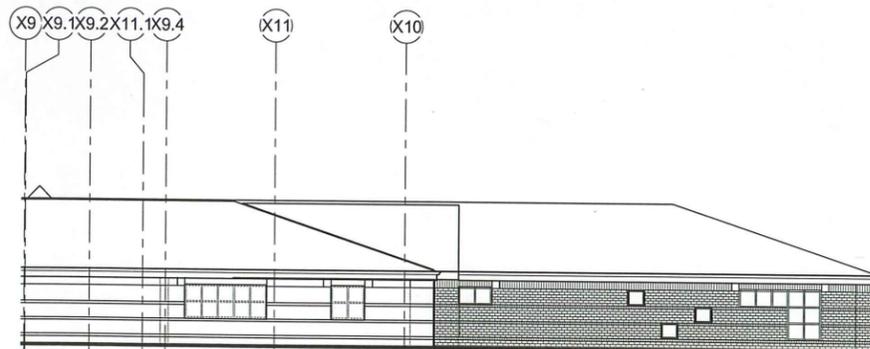
SCALE: 1/8" = 1'-0" 10 PARTIAL NORTH ELEVATION SHOWING EAST END

SCALE: 1/8" = 1'-0" 3



PARTIAL WEST ELEVATION NORTH AND SOUTH ENDS

SCALE: 1/8" = 1'-0" 5



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**Sullivan Community Center**  
Vernon Hills Park District  
ASPEN DRIVE  
VERNON HILLS, ILLINOIS 60061

WA No.	2016.017
Date	10/30/2015
Drawn	
Author	
Checked	
Checker	

NO.	DATE	REVISIONS / DESCRIPTION

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Phone 630.221.1212 / Fax 630.221.1220

EXTERIOR ELEVATIONS

**A4.1**