

VILLAGE OF VERNON HILLS

ORDINANCE 2016-021

AN ORDINANCE GRANTING APPROVAL TO AMEND THE ZONING CLASSIFICATION FROM OR&D, OFFICE, RESEARCH & DEVELOPMENT TO B-1, GENERAL BUSINESS AND TO APPROVE A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW A MULTI-TENANT BUILDING WITH A RESTAURANT WITH DRIVE -THRU SERVICE AT 99 TOWNLINE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 17<sup>th</sup> DAY OF MAY 2016

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 18<sup>th</sup> Day of May 2016

**ORDINANCE NO. 2016-021**

**AN ORDINANCE GRANTING APPROVAL TO AMEND THE ZONING CLASSIFICATION FROM OR&D, OFFICE, RESEARCH & DEVELOPMENT TO B-1, GENERAL BUSINESS AND TO APPROVE A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW A MULTI-TENANT BUILDING WITH A RESTAURANT WITH DRIVE -THRU SERVICE AT 99 TOWNLINE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY**

**WHEREAS**, Shilpa Purohit of Purohit Architects, representing the owners of a property located at 99 Townline Road (being the former Famous Dave's property) and legally described in Exhibit A, has petitioned the Village of Vernon Hills for the following:

1. To amend the zoning classification from OR&D, Office Research & Development to B-1 General Business.
2. To approve a Special Use Permit to allow a restaurant with drive-thru service along with the following variations:
  - a. To allow a two tenant panel monument sign rather than the maximum permitted number of one.
  - b. To allow the south tenant to have a wall sign on the north elevation of the building.
3. Preliminary and final approval of the site and landscaping plans.
4. Preliminary and final approval of the architectural elevations including signage.

**WHEREAS**, Purohit Architects has requested the following variations as a part of the petition:

- a. To allow a two tenant panel monument sign rather than the maximum permitted number of one.
- b. To allow the south tenant to have a wall sign on the north elevation of the building.

**WHEREAS**, the requested approvals shall be in general compliance with the following:

- Proposed Geometric Site Plan prepared by Purohit Architects with a date of February 9, 2016 and consisting of 1 page.
- Engineering Improvement Plans prepared by Purohit Architects with a date of February 9, 2016 and consisting of 3 pages.
- Signage Plans prepared Purohit Architects with a date of April 6, 2016 and consisting of 1 page.
- Floor and Seating Construction Plan prepared Purohit Architects with a date of April 6, 2016 and consisting of 2 pages.
- Revised Landscaping Plans prepared by Purohit Architects with a date of February 9, 2016 and consisting of 1 page.

- Revised Architectural Plans prepared by Purohit Architects with a date of April 15, 2016 and consisting of 2 pages.

Said Plans are attached hereto as Exhibit B; and

**WHEREAS**, the requested approvals will allow for construction of a multi-tenant building which will include a restaurant with a drive-thru.

**WHEREAS**, upon due notice and after a public hearing held on April 27, 2016 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

**WHEREAS**, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that address the standards in Section 18.3 and 21.7.3 of the Zoning Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:**

**SECTION I.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the amendment of the zoning classification from OR&D, Office, Research & Development, to B-1, General Business for properties legally described in Exhibit A is hereby granted.

**SECTION II.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the Special Use Permit to allow a restaurant with drive-thru service and certain variations related to setbacks and signage as listed in Exhibit C, is hereby granted. Said parcel is legally described in Exhibit A. The approval is subject to the Terms and Conditions of Approval as set forth in Exhibit C.

**SECTION III.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, approvals of the preliminary and final site, signage, and landscaping plans for the entire site as set forth in Exhibit B are hereby granted subject to the Terms and Conditions of Approval, as set forth in Exhibit C.

**SECTION IV.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations including signage as set forth in Exhibit B are hereby granted subject to the Terms and Conditions of Approval, as set forth in Exhibit C.

**SECTION V.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as set forth in Exhibit B are hereby approved subject to the Terms and Conditions of Approval as set forth in Exhibit C.

**SECTION VI.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the

Terms and Conditions of Approval as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

**SECTION VII. SEVERABILITY.** In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

**SECTION VIII. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

**SECTION IX. SUCCESSORS AND ASSIGNS.** All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

**SECTION X. EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

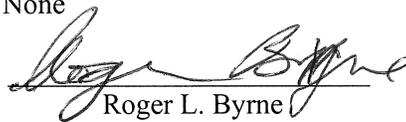
**SECTION XI. ORDINANCE NUMBER.** This ordinance shall be known as Ordinance Number 2016-021.

Adopted by roll call vote as follows:

AYES: 6 – Schultz, Marquardt, Koch, Grieb, Williams, Hebda

NAYS: 0 - None

ABSENT AND NOT VOTING: 0 - None

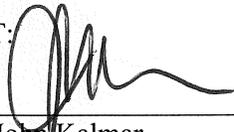
  
Roger L. Byrne  
Village President

PASSED: 5/17/2016

APPROVED: 5/17/2016

PUBLISHED IN PAMPHLET FORM: 5/18/2016

ATTEST:

  
\_\_\_\_\_  
John Kalmar  
Village Clerk

**Exhibit A**  
**Legal Description**

**LOT 6 (EXCEPT THE EAST 28.11 FEET THEREOF) LOT 7 AND LOT 8, ALL IN DEERPATH SUBDIVISION PARCEL G-UNIT 1, BEING A SUBDIVISION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 10, 1977 AS DOCUMENT 1879479, IN BOOK 62 OF PLATS, PAGE 35, (EXCEPT THAT PART THEREOF CONVEYED TO DEPARTMENT OF TRANSPORTATION RECORDED JANUARY 8, 1987 AS DOCUMENT 2523770), IN LAKE COUNTY, ILLINOIS.**

**Exhibit B  
Plans**

General Compliance with the following plans:

- Proposed Geometric Site Plan prepared by Purohit Architects with a date of February 9, 2016 and consisting of 1 page.
- Engineering Improvement Plans prepared by Purohit Architects with a date of February 9, 2016 and consisting of 3 pages.
- Signage Plans prepared Purohit Architects with a date of April 6, 2016 and consisting of 1 page.
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- Revised Architectural Plans prepared by Purohit Architects with a date of April 15, 2016 and consisting of 2 pages.

**Exhibit C**  
**Terms and Conditions of Approval**

Conditions of Approval for the entire Site:

1. Final approval of plans by the Village Engineer and Landscape Architect prior to issuance of a building permit.
2. Issuance of a license to allow outdoor dining by the Village Board.
3. Parking lot islands, median entrance magazines and adjacent parkways, grass areas of the magazine shall be irrigated.
4. Roof top equipment are required to be screened from all sides.
5. Compliance with all ordinance and standards of the Village except as otherwise noted.
6. Signage to be installed indicating that the drive-thru is for pick-up orders only.
7. Incorporate the existing architecture of the eastern elevation onto the western elevation from the drive-thru bumpout to the north of the building including awnings.
8. To remove the awning adjacent to the café entrance and to wrap brick and stone banding to the south elevation.
9. The color scheme of the south tenant shall be complimentary to the architectural elements of McAlister's.

Variations - The following variations were recommended for approval

1. To allow a two tenant panel monument sign rather than the maximum permitted number of one.
2. To allow the south tenant to have a wall sign on the north elevation of the building.

STATE OF ILLINOIS )  
 )  
COUNTY OF LAKE )

CERTIFICATE

I, JOHN M. KALMAR, CERTIFY THAT I AM THE DULY APPOINTED AND ACTING VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS. I FURTHER CERTIFY THAT ON MAY 17, 2016, THE CORPORATE AUTHORITIES OF SUCH MUNICIPALITY PASSED AND APPROVED ORDINANCE 2016-021, AN ORDINANCE GRANTING APPROVAL TO AMEND THE ZONING CLASSIFICATION FROM OR&D, OFFICE, RESEARCH & DEVELOPMENT TO B-1, GENERAL BUSINESS AND TO APPROVE A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW A MULTI-TENANT BUILDING WITH A RESTAURANT WITH DRIVE -THRU SERVICE AT 99 TOWNLINE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE PAMPHLET FOR ORDINANCE NO. 2016-021, INCLUDING THE ORDINANCE AND A COVER SHEET THEREOF, WAS PREPARED, AND A COPY OF SUCH ORDINANCE WAS POSTED IN THE VILLAGE HALL, COMMENCING MAY 18, 2016 AND CONTINUING FOR AT LEAST TEN DAYS THEREAFTER. COPIES OF SUCH ORDINANCE WERE ALSO AVAILABLE FOR PUBLIC INSPECTION UPON REQUEST IN THE OFFICE OF THE VILLAGE CLERK.

DATED IN VERNON HILLS, ILLINOIS, THIS 17<sup>th</sup> DAY OF MAY 2016



John M. Kalmar Village Clerk

SEAL



AFFIDAVIT OF SERVICE

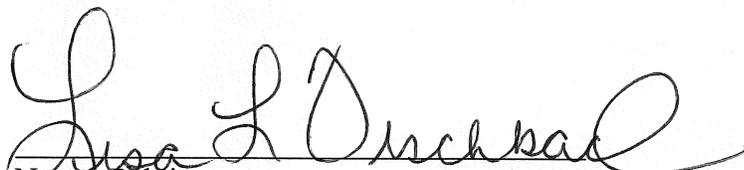
STATE OF ILLINOIS     )  
  )  
COUNTY OF LAKE        )

I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2016-021, AN ORDINANCE GRANTING APPROVAL TO AMEND THE ZONING CLASSIFICATION FROM OR&D, OFFICE, RESEARCH & DEVELOPMENT TO B-1, GENERAL BUSINESS AND TO APPROVE A SPECIAL USE PERMIT WITH VARIATIONS AND CERTAIN OTHER APPROVALS TO ALLOW A MULTI-TENANT BUILDING WITH A RESTAURANT WITH DRIVE -THRU SERVICE AT 99 TOWNLINE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM MAY 18, 2016 TO MAY 28 16, 2016

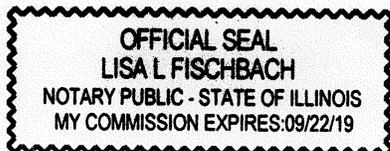


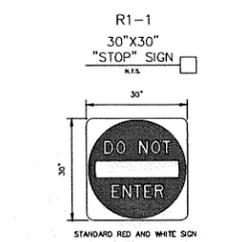
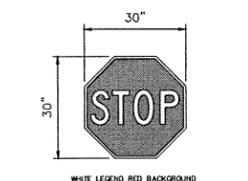
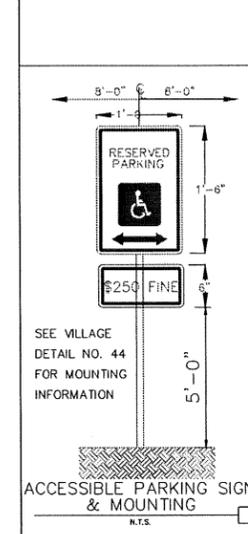
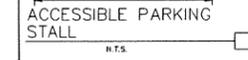
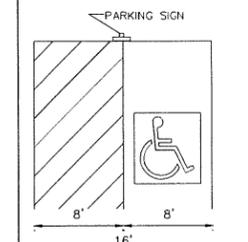
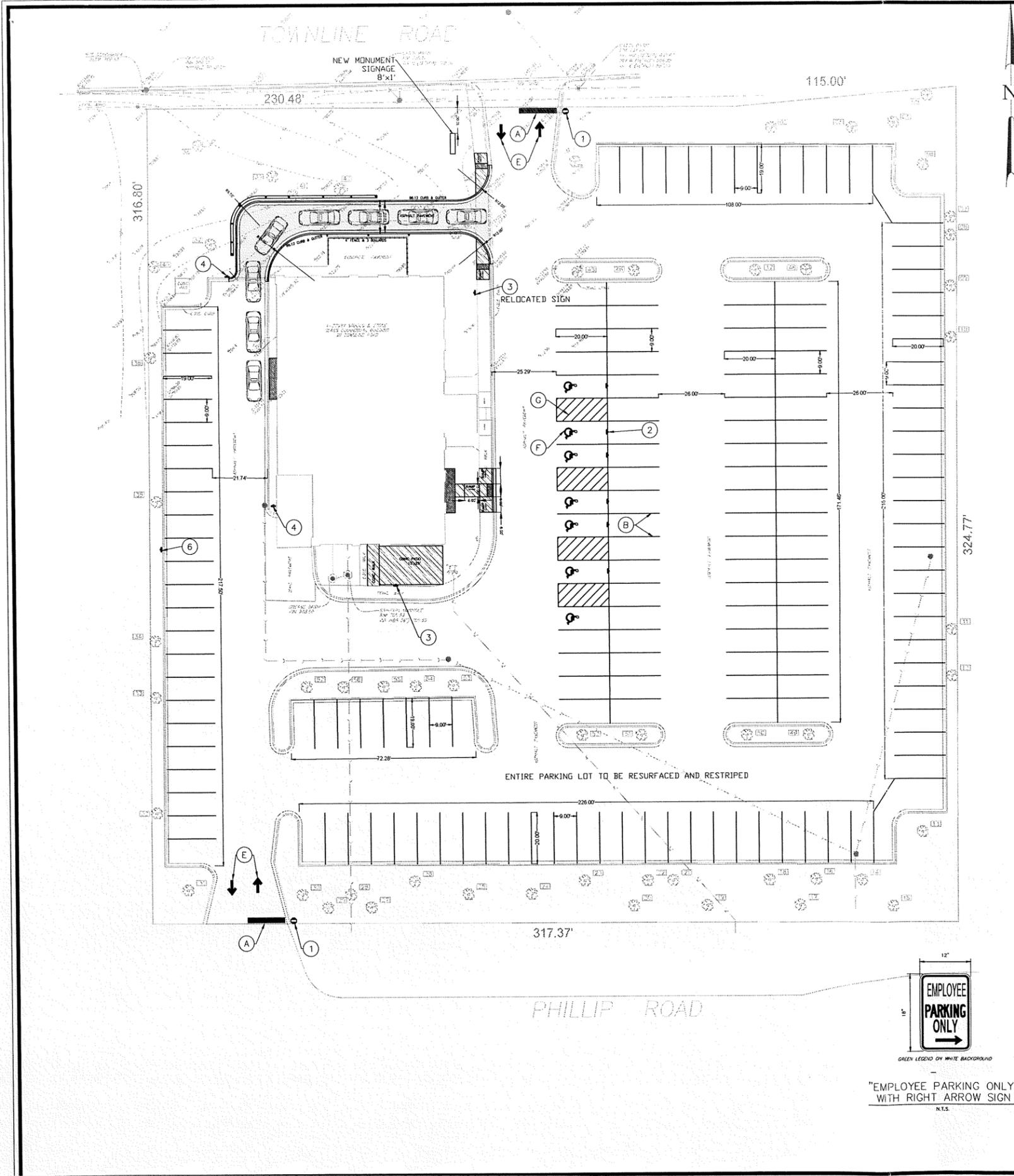
\_\_\_\_\_  
John M. Kalmar, Village Clerk

SUBSCRIBED AND SWORN TO BEFORE  
THIS 18th DAY OF MAY 2016



\_\_\_\_\_  
Notary Public





- SITE PLAN NOTES:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE STANDARDS.
  - ALL DISTURBED AREAS ARE TO RECEIVE FIVE (5) FEET OF GRASS IS ESTABLISHED UNLESS OTHERWISE NOTED.
  - ALL CURBED RADII ARE TO BE 3' MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED. STRIPPED RADII ARE TO BE 5' UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB AND RADII ARE BACK OF CURB OR BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
  - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
  - EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITION AS PREPARED BY BONO CONSULTING. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE REMOVED UNDER PROPOSED BUILDINGS AND ABANDONED ELSEWHERE AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEWORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY BCI.
  - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED GRADES AS INDICATED ON PLANS.
  - CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATIONS OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
  - TOTAL LAND AREA IS 2.317 +/- ACRES.
  - NO WETLANDS WERE PRESENT ON THIS SITE.
  - THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS".
  - MONUMENT AND/OR Pylon SIGNS SHALL BE CONSTRUCTED BY OWNER ASSIGNED CONTRACTOR.
  - ALL ROADWAY AND PARKING LOT IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

**SIGNAGE LEGEND**

①	STOP SIGN (R1-1)
②	ACCESSIBLE PARKING SIGN (R7-8)
③	NO PARKING SIGN FIRE LANE (R8-31)
④	DO NOT ENTER (R5-1)
⑤	PEDESTRIAN CROSSING SIGN
⑥	EMPLOYEE PARKING ONLY SIGN

**PAVEMENT MARKING LEGEND**

(A)	24" WHITE SOLID STOP BAR
(B)	4" YELLOW SOLID LINE
(C)	8" SOLID WHITE LINE
(D)	LETTERS & SYMBOLS PAVEMENT MARKINGS
(E)	TRAFFIC FLOW DIRECTIONAL ARROWS
(F)	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS-SEE DETAIL
(G)	4" YELLOW DIAGONAL AT 45° SPACED 3' O.C.
(H)	4" SOLID WHITE LINE
(I)	4"x65" LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES
(J)	4" YELLOW 6" LONG STRIPE WITH 18" GAP
(K)	4" DOUBLE YELLOW SOLID LINE AT 11" C-C
(L)	4" WHITE DASH LINE (2' DASH, 6' SKIP)
(M)	6" SOLID WHITE SPACED 2' O.C.

**PAVEMENT LEGEND**

[Pattern]	<b>STANDARD DUTY PAVEMENT</b> 2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2-1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" CRUSHED LIMESTONE AGGREGATE BASE COURSE CA-6, TYPE B
[Pattern]	<b>PAVEMENT RESURFACING</b> 1-1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
[Pattern]	<b>DOT PAVEMENT RESURFACING (NOTE USED)</b> 1-1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
[Pattern]	<b>CONCRETE APRON (NOTE USED)</b> 8" CONCRETE PAVEMENT (W/6X6 W/1.4 WWF, IF ALLOWED IN ROW)* 4" COMPACTED CRUSHED LIMESTONE AGGREGATE BASE CA-6, TYPE B
[Pattern]	<b>CONCRETE PADS - TRASH CORAL &amp; UTILITY PADS (NOTE USED)</b> 8" CONCRETE PAVEMENT W/6X6 W/1.4 WWF* 4" COMPACTED CRUSHED LIMESTONE AGGREGATE BASE CA-6, TYPE B
[Pattern]	<b>SIDEWALKS</b> 5" PORTLAND CEMENT CONCRETE 4" COMPACTED CRUSHED LIMESTONE AGGREGATE BASE COURSE CA-6, TYPE B
[Pattern]	<b>DETECTABLE WARNING AND DEPRESSED CURB</b> REPLACEABLE RED POLYMER COMPOSITE PLATES *REFER TO CONCRETE JOINT DETAILS (IF ANY).

Revised Per Technical Review #2  
 April 14, 2016

**PUROHIT ARCHITECTS**  
 Tel: 847.942.8777 Fax: 847.359.6844  
 Email: hema@purohitarchitects.com  
 www.purohitarchitects.com

**IPA**  
 1192 Old Timber Ct.  
 Hoffman Estates, IL 60192

**PROJECT NAME:** "McAlister's Deli" Building  
**ADDRESS:** 99 EAST TOWNLINE ROAD VERNON HILLS, IL  
**PROJECT DESCRIPTION:** Exterior Upfitment & addition of a drive-thru lane to the existing building

Issue Date: February 09, 2016  
 Drawn By: [Blank]  
 Sheet: [Blank]

GEOMETRIC PLAN  
**C-4**  
 PAI PROJECT NUMBER 15136.00

These drawings may have been reproduced at a scale different than originally drawn. Architect assumes no responsibility for use of incorrect scale. Do not scale drawings. Contractor shall verify all existing conditions prior to proceeding with construction and notify architect immediately of any discrepancies or conflicts.

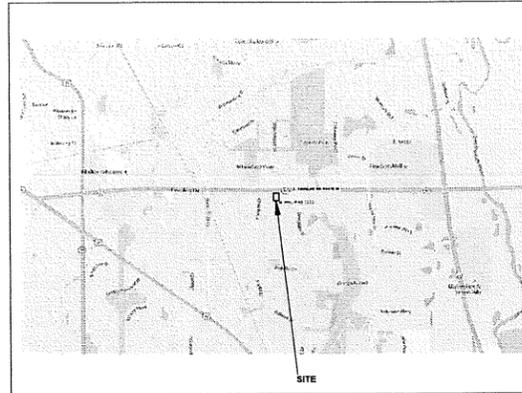
**BENCHMARK INFO**  
 ALL ELEVATION REFER TO BENCHMARK PROVIDED BY VILLAGE  
 OF SKOKIE BENCHMARK INFORMATION PROVIDED.  
 NAME: SK462  
 DESCRIPTION: 1" BRASS DISK IN CONCRETE SIDEWALK  
 LOCATED AT THE NORTHWEST CORNER OF GOLF AND GROSS  
 POINT RD  
 ELEVATION: 635.43  
 DATUM: NAVD83

## PROPOSED DRIVE-THRU & BUILDING ADDITION SITE IMPROVEMENT PLAN 99 E. TOWNLINE RD., VERNON HILLS, LAKE COUNTY, IL

PIN SCHEDULE  
 1505201016

**MILESTONE DATES:**  
 Issued for Technical Review  
 February 09, 2016  
 Revised Per Technical Review  
 March 10, 2016  
 Revised Per Technical Review #2  
 April 14, 2016

**SITE LOCATION MAP**



**AERIAL MAP**



**DRAWING INDEX:**

1. TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
2. EXISTING TOPOGRAPHY, DEMOLITION & EROSION CONTROL PLAN
3. PROPOSED GRADING, UTILITY PLAN, CONSTRUCTION NOTES & STANDARD DETAILS
4. GEOMETRIC PLAN



**LEGEND:**

	EXISTING	PROPOSED
Property Line	---	---
Sanitary Sewer Line	--->	--->
Water Line	---v	---v
Storm Sewer Line	--->	--->
Storm Manhole	○	●
Sanitary Manhole	○	●
Combined Sewer	--->	--->
Combined Manhole	○	●
Catch Basin	○	●
Inlet	○	■
Water Valve Vault	○	○
Water Valve	○	○
Grade	---	---
Drainage Divide	---	---
Curb & Gutter	---	---
Cleanout	---	---
Downspout (Roof Drains)	---	---
Water B. Box	---	---
Tree Protection Fence	---	---
Construction Fence	---	---
Inlet Filter Basket	---	---
Traffic Direction Pavement Marking	---	---
Fire Hydrant	---	---
Top of Curb	T/C XXXXX	T/C XXXXX
Bottom of Curb	B/C XXXXX	B/C XXXXX
Top of Curb	T/C XXXXX	T/C XXXXX
Bottom of Gutter	B/G XXXXX	B/G XXXXX
Walk	W XXXXX	W XXXXX
Bottom of Walk	B/W XXXXX	B/W XXXXX
Depressed Curb	D/C XXXXX	D/C XXXXX
Bottom of Gutter	B/G XXXXX	B/G XXXXX
Mountable Curb	M/C XXXXX	M/C XXXXX
Bottom of Gutter	B/C XXXXX	B/C XXXXX

**NOTE**

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

Project Civil Engineer/Purohit Architects Inc. is not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call:  
**J.U.L.I.E. 1 (800) 892-0123**

**PUROHIT ARCHITECTS**



Tel: 847.942.8777 Fax: 847.359.6844  
 Email: hema@purohitarchitects.com  
 www.purohitarchitects.com

1192 Old Timber Ct.  
 Hoffman Estates, IL 60192

PROJECT NAME:  
 "McAlister's Deli" Building  
 ADDRESS:  
 99 EAST TOWNLINE ROAD  
 VERNON HILLS, IL  
 PROJECT DESCRIPTION:  
 Exterior Upfitment & addition of a drive-thru lane to the existing building

Issue Date: February 09, 2016

Drawn By: SCALE: NTS

Sheet:

TITLE SHEET, LEGEND, SITE LOCATION MAP, & AERIAL MAP

**C-1**

PROJECT NUMBER  
 15136.00

These drawings may have been reproduced at a scale different than originally drawn. Architect assume no responsibility for use of incorrect scale. Do not scale drawings. Contractor shall verify all existing conditions prior to proceeding with construction and notify architect immediately of any discrepancies or conflicts.

**EARTHWORK / EROSION & SEDIMENTATION CONTROL**

- The contractor shall maintain existing positive drainage from off-site at all times during construction.
- Within the limits of proposed grading the soil shall be compacted to not less than the following percentages of modified proctor dry density in accordance with ASTM D 1557-78:
  - Under structures, building slabs, steps and pavements. Compact six (6") inch maximum lifts of subgrade. Backfill or fill material at 95% modified proctor dry density.
  - Under walkways. Compact six (6") inch maximum lifts of dry subgrade, backfill, or fill material at 95% modified proctor dry density.
  - Under lawn or unpaved areas. Compact six (6") inch maximum lifts of subgrade, backfill, or fill material at 95% modified proctor dry density.
- All erosion control work shall comply with Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control.
- Stripping of vegetation, grading or other soil disturbance, especially in designated wetland areas, shall be done in a manner which will minimize soil erosion, and shall be in accordance with the approved drawings, mitigation and permit requirements.
- The contractor shall take precautionary measures to minimize earthwork in areas where trees are to be saved as shown on the plans or determined in the field.
- The extent of the area which is exposed and free of vegetation and the duration of its exposure shall be kept within practical limits as directed by the Village Engineer.
- Sedimentation shall be retained on site. Straw bales and sediment fence shall be installed along the perimeter of all regraded areas or as required to prevent sediment from entering and/or leaving the site.
- Dust produced from the site shall be kept to a minimum during dry periods by spraying water as required to the Village Engineer's satisfaction and is to be considered incidental.
- All mud shall be removed from all tires before leaving the site and the roads shall be kept clean and clear of mud and debris at all times.
- Curbs and drainage ditches shall be kept clean and clear of obstructions during the construction period.
- Silt fences shall be inspected frequently and maintained or replaced as required to maintain both their effectiveness and integrity. The underside of bales shall be kept in close contact with the earth below at all times to prevent water from washing beneath them.
- Water courses and drainage areas adjacent to construction activities shall be monitored as necessary, for evidence of silt intrusion and other adverse environmental impacts. Any problems or deficiencies shall be corrected immediately upon their discovery.
- Sod of unpaved areas of parkways, right-of-ways and front yards to rear wall of the building. Any and all other site seeding may be used, in some instances particularly for the back yard, only with prior approval by the Village Engineer.
- The contractor shall install all erosion control items prior to commencement of any work.
- The contractor shall install temporary orange fence around all trees to remain and wetland areas to be mitigated.

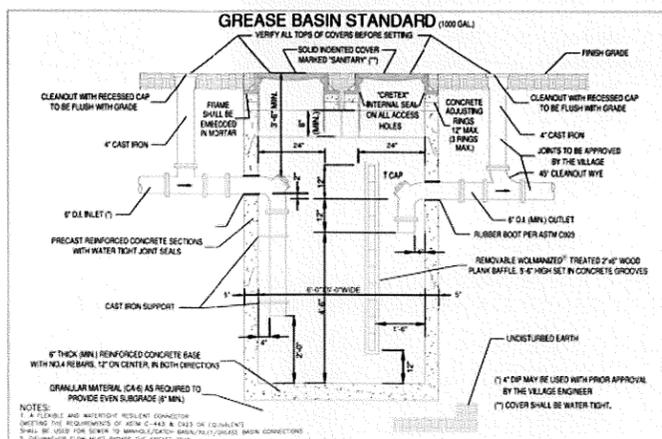
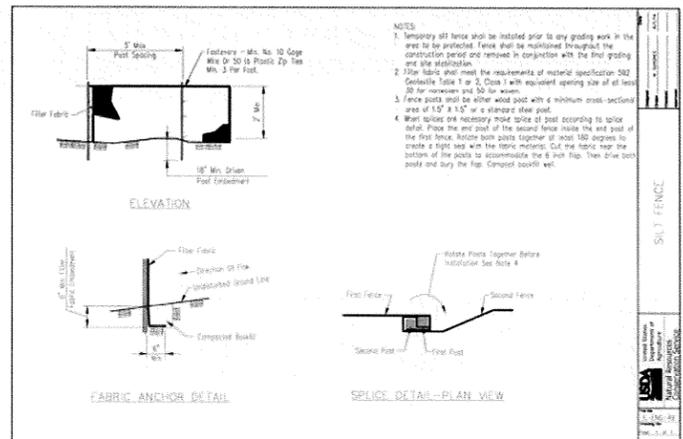
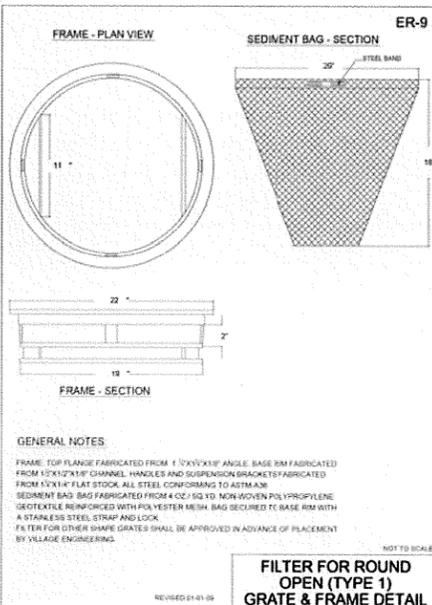
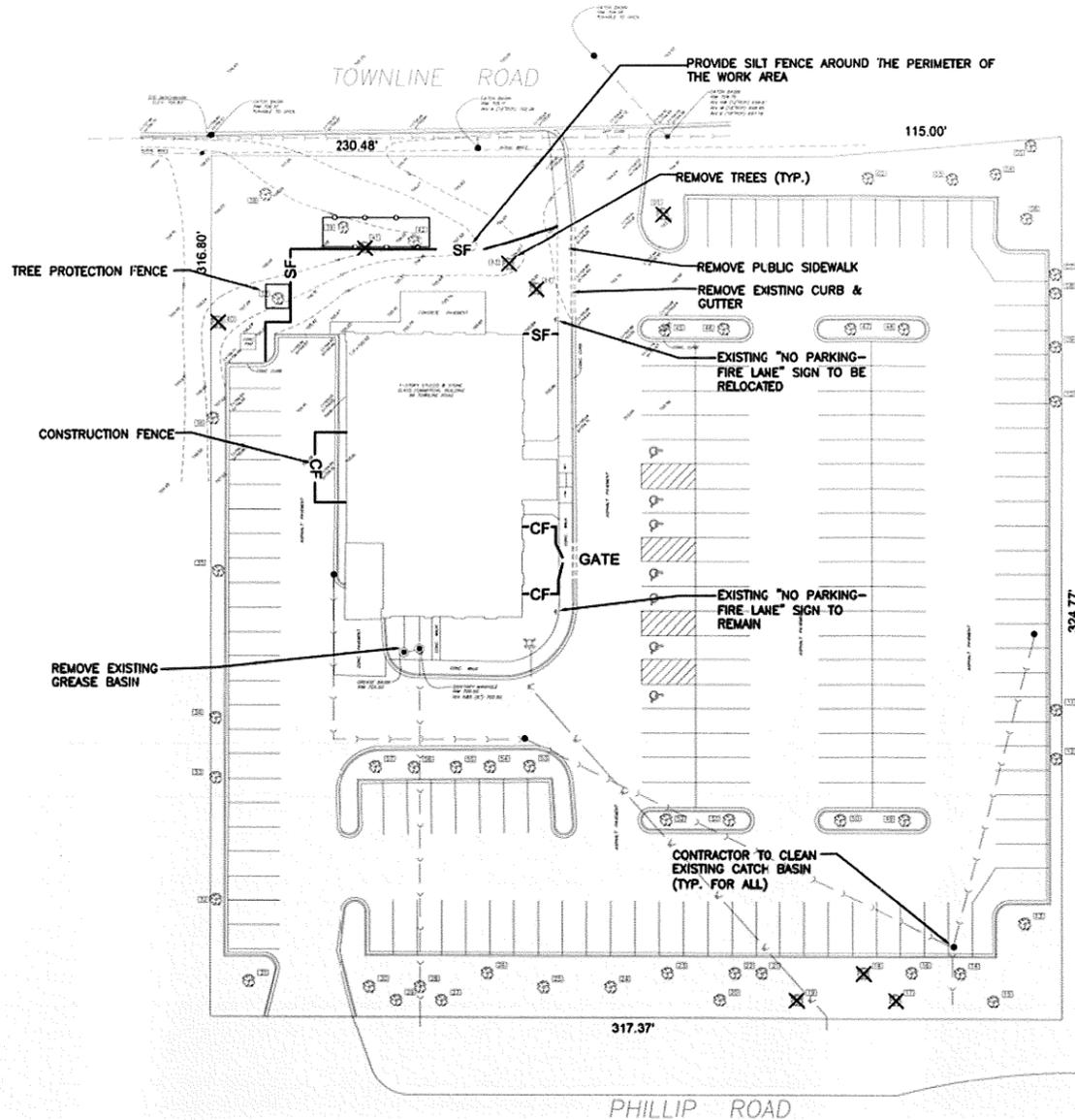
**DEMOLITION NOTES**

- Install temporary tree protection fencing prior to any demolition work.
- Install temporary silt fence & 6' high chain link fence around the proposed work area as shown on the drawing.
- Contractor to call JUIE at 1-800-892-0123, minimum of 48 hours prior to initiating any excavation or demolition.
- Contractor shall verify the exact elevation and location of all existing utilities and appurtenances prior to construction, to avoid interferences.
- Appropriate precautions shall be taken to avoid damage to and to protect existing utilities and appurtenances in the vicinity of work. Contractor shall be responsible for the protection of all underground or overhead utilities even though they may not be shown on the plans. Any utility that is damaged during construction shall be repaired to the satisfaction of the Village and the owner, or replaced.
- Any open excavations, or potentially dangerous areas shall be fenced or guarded in an acceptable manner at the end of each day for the protection of the contractor's employees and general public safety.
- Project Civil Engineer is not liable for any construction site safety. Contractor to take all OSHA regulated and applicable local safety precautions to safe guard all potentially hazardous sites/work.
- Contractor is responsible for keeping roads free of excessive debris at all times.
- Any soil, mud or debris that is washed, tracked, or deposited onto the street shall be removed before the end of each day.
- Topographic survey by BDI, Purohit Architects or Engineer is not liable for any errors or omissions in the survey.
- All excavation shall be tapered, or, shored and maintained pumped dry.
- Do not create dust or other nuisance to neighboring properties during construction.
- "No trespassing" signs shall be mounted on the fencing in conspicuous locations until construction is completed and approved.
- Any gate in the perimeter fence shall be adequately hinged to prevent entry, except to allow ingress and egress to and from site, such gate must be locked at all times, other than permitted hours of construction.

**Tree Inventory/Action Plan Description**

Tag No.	Size (DBH)	Common Name	Condition (1-4)	Remarks	Action		
					Remove	Root Prune	No Action
1	17.25"	Ash	6	EAB	X		
2	14.75"	Linden	3				X
3	16"	Linden	3				X
4	6"	Crabapple	3				X
5	8.5"	Crabapple	3				X
6	23"	Honeylocust	3				X
7	8'-6" 10"	Crabapple	3				X
8	11.25"	Crabapple	3				X
9	3x4', 2x2'	Crabapple	3				X
10	11.5"	Honeylocust	3				X
11	5x4', 6"	Crabapple	3				X
12	Multistem	Crabapple	3				X
13	16.75"	Linden	3				X
14	15"	Pine	3				X
15	19.5"	Pine	3				X
16	15.5"	Pine	3				X
17	18"	Ash	5	EAB	X		
18	14.75"	Ash	5	EAB	X		
19	15.5"	Ash	5	EAB	X		
20	18"	Pine	3				X
21	4"	Crabapple	3				X
22	4"	Crabapple	3				X
23	17"	Pine	3				X
24	16.25"	Honeylocust	3				X
25	15.25"	Honeylocust	3				X
26	Multistem	Crabapple	3				X
27	3x10"	Pine	3				X
28	21"	Pine	3				X
29	18"	Pine	3				X
30	18"	Linden	3				X
31	10"	Linden	3				X
32	Multistem	Crabapple	3				X
33	6.5"	Crabapple	3				X
34	6.5"	Crabapple	3				X
35	15.5"	Scotch Pine	3				X
36	Multistem	Crabapple	3				X
37	18.25"	Honeylocust	3				X
38	17.25"	Honeylocust	3				X
39	7.75"	Linden	3				X
40	Multistem	Buckthorn	3		X		
41	7.5"	Linden	3		X		
42	9"	Linden	3			X	
43	10.75"	Crabapple	3		X		
44	25"	Ash	5	EAB	X		
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52	14"	Honeylocust	3				X
53	Multistem	Crabapple	3				X
54	Multistem	Crabapple	3				X
55	8"	Crabapple	3				X
56	Multistem	Crabapple	3				X
57	8"	Crabapple	3				X

Abhijit Veer  
IL-4809A



MILESTONE DATES  
Issued for Technical Review  
February 09, 2016  
Revised Per Technical Review  
March 10, 2016  
Revised Per Technical Review #2  
April 14, 2016

**PUROHIT ARCHITECTS**  
 Tel: 847.942.8777 Fax: 847.359.6844  
 Email: hemal@purohitarchitects.com  
 www.purohitarchitects.com  
 1192 Old Timber Ct  
 Hoffman Estates, IL 60192

PROJECT NAME:  
"McAlister's Deli" Building  
 ADDRESS:  
99 EAST TOWNLINE ROAD  
VERNON HILLS, IL  
 PROJECT DESCRIPTION:  
Exterior Upliftment & addition of a drive-thru lane to the existing building

Issue Date: February 09, 2016  
 Drawn By: SCALE: 1"=20'-0"  
 SHEET: EXISTING TOPOGRAPHY, DEMOLITION & EROSION CONTROL PLAN  
**C-2**  
 PAI: PROJECT NUMBER 15136.00

These drawings may have been reproduced at a scale different than originally drawn. Architect assumes no responsibility for use of incorrect scale. Do not scale drawings. Contractor shall verify all existing conditions prior to proceeding with construction and notify architect immediately of any discrepancies or conflicts.

**GENERAL NOTES**

- The construction shall be in accordance with the Village Engineer and the owner's engineer.
- All work shall be in accordance with the specifications of the Village Engineer.
- Approved by the Village Engineer (VE) and the owner's engineer (OE).
- Standard Specifications for Water and Sewer Construction in Illinois, latest edition.
- Minimum Recommended Standards for Sewage Works as published by the ILEP.
- Manual on Uniform Traffic Control Devices (MUTCD) latest edition.
- The Standard and Development Codes and Standards of the Village of Burr Ridge.
- Proceedings and Resolutions of the Board of Trustees of the Village of Burr Ridge.
- The Association of Illinois Soil and Water Conservation Districts.

When a contradiction occurs with any part of the standard specifications, the most stringent requirement shall take precedence.

The contractor shall provide and maintain all necessary permits, bonds, and insurance.

The contractor shall have at least one copy of all applicable specifications as well as one copy of the contract documents.

The contractor shall be responsible for obtaining all necessary permits, bonds, and insurance.

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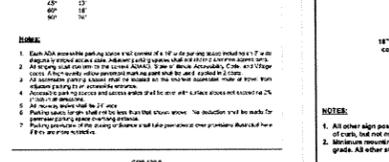
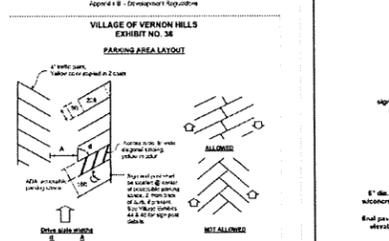
- During construction the contractor and his subcontractors shall remove from the premises, rubbish, waste material and accumulations, and shall keep the premises clean and free from the obstruction of the area.
- The contractor shall have appropriate equipment, including pickup trucks and loaders available on-site at all times when equipment or vehicles are being used on the premises. The contractor shall immediately remove any dirt, mud, oil, grease, concrete, gravel, work blocks, post holes, spots, holes, ruts, ripples, or other damage to the site, caused by the contractor or his subcontractors, and shall be responsible for repairing with all Village Engineer and OE approval and at the contractor's cost.
- All hauling, storage and construction work performed shall be in accordance with ILEP standards. The contractor shall be responsible for obtaining all necessary permits, bonds, and insurance.
- All lines, manholes, pipes, and conduits of the site shall be in a ready-to-work condition during all working hours.
- The contractor shall be responsible for obtaining all necessary permits, bonds, and insurance.
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**CONCRETE NOTES**

- Depth, but depth shall exceed existing sidewalk pavement scheduled for removal. Replace to match existing.
- Aggregate base course for new sidewalk and curbs of 4" max. base.
- Concrete sidewalk pavement and curbs of minimum 5" thick P.C. of concrete shall be minimum 1,500 psi.
- Concrete and base course shall be in accordance with section 600-600 standard specifications.
- Sidewalk cross slope to be 1" per 3.33', standard, 1" per 8' minimum, and 1" per 4' maximum, but handlap access ramp shall be 4:12 min.
- A 1/2" expansion joint shall be installed when the new pavement or sidewalk abuts any building.
- Control joints shall be spaced a maximum of 12 feet between joints. No joint shall be spaced more than 24 feet between joints. No joint shall be spaced more than 24 feet between joints.
- All curbs shall be 6" high unless otherwise noted. Areas of kerbs on any curb shall be 6" high unless otherwise noted.
- Control joints shall be spaced a maximum of 12 feet between joints. No joint shall be spaced more than 24 feet between joints.
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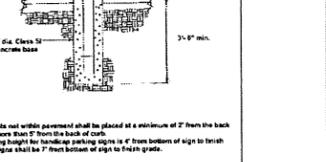
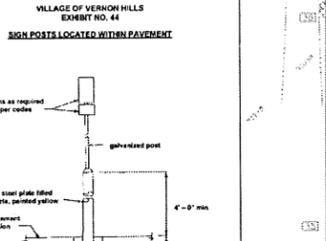
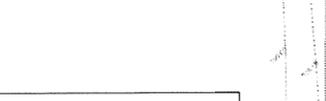
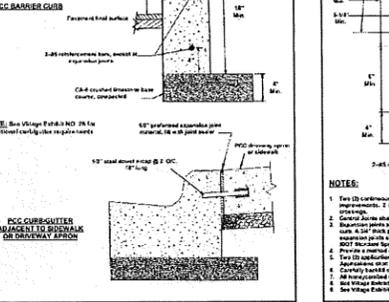
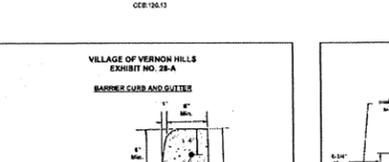
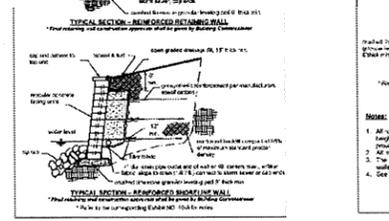
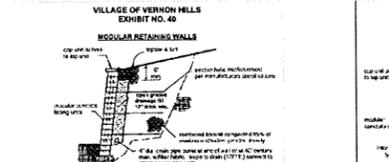
**FINISH NOTES**

- Asphalt surface shall be prepared for one year prior to hot laying, paving 1/2" of 1/2" standing water greater than 25 degrees Fahrenheit.
- Transition grade changes to be smooth.
- Marking paint shall be high quality traffic paint intended for striping asphalt parking lots and shall be yellow with 4" coverage rate. 600 lbs per gallon per 1000 sq ft.
- Asphalt sections detailed on sheet 5.



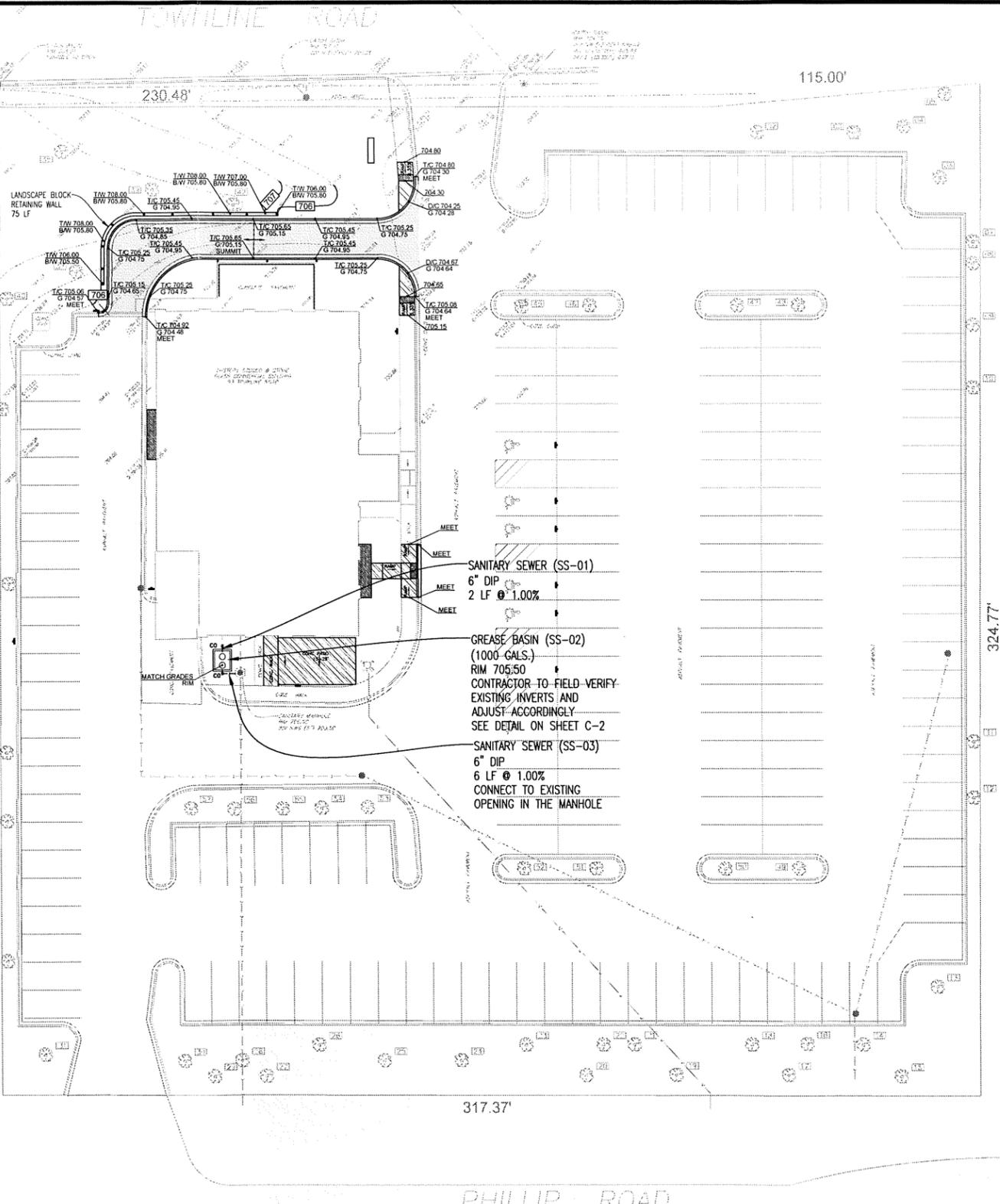
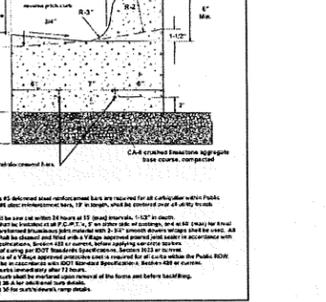
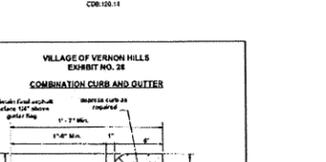
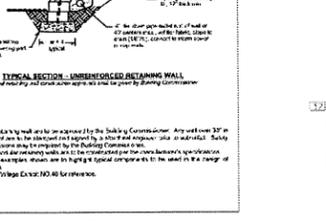
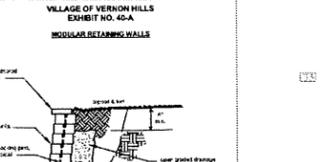
**NOTES:**

- All other sign posts not within pavement shall be placed at a minimum of 7' from the back of curb, but not more than 7' from the back of curb.
- Minimum mounting height for non-parking signs is 4' from bottom of sign to top of grade. All other signs shall be 7' from bottom of sign to top of grade.



**NOTES:**

- All other sign posts not within pavement shall be placed at a minimum of 7' from the back of curb, but not more than 7' from the back of curb.
- Minimum mounting height for non-parking signs is 4' from bottom of sign to top of grade. All other signs shall be 7' from bottom of sign to top of grade.



**MILESTONE DATES:**

Issued for Technical Review  
February 09, 2016

Revised Per Technical Review  
March 10, 2016

Revised Per Technical Review #2  
April 14, 2016

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

**PURHIT ARCHITECTS**

PROJECT NAME:  
"McAlister's Deli" Building

ADDRESS:  
99 EAST TOWNLINE ROAD  
VERNON HILLS, IL

PROJECT DESCRIPTION:  
Exterior Upfitment & addition of a drive-thru lane to the existing building

TEL: 847.942.8777 Fax: 847.359.6844  
Email: hema@purhitarchitects.com  
www.purhitarchitects.com

1192 Old Timber Ct.  
Hoffman Estates, IL 60192

Issue Date: February 09, 2016

Drawn By:

SCALE: 1"=20'-0"

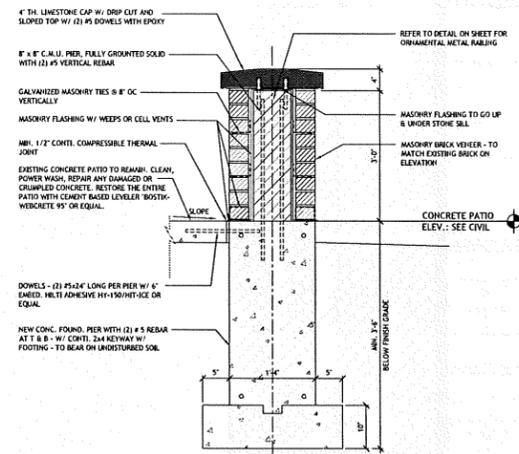
PROPOSED GRADING, UTILITY PLAN, CONSTRUCTION NOTES & STANDARD DETAILS

**C-3**

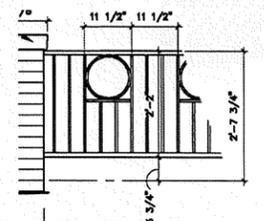
PAL: PROJECT NUMBER  
15136.00

MILESTONE DATES:

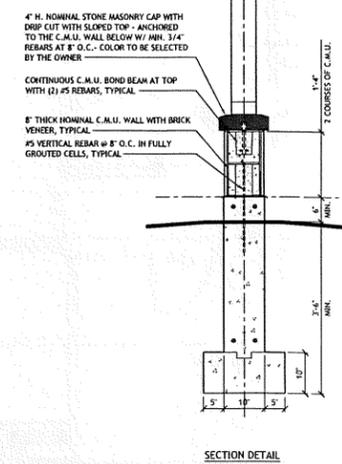
Issued for Technical Review	February 09, 2016
Re-issued for Technical Review	March 13, 2016
Issued for Bids	April 06, 2016



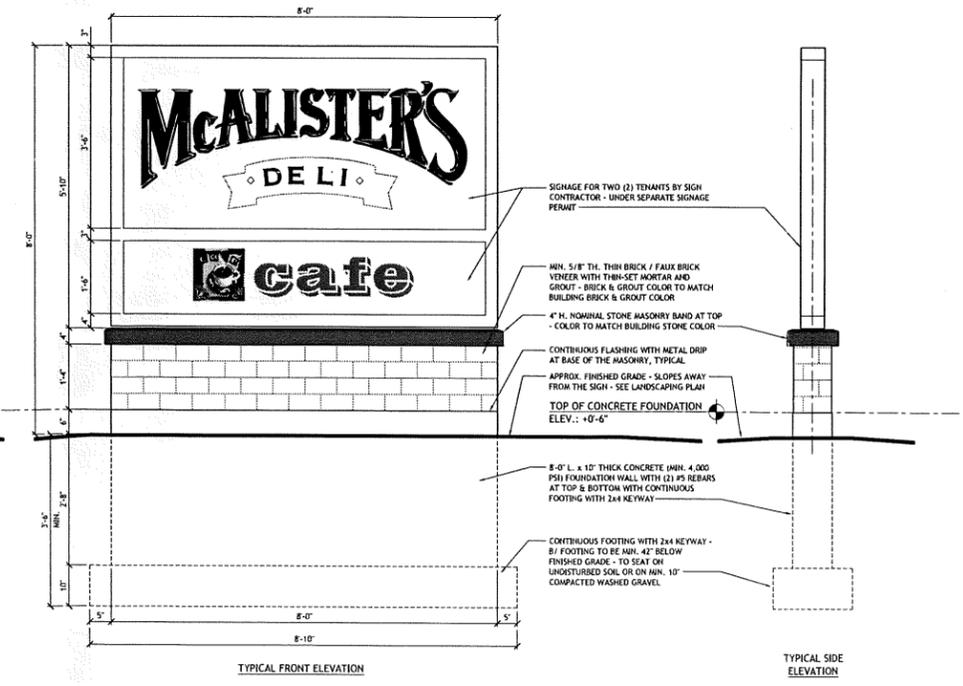
**MASONRY PIER DETAIL @ PATIO**  
 SCALE: 1" = 1'-0" **3**



**PATIO RAIL DETAIL**  
 SCALE: 1/4" = 1'-0" **2**



**GROUND SIGN**  
 SCALE: 3/4" = 1'-0" **1**



GROUND SIGN SHALL BE INSTALLED AT  
 AT LEAST 10'-0" AWAY FROM THE LOT LINE.

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**PUROHIT ARCHITECTS**  
 Tel: 847.757.1618 Fax: 847.359.6844  
 Email: shilpa@purohitarchitects.com  
 www.purohitarchitects.com

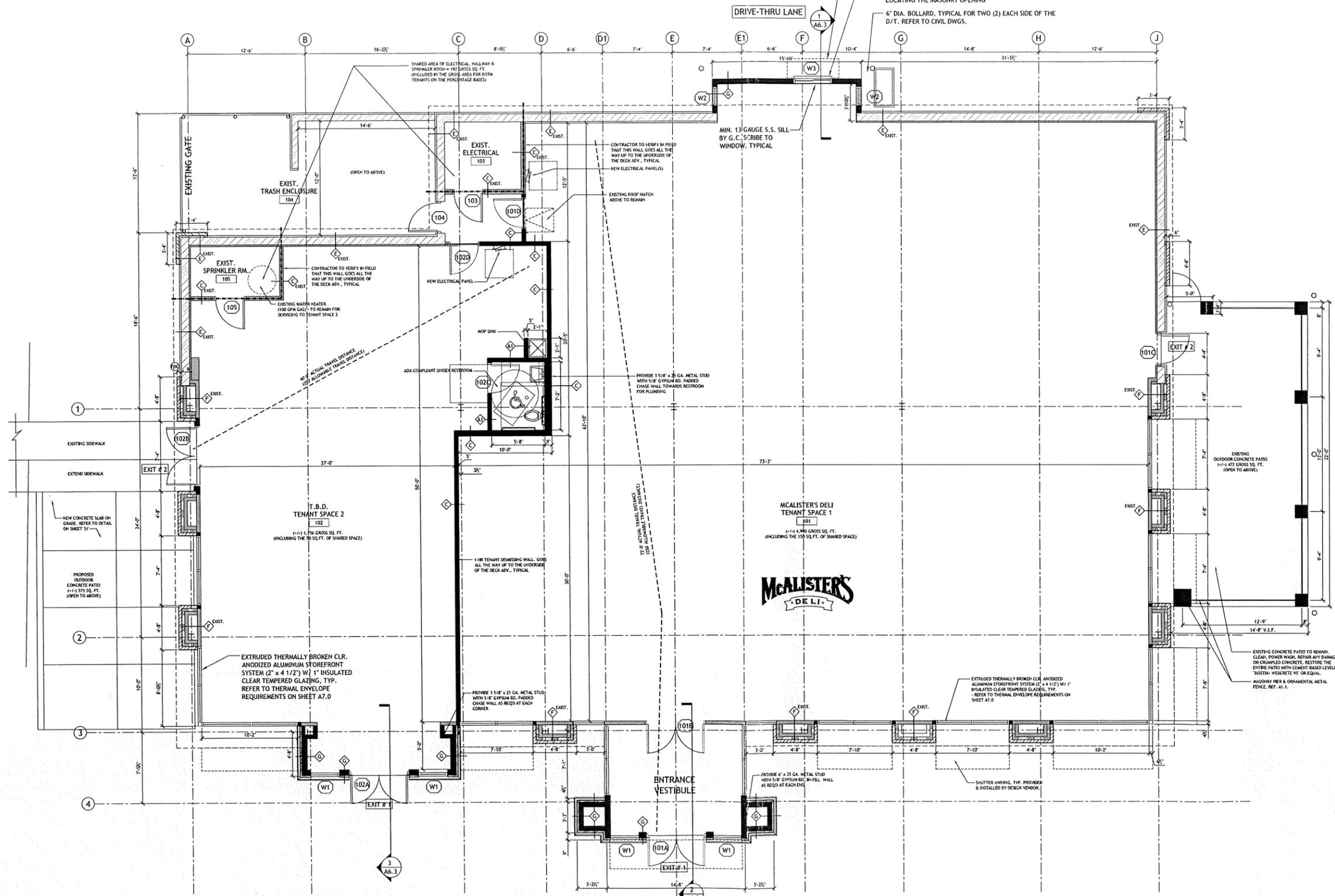
**JPA**

2020 E. ALGONQUIN RD, SUITE # 302  
 SCHAUMBURG, IL 60173

PROJECT NAME: "McAlister's Deli" Building  
 ADDRESS: 99 EAST TOWNLINE ROAD  
 VERNON HILLS, IL  
 PROJECT DESCRIPTION: Exterior Upfitment & addition of a drive-thru lane to the existing building

Issue Date: April 6, 2016  
 Drawn By:  
 Sheet: **A1.0**  
 SITE DETAILS  
 PA: PROJECT NUMBER 15136.00

MILESTONE DATES:  
 Issued for Technical Review  
 February 09, 2016  
 Re-issued for Technical Review  
 March 13, 2016  
 Issued for Bids  
 April 06, 2016



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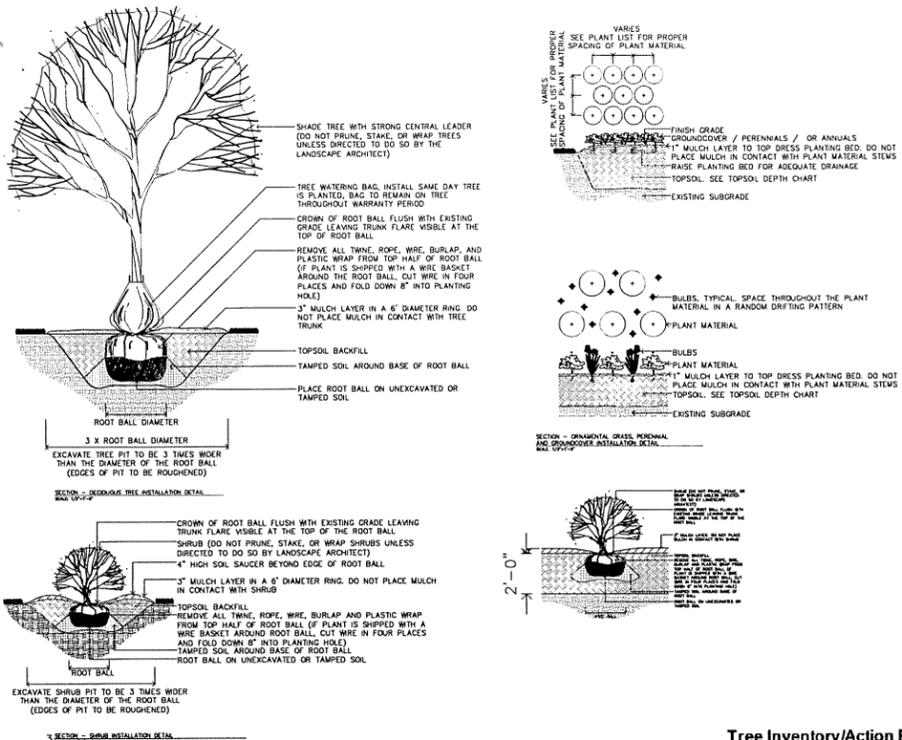
**PUROHIT ARCHITECTS**  
 Tel: 847.757.1518 Fax: 847.355.6844  
 Email: shilpa@purohitarchitects.com  
 www.purohitarchitects.com  
 2020 E. ALGONQUIN RD, SUITE # 302  
 SCHALIMBURG, IL 60173

PROJECT NAME:  
 "McAlister's Deli" Building  
 ADDRESS:  
 99 EAST TOWNLINE ROAD  
 VERNON HILLS, IL  
 PROJECT DESCRIPTION:  
 Exterior Upfitment & addition of a drive-thru lane to the existing building

Issue Date: April 6, 2016  
 Drawn By:  
 Sheet:  
 PROPOSED FLOOR PLAN (SHELL)  
**A3.0**  
 PA: PROJECT NUMBER  
 15136.00

**PROPOSED FLOOR PLAN- (EXISTING SHELL)**  
 SCALE: 1/4" = 1'-0"





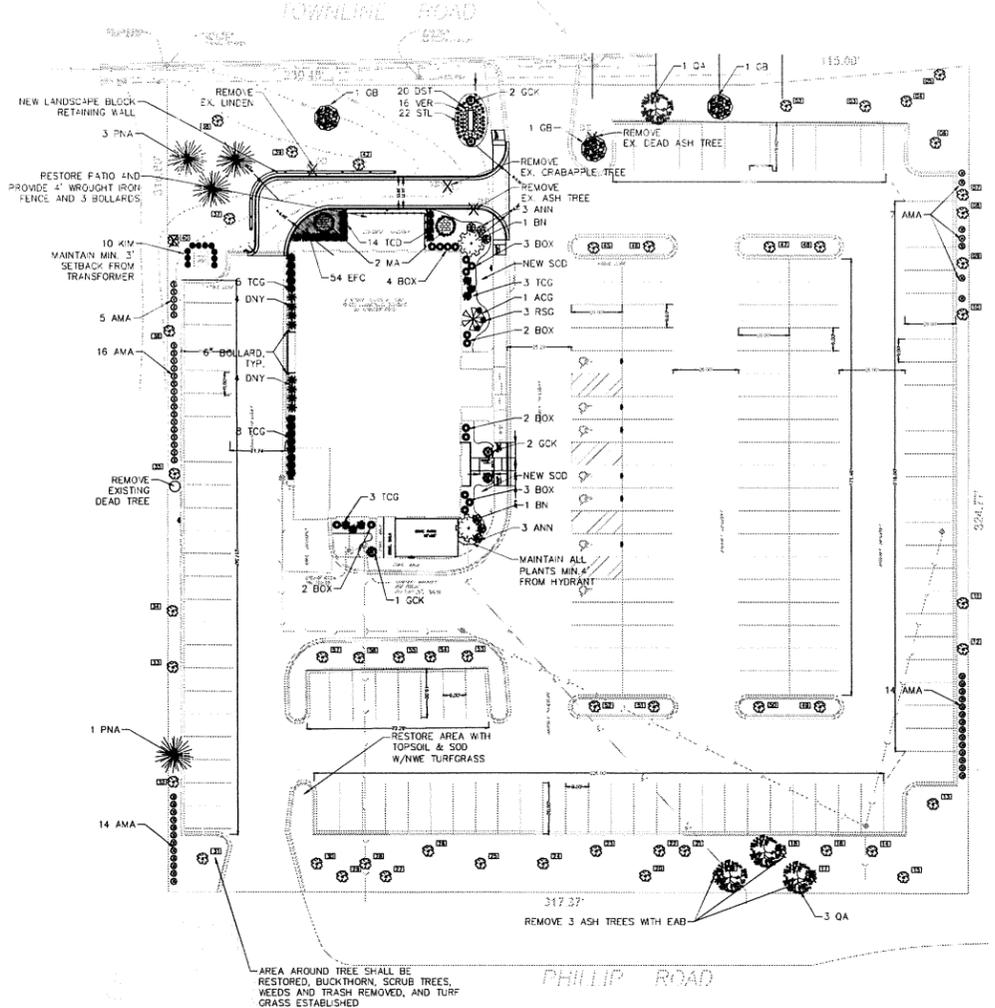
**PLANTING NOTES**

- LANDSCAPING CONTRACTOR (Contractor) shall visit the site, inspect existing conditions and review proposed planting and related work. In case of discrepancy between plan and plant list, plan shall govern quantities.
- Contractor shall verify location of all on-site utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television may be located by calling J.U.L.I.E. at (1-800-892-0123), and Badger pipelines may be located by calling Digger's Hotline at (1-800-242-8511). Any damage or interruption of services shall be the responsibility of the Contractor. Contractor shall coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to Owners Representative prior to commencing work.
- Contractor responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to Owner and the Architect.
- All shrub bed and trees shall be mulched with a 3" continuous layer of shredded bark. All ground cover and perennial beds shall be mulched with a 1" layer of shredded bark. All deciduous trees shall be mulched with a 3 ft. diameter circle mulch. All evergreen trees shall be mulched to the drip line.
- Perennial and ground cover beds shall be amended with a 2" layer of mushroom compost, tilled to a depth of 6", raked smooth, fertilized with commercial 10-6-4 fertilizer at a rate of 25 lbs. per 1000 S.F. planted, covered with 1" layer of shredded bark mulch and watered.
- Edging to be EDG-KING brand plastic edging or approved equal. EDG-KING to be installed with horizontal steel stakes at 36" spacing. Install per manufacturer's specifications in all areas indicated on plan. Provide manufactured joints and 90 degree fittings at all corners.
- The topsoil condition for this project site is as follows:  
 Contractor will be required to place and finish grade topsoil supplied by others at specified depths in planting and lawn areas. (Planting areas [12 inches] Lawn areas [6 inches]).
- Guarantee of plants for one (1) year shall begin after acceptance by the Architect and/or Owner. The Owner shall assume maintenance responsibilities of all plant material, including watering, cultivating, weeding, mulching, and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition. The Contractor shall guarantee all plants to be in a healthy, vigorous condition for a period of one (1) year following acceptance. Contractor shall replace without cost to the Owner, any dead or unacceptable plants, as determined by the Architect during and at the end of the Guaranteed Period. Subsequent replacement of plant material shall be borne jointly by Contractor and Owner. Owner will pay wholesale cost of plant material, plus reasonable charge for delivery, and Contractor will bear cost of labor for installation per specifications.
- Seeded lawn to be a combination of bluegrass, perennial rye and rye fescue with following analysis by weight: 30% Rugby Kentucky Bluegrass, 20% Park Kentucky Bluegrass, 20% Creeping Red Fescue, 20% Scadisa Hard Fescue, 10% perennial Ryegrass. Seed to be applied at a rate of 4 lbs per 1,000 S.F.. All seeded lawn areas shall be fertilized at installation with 0-26-26 analysis, at a rate of 6 lbs per 1,000 S.F.. Second application of 15-40-5 to be applied at a rate of 6 lbs per 1,000 S.F. after first cutting. Acceptance and guarantee notes shall apply to all seeded areas.
- Acceptance of grading and seeding shall be by the Architect and Owner. The Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, reseeding and other operations necessary to keep lawn in thriving condition. Upon final acceptance by the Architect and/or Owner, Owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show uniform stand of grass for any reason whatsoever shall be reseeded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare spots, one of which are larger than 1 square foot and when combined do not exceed 2% of total seeded lawn area.

**Tree Inventory/Action Plan Description**

Tag No.	Size (DBH)	Common Name	Condition (1-6)	Remarks	Action		
					Remove	Root Prune	No Action
1	17.25"	Ash	6	EAB	X		
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44	25"	Ash	5	EAB	X		
45	11.5"	Honeylocust	3				X
46	10.25"	Honeylocust	3				X
47	7.5"	Honeylocust	3				X
48	0"	Honeylocust	3				X
49	10"	Honeylocust	3				X
50	11.5"	Honeylocust	3				X
51	10.5"	Honeylocust	3				X
52	14"	Honeylocust	3				X
53	Multistem	Crabapple	3				X
54	Multistem	Crabapple	3				X
55	8"	Crabapple	3				X
56	Multistem	Crabapple	3				X
57	8"	Crabapple	3				X

Abhir Veer  
 L-4809A

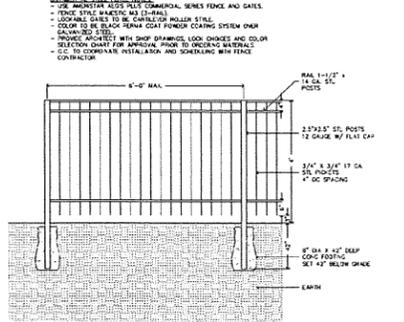


**PLANT LIST**

CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS
GR	QUERCUS BLUND	CHICKO	3	2.5"			BAB	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
QA	QUERCUS ALBA	WHITE OAK	4	2.5"			BAB	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
BN	BELULA NIGRA	RIVER BIRCH	2		12'		BAB	TRIPLE TRUNK, SPECIMEN QUALITY
AC	ANGLICHEL CANADENSIS 'GLENNFORM'	FAKEDY PEAR SERVICEBERRY	1		4'-6"		BAB	TRIPLE TRUNK, SPECIMEN QUALITY
MA	MAGNOLIA STELLATA 'ROYAL STAR'	STAR MAGNOLIA	1		4'-5"		BAB	TRIPLE TRUNK, SPECIMEN QUALITY
PNA	PRINUS NORTI 'HARDY SENTINEL'	AUSTRIAN PINE	20				BAB	
DST	JUNIPERUS SUTANAYA 'BLUE STAR'	BLUE STAR JUNIPER	20		LOW HEIGHT		BAB	
BOX	BUNUS GREEN VELVET	GREEN VELVET BOWWOOD	18		24"		#5 CONTAINER	
ANK	HYDRANGEA KRONENSCHEIS	ANNAHELEN HYDRANGEA	18		24"		#5 CONTAINER	
DNY	TAXUS MEDIA 'NENSIFORMIS SELECT'	DENSE YEW	18		24"		#5 CONTAINER	
YED	YUJA OCCIDENTALIS 'HOLMSTRUP'	EASTERN ARBORWITAE	14		4'		BAB	
YCC	YUJA OCCIDENTALIS 'GOLDEN GLOBE'	EASTERN ARBORWITAE - GOLDEN GLOBE	18		18"		BAB	
AMA	ARONIA MELANOCARPA 'AUTUMN MAGIC'	BLACK CHERRYBERRY	58		3'		BAB	
KM	STRONGA PATILIA 'MISS KIM'	MISS KIM LILAC	10		3'		#5 CONTAINER	32"
RSD	PEROVSKIA	RUSSIAN SAGE	3				1 GAL	24" BUSHY
EFC	ERIGONUM FORSTNI 'GOLDGRASS'	PURPLE-LEAF WINTERHELPER ERIGONUM	54				#4 CONTAINER	2'-0" ON CENTER
VEN	VERONICA ROYAL CANDLES	PINK VERONICA	18				1 GAL	2'-0" ON CENTER
SIL	HENROCALLIS - 'HAPPY RETURNS'	DAY LILIES	22				1 GAL	2'-0" ON CENTER
GCK	GRASS-CALAMAGROSTIS-'KARLFOERSTER'	FEATHER REED GRASS	5		36"		5 GAL	

**ADDITIONAL SCOPE**

- SETTLEMENT BEHIND THE BACK OF CURB WILL BE BACKFILLED WITH CLEAN TOPSOIL TO PROVIDE POSITIVE DRAINAGE AND TO REMOVE ANY TRIP HAZARD FOR THE ENTIRE SITE. ALL EXISTING TURF AREAS SHALL BE AERATED, 12-15 CORES PER SQUARE FOOT, AND OVER SEEDED WITH A TURF GRASS BLEND AT A RATE OF 4 LBS. PER 1000 SQUARE FEET.
- TOPSOIL AREAS SHALL INCLUDE A PELLET MULCH OR STRAW BLANKET
- BROADLEAF HERBICIDE TREATMENT SHALL BE APPLIED TO CONTROL BROADLEAF WEEDS IN THE TURF. CONTRACTOR SHALL GIVE ATTENTION FOR TIMING OF HERBICIDE APPLICATION WHICH SHALL NOT IMPACT SEEDING WORK.
- PRUNING AND THINNING: ALL DEADWOOD FROM ALL EXISTING TREES AND SHRUBS WILL BE PRUNED. ALL EXISTING TREES WILL BE CROWN CLEANED AND VISTA PRUNED. CONTRACTOR TO FIELD VISIT SITE BEFORE BIDDING TO ADD A LINE ITEM IN HIS BID FOR THE TREE PRUNING AND THINNING.
- ALL BUCKTHORN SHALL BE REMOVED FROM THE SITE.
- ALL OUTDOOR LANDSCAPE ACCENT LIGHTING SHALL BE REMOVED.
- ALL TREE RINGS AND SHRUB BEDS SHALL BE EDGED, WEEDED AND 3" OF SHREDDED HARDWOOD MULCH SHALL BE INSTALLED.
- REPAIR EXISTING LANDSCAPE SPRINKLER SYSTEM AS NECESSARY TO BE FUNCTIONAL AT THE END OF THE WORK. CONTRACTOR TO FIELD VISIT EXISTING SERVICE AND INCLUDE A LINE ITEM IN HIS BID FOR THE REPAIR OR REPLACEMENT OF THE SPRINKLER SYSTEM (PROVIDE NECESSARY SKETCH/PLAN FOR THE REPLACEMENT).



MILESTONE DATES:  
 Issued for Technical Review  
 February 09, 2016  
 Owner Revision - Added Patio  
 April 14, 2016

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 Hoffman Estates, IL 60192

PROJECT NAME:  
 "McAlister's Deli" Building  
 ADDRESS:  
 99 EAST TOWNLINE ROAD  
 VERNON HILLS, IL  
 PROJECT DESCRIPTION:  
 Exterior Upliftment & addition of a drive-thru lane to the existing building

Issue Date: February 09, 2016  
 Drawn By:  
 SCALE: 1/32" = 1'-0"  
 Sheet:  
 LANDSCAPE PLAN  
**L-1.0**  
 PAI: PROJECT NUMBER  
 15136.00

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LESTONE DATES:  
 Issued for Technical Review  
 February 09, 2016  
 Re-issued for Technical Review  
 March 13, 2016  
 Issued for Plan Commission  
 April 15, 2016

RECEIVED

APR 15 2016

Community Development  
 Department



NORTH ELEVATION - RIGHT SIDE  
 SCALE: 1/4" = 1'-0"

2



EAST ELEVATION - FRONT  
 SCALE: 1/4" = 1'-0"

1

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 Schaumburg, IL 60173

PROJECT NAME:  
 "McAlister's Deli" Building  
 ADDRESS:  
 99 EAST TOWNLINE ROAD  
 VERNON HILLS, IL  
 PROJECT DESCRIPTION:  
 Exterior Upfitment & addition of a drive-thru lane to the existing building

Issue Date: April 15, 2016  
 Drawn By:

Sheet:  
 EXTERIOR ELEVATIONS

A6.1

PAI: PROJECT NUMBER  
 15136.00

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MILESTONE DATES:  
 Issued for Technical Review  
 February 09, 2016  
 Reissued for Technical Review  
 March 13, 2016  
 Issued for Plan Commission  
 April 15, 2016



**SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

2



**WEST ELEVATION- REAR**  
 SCALE: 1/4" = 1'-0"

1

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PROJECT NAME: "McAlister's Deli" Building  
 ADDRESS: 99 EAST TOWNLINE ROAD  
 VERNON HILLS, IL  
 PROJECT DESCRIPTION: Exterior Upfitment & addition of a drive-thru lane to the existing building

Issue Date: April 15, 2018  
 Drawn By:  
 Sheet:

EXTERIOR ELEVATIONS  
**A6.2**  
 PAI: PROJECT NUMBER  
 15136.00

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