

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2013-034

AN ORDINANCE GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS THE OAKS OF VERNON HILLS, A PLANNED UNIT DEVELOPMENT LOCATED ON THE NORTH SIDE OF ROUTE 45 BETWEEN CORPORATE WOODS AND WOODLANDS PARKWAYS, IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 4th DAY OF JUNE 2013

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 7th Day of June 2013

ORDINANCE NO. 2013-034

**AN ORDINANCE GRANTING CERTAIN
APPROVALS FOR PROPERTY COMMONLY
KNOWN AS THE OAKS OF VERNON HILLS, A
PLANNED UNIT DEVELOPMENT LOCATED
ON THE NORTH SIDE OF ROUTE 45
BETWEEN CORPORATE WOODS AND
WOODLANDS PARKWAYS, IN THE VILLAGE
OF VERNON HILLS, LAKE COUNTY**

WHEREAS, the property formerly known as Kelly's Day Camp and Leikum Tap, legally described in Exhibit A, was zoned to allow office, warehouse and commercial uses although said uses were not constructed due to changes in the market and economy resulting in the current petition being filed to rezone the property for residential and commercial uses which would allow apartments and row homes pursuant to the attached plans; and

WHEREAS, Michael J. Rolfs of Hamilton Partners, Inc, representing Oaks of Vernon Hills, LLC in regards to property commonly known as The Oaks of Vernon Hills, A Planned Unit Development and legally described in Exhibit A, working with the Co-Developer (Kinzie Real Estate Group), has petitioned the Village of Vernon Hills for the following:

- A. Approval to amend the zoning classification from OR&D Office Research & Development to R-7 Multi-family Residential PUD and B-1, General Business for the property; and
- B. Approval of a Special Use Permit for a Planned Unit Development to allow development of a mixed use development consisting of multi-family residential and commercial buildings along with certain variations, including but not limited to building height and setbacks and parking requirements.
- C. Final approval of the site and landscaping plan approvals.
- D. Final approval of the architectural elevations and signage plan.
- E. Final approval of the Plat of Subdivision -- The Oaks of Vernon Hills.

WHEREAS, the requested approvals would be in general compliance with the following plans:

- Building Character Elevations for the apartment buildings, row homes and Clubhouse (Color Scheme D) prepared by BSB Design with plan dates of 5/7/13 and consisting of 8 pages.
- Building Character Elevations for the apartment buildings, row homes and Clubhouse (Color Scheme **BLUE**) prepared by BSB Design with plan dates of 6/3/13 and consisting of 5 pages.
- Master Signage -- Wayfinding System plan prepared by The Lakota Group, Inc with a date of 5/15/13 and consisting of two (2) pages (master plan and monument signs)
- Site Dimensional & Paving Plans prepared by Manhard Consulting, Ltd with a revised date of 5/7/13 and consisting of 9 pages. (Pages 5 of 50 thru 12 of 50)
- Final Plat of Subdivision -- The Oaks of Vernon prepared by Manhard Consulting, Ltd with a revised date of 5/7/13 and consisting of 4 pages.

- Final Landscaping Plans prepared by The Lakota Group, Inc with a revised date of 5/15/13 and consisting of pages L1-00 thru L41-00. These plans include Overall Landscape Plans, Apartment Building Plans, Rowhome plans, Clubhouse Landscape Plan, Details and General Notes.
- Tree Preservation Plan prepared by The Lakota Group, Inc with a revised date of 5/15/13 and consisting of pages TP-01 thru TP-08.
- Final Improvement Plans prepared by Manhard Consulting, Ltd with a revised date of 5/7/13 and consisting of 50 pages.
- Proposed Route 45 Improvement Plans for the Oaks of Vernon Hills Development prepared by Manhard Consulting, Ltd with a date of 3/11/13 and consisting of 18 pages.

Copies of said plans/color elevations are attached hereto as Exhibit C.

WHEREAS, upon due notice and after public hearing held December 19, 2012 and continued from time to time by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report including recommendations and conditions of approval concerning said petition as listed above; and

WHEREAS, as a part of the public hearing, the Planning and Zoning Commission of the Village of Vernon Hills, pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, also considered requests from the petitioner to amend the zoning classification from OR&D Office Research & Development to R-7 Multi-family Residential PUD and B-1, General Business for the property; and to approve a Special Use Permit for a Planned Unit Development to allow development of a mixed use development consisting of multi-family residential and commercial buildings along with certain variations, including but not limited to building height and setbacks and parking requirements; and

WHEREAS, the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, has also filed its report recommending approvals concerning said amendment of the zoning classification and special use permit as listed above; and

WHEREAS, as a part of the public meeting held on May 15, 2013, the Planning and Zoning Commission of the Village of Vernon Hills, pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, also considered requests from the petitioner for final approvals for the site and landscaping plans, architectural elevations and signage and plat of subdivision; and

WHEREAS, the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, has also filed its report recommending approvals concerning said site and landscaping plans, architectural elevations and signage and plat of subdivision; and

WHEREAS, it has been determined that the granting of approval of the zoning amendment will have no serious and depreciating effect upon the value of surrounding property and

will have no adverse effect upon the character of the neighborhood, public utility facilities or other matters pertaining to the public health, public safety and general welfare; and

WHEREAS, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that addresses the conditions in Sections 18.3 and 21.7 of the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION I. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, amend the zoning classification from OR&D Office Research & Development to R-7 Multi-family Residential PUD and B-1, General Business for the properties legally described in Exhibit B is hereby approved subject to the conditions listed below in Section VI.

SECTION II. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, Special Use Permit for a Planned Unit Development to allow development of a mixed use development consisting of multi-family residential and commercial buildings along with certain variations, including but not limited to building height and setbacks and parking requirements is hereby approved subject to the conditions listed below in Section VI.

SECTION III. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the final site and landscaping plans are hereby approved subject to the conditions listed below in Section VI.

SECTION IV. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the final architectural elevations and signage plans for the entire project, as set forth in Exhibit C, are hereby approved subject to the conditions listed below in Section VI.

SECTION V. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, the final plat of subdivision entitled the Plat of Subdivision – The Oaks of Vernon Hills is hereby approved subject to the conditions listed below in Section VI.

SECTION VI. Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the Terms and Conditions as set forth in Exhibit D are hereby approved and are made a part of the approvals as listed in the Sections above.

SECTION VII. SEVERABILITY. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION VIII. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION IX. SUCCESSORS AND ASSIGNS. All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of Hamilton Partners, Inc, Oaks of Vernon Hills, LLC and REVA Development Partners, LLC.

SECTION X. EFFECTIVE DATE. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

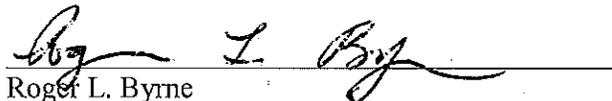
SECTION XI. ORDINANCE NUMBER. This ordinance shall be known as Ordinance Number 2013-034.

Adopted by roll call vote as follows:

AYES: 5 – Hebda, Koch, Marquardt, Schultz, Schwartz

NAYS: 0 - None

ABSENT AND NOT VOTING: 1 - Williams



Roger L. Byrne
Village President

PASSED: 6/04/2013

APPROVED: 6/04/2013

PUBLISHED IN PAMPHLET FORM: 6/07/2013

ATTEST:



Michael S. Anderson
Village Clerk
Village Clerk

Exhibit A

Legal Description

ORDINANCE 2013-034
EXHIBIT A
THE OAKS OF VERNON HILLS

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOGETHER WITH PART OF THE NORTHWEST QUARTER OF SECTION 15, AND PART OF THE EAST HALF OF SECTION 16 TOWNSHIP 43 NORTH

PARCEL 1: THAT PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION; THENCE WEST 15.71 CHAINS, MORE OR LESS, TO THE SOUTHEAST CORNER OF PREMISES CONVEYED TO JOSEPH PIKE BY DEED RECORDED MARCH 13, 1866, IN BOOK 40 OF DEEDS, PAGE 254; THENCE NORTH ALONG THE EAST LINE OF PREMISES CONVEYED TO SAID JOSEPH PIKE, 5.26 CHAINS; THENCE EAST 5.71 CHAINS, MORE OR LESS, TO A POINT 10 CHAINS WEST OF THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE SOUTH 26 LINKS; THENCE EAST 10 CHAINS TO THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE SOUTH 5 CHAINS TO THE PLACE OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP AND RANGE AFORESAID, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE WEST LINE OF SAID NORTHWEST QUARTER WHERE SAME IS INTERSECTED BY CENTERLINE OF STATE ROAD; THENCE NORTH ON SAID WEST LINE OF SAID QUARTER SECTION, 14 RODS; THENCE EAST PARALLEL WITH THE CENTER LINE OF U.S. ROUTE NO. 45, 11 RODS AND 6 FEET; THENCE SOUTH 14 RODS, MORE OR LESS, TO THE CENTER OF SAID ROAD; AND THENCE WEST ALONG SAID CENTER LINE 11 RODS 6 FEET TO THE PLACE OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

PARCEL 3: LOT 1 AND THAT PART OF LOTS 14 AND 15 LYING NORTHERLY OF CENTER OF PUBLIC ROAD IN SCHOOL TRUSTEE'S SUBDIVISION OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THAT PART OF SAID LOTS 1 AND 14 DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT THE SOUTHWEST CORNER OF LOT 1 ALSO BEING THE NORTHWEST CORNER OF LOT 14, THENCE SOUTH ON SAID WEST LINE OF SAID LOT 14, 481.60 FEET TO THE CENTER LINE OF ROUTE 45; THENCE SOUTHEASTERLY ON CENTER LINE OF SAID ROUTE 45, 252.62 FEET; THENCE NORTHEASTERLY WITH AN ANGLE OF 92 DEGREES 39 MINUTES TO THE LEFT SIDE OF CENTER LINE AS PRODUCED, 143.01 FEET; THENCE NORTHWESTERLY WITH AN ANGLE OF 46 DEGREES 06 MINUTES TO THE LEFT OF LAST MENTIONED LINE AS PRODUCED, 202.4 FEET; THENCE NORTHERLY WITH AN ANGLE OF 12 DEGREES 04 MINUTES TO THE RIGHT OF LAST MENTIONED LINE AS PRODUCED, 415.15 FEET; THENCE WEST WITH AN ANGLE OF 85 DEGREES 18 MINUTES TO LEFT OF LAST MENTIONED LINE AS PRODUCED, 191.45 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1; THENCE SOUTH 117.05 FEET

ORDINANCE 2013-034
EXHIBIT A
THE OAKS OF VERNON HILLS

TO THE PLACE OF BEGINNING, SAID EXCEPTION PARCEL ALTERNATIVELY BEING DESCRIBED AS LOTS 1 AND 2 IN WOODED ACRES SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 27, 1956 AS DOCUMENT 928553), IN LAKE COUNTY, ILLINOIS.

PARCEL 4: THAT PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS LYING NORTH OF THE NORTH LINE OF THE FOLLOWING DESCRIBED TRACT: COMMENCING AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION; THENCE WEST 15.71 CHAINS, MORE OR LESS, TO THE SOUTHEAST CORNER OF PREMISES CONVEYED BY JOSEPH PIKE BY DEED RECORDED MARCH 13, 1866, IN BOOK 40 OF DEEDS, PAGE 254; THENCE NORTH ALONG THE EAST LINE OF PREMISES CONVEYED TO JOSEPH PIKE, 5.26 CHAINS; THENCE EAST 5.71 CHAINS, MORE OR LESS, TO A POINT 10 CHAINS WEST OF THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE SOUTH 26 LINKS; THENCE EAST 10 CHAINS TO THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE SOUTH 5 CHAINS TO THE PLACE OF BEGINNING AND LYING SOUTH OF THE SOUTH LINE AND EAST AND WEST OF THE WEST AND EAST LINES EXTENDED SOUTHERLY, RESPECTIVELY, OF LOTS 133 IN THE CORPORATE WOODS, BEING A SUBDIVISION OF PARTS OF SECTIONS 9, 10, 15 AND 16, TOWNSHIP AND RANGE AFORESAID, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1986 AS DOCUMENT 2468419, AND ALSO RECORDED OCTOBER 22, 1986 AS DOCUMENT 2496355, IN LAKE COUNTY, ILLINOIS.

PARCEL 5: LOTS 1 AND 2 IN WOODED ACRES, BEING A SUBDIVISION IN SECTION 16, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED OCTOBER 27, 1956 AS DOCUMENT NUMBER 928553 IN BOOK 1493 OF RECORDS, PAGE 458, IN LAKE COUNTY, ILLINOIS.

PARCEL 6: THAT PART OF LOT 13 IN SCHOOL TRUSTEES' SUBDIVISION OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTH LINE OF U.S. ROUTE 45, EXCEPT THE WEST 33 FEET OF LOT 13, (S.A.R. 22-SEC. 49, ACCORDING TO THE PLAT THEROF, RECORDED SEPTEMBER 1, 1932 AS DOCUMENT NUMBER 384242) IN LAKE COUNTY, ILLINOIS.

Prepared by:
Manhard Consulting, Ltd.
2050 S Finley Road
Vernon Hills IL, 60061
847.634.5550

Exhibit B

Legal Description for Lots 1 and 2 in The Oaks of Vernon Subdivision

Lot 1 is rezoned to B-1

Lot 2 is rezoned to R-7 PUD

LOT 1 IN PROPOSED THE OAKS OF VERNON HILLS, ILLINOIS

THAT PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE EAST LINE OF THE WEST 33.00 FEET OF LOT 13 IN SCHOOL TRUSTEE'S SUBDIVISION OF SAID SECTION 16 AND NORTH LINE OF U.S. ROUTE 45 ACCORDING TO THE PLAT RECORDED SEPTEMBER 1, 1932 AS DOCUMENT NUMBER 384242, SAID LINE ALSO BEING 40.00 FEET NORTHEASTERLY OF AND PARALLEL WITH THE CENTERLINE OF U.S. ROUTE 45; THENCE NORTH 00 DEGREES 01 MINUTES 29 SECONDS EAST, ALONG SAID EAST LINE, 29.45 FEET TO A LINE THAT IS 65.00 FEET NORTHEASTERLY OF AND PARALLEL WITH THE CENTERLINE OF U.S. ROUTE 45 AND THE POINT OF BEGINNING;

THENCE NORTH 00 DEGREES 01 MINUTES 29 SECONDS EAST, CONTINUING ALONG SAID EAST LINE, 13.73 FEET TO A CORNER OF LOT 107 IN THE CORPORATE WOODS SUBDIVISION RECORDED AUGUST 5, 1986 AS DOCUMENT NUMBER 2468419 AND RE-RECORDED OCTOBER 22, 1986 AS DOCUMENT NUMBER 2496355; THENCE SOUTH 89 DEGREES 49 MINUTES 37 SECONDS EAST, ALONG THE SOUTH LINE OF SAID LOT AND ITS EASTERLY EXTENSION, 637.03 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 23 SECONDS WEST, 223.26 FEET; THENCE SOUTH 07 DEGREES 34 MINUTES 52 SECONDS WEST, 92.66 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY, 12.74 FEET, ALONG A CURVE TANGENT TO THE LAST DESCRIBED COURSE, CONCAVE WESTERLY, HAVING A RADIUS OF 30.00 FEET, A CHORD BEARING OF SOUTH 19 DEGREES 45 MINUTES 02 SECONDS WEST AND A CHORD DISTANCE OF 12.65 FEET TO A POINT OF TANGENCY; THENCE SOUTH 31 DEGREES 55 MINUTES 13 SECONDS WEST, 60.20 FEET TO A LINE THAT IS 65.00 FEET NORTHEASTERLY OF AND PARALLEL WITH THE CENTERLINE OF U.S. ROUTE 45; THENCE NORTH 58 DEGREES 04 MINUTES 47 SECONDS WEST, ALONG SAID PARALLEL LINE, 692.79 FEET TO THE POINT OF BEGINNING.

June 17, 2013

LOT 2 IN PROPOSED THE OAKS OF VERNON HILLS, ILLINOIS

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 9, THE NORTHWEST QUARTER OF SECTION 15 AND THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE EAST LINE OF THE WEST 33.00 FEET OF LOT 13 IN SCHOOL TRUSTEE'S SUBDIVISION OF SAID SECTION 16 AND NORTH LINE OF U.S. ROUTE 45 ACCORDING TO THE PLAT RECORDED SEPTEMBER 1, 1932 AS DOCUMENT NUMBER 384242, SAID LINE ALSO BEING 40.00 FEET NORTHEASTERLY OF AND PARALLEL WITH THE CENTERLINE OF U.S. ROUTE 45; THENCE NORTH 00 DEGREES 01 MINUTES 29 SECONDS EAST, ALONG SAID EAST LINE, 29.45 FEET TO A LINE 65.00 FEET NORTHEASTERLY OF AND PARALLEL WITH THE CENTERLINE OF U.S. ROUTE 45; THENCE SOUTH 58 DEGREES 04 MINUTES 47 SECONDS EAST, ALONG SAID PARALLEL LINE, 692.79 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 31 DEGREES 55 MINUTES 13 SECONDS EAST, 60.20 FEET TO A POINT OF CURVATURE; THENCE NORTHERLY, 12.74 FEET, ALONG A CURVE TANGENT TO THE LAST DESCRIBED COURSE, CONCAVE WESTERLY, HAVING A RADIUS OF 30.00 FEET, A CHORD BEARING OF NORTH 19 DEGREES 45 MINUTES 02 SECONDS EAST AND A CHORD DISTANCE OF 12.65 FEET TO A POINT OF TANGENCY; THENCE NORTH 07 DEGREES 34 MINUTES 52 SECONDS EAST, 92.66 FEET; THENCE NORTH 00 DEGREES 10 MINUTES 23 SECONDS EAST, 223.26 FEET TO THE EASTERLY EXTENSION OF THE SOUTH LINE OF LOT 107 IN THE CORPORATE WOODS SUBDIVISION RECORDED AUGUST 5, 1986 AS DOCUMENT NUMBER 2468419 AND RE-RECORDED OCTOBER 22, 1986 AS DOCUMENT NUMBER 2496355; THENCE NORTH 89 DEGREES 49 MINUTES 37 SECONDS WEST, ALONG EASTERLY EXTENSION OF SAID SOUTHERLY LINE, 6.00 FEET TO THE SOUTHEAST CORNER OF SAID LOT; THENCE NORTH 00 DEGREES 00 MINUTES 37 SECONDS EAST, ALONG THE EAST LINE OF SAID LOT, 661.02 FEET TO THE NORTHEAST CORNER OF SAID LOT; THENCE NORTH 89 DEGREES 41 MINUTES 26 SECONDS WEST, ALONG THE NORTH LINE OF SAID LOT, 373.01 FEET TO THE SOUTHEAST CORNER OF LOT 108 IN SAID CORPORATE WOODS SUBDIVISION; THENCE NORTH 00 DEGREES 10 MINUTES 41 SECONDS EAST, ALONG THE EAST LINE OF SAID LOT, 367.15 FEET (RECORD DISTANCE OF 5.26 CHAINS) TO THE SOUTHWEST CORNER OF LOT 133 IN SAID CORPORATE WOODS SUBDIVISION; THENCE SOUTH 89 DEGREES 41 MINUTES 26 SECONDS EAST, ALONG THE SOUTH LINE OF SAID LOT, 376.86 FEET TO THE SOUTHEAST CORNER OF SAID LOT; THENCE SOUTH 00 DEGREES 10 MINUTES 41 SECONDS WEST, ALONG THE WEST LINE OF LOT 134 IN SAID CORPORATE WOODS SUBDIVISION, 36.81 FEET TO THE SOUTHWEST CORNER OF SAID LOT; THENCE SOUTH 89 DEGREES 41 MINUTES 26 SECONDS EAST, ALONG THE SOUTH LINE OF SAID LOT AND ADJACENT UNSUBDIVIDED LAND, 660.00 FEET (RECORD DISTANCE OF 10 CHAINS) TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9; THENCE

June 17, 2013

LOT 2 IN PROPOSED THE OAKS OF VERNON HILLS, ILLINOIS

SOUTH 00 DEGREES 10 MINUTES 41 SECONDS WEST, ALONG SAID EAST LINE, 330.34 FEET (RECORD DISTANCE OF 5 CHAINS) TO THE NORTHWEST CORNER OF LOT 206 IN SAID CORPORATE WOODS SUBDIVISION; THENCE SOUTH 00 DEGREES 00 MINUTES 15 SECONDS EAST, ALONG A WEST LINE OF SAID CORPORATE WOODS SUBDIVISION AND CORPORATE WOODS 6TH RESUBDIVISION, 1322.12 FEET TO THE SOUTHWEST CORNER OF LOT 2 IN SAID CORPORATE WOODS 6TH RESUBDIVISION; THENCE SOUTH 58 DEGREES 03 MINUTES 57 SECONDS EAST, ALONG THE SOUTHWEST LINE OF SAID CORPORATE WOODS 6TH RESUBDIVISION, 187.50 FEET (RECORD DISTANCE OF 11 RODS AND 6 FEET) TO A CORNER; THENCE SOUTH 00 DEGREES 00 MINUTES 15 SECONDS EAST, ALONG THE WEST LINE OF SAID LOT, 153.85 FEET TO A LINE 65.00 FEET NORTHEASTERLY OF AND PARALLEL WITH THE CENTERLINE OF U.S. ROUTE 45; THENCE NORTH 58 DEGREES 04 MINUTES 47 SECONDS WEST, ALONG SAID PARALLEL LINE, 1020.51 FEET TO THE POINT OF BEGINNING.

June 17, 2013

Exhibit C

Plans

Exhibit D

Terms and Conditions of Approval

Conditions of Approval

General Compliance with the following plans:

- Building Character Elevations for the apartment buildings, row homes and Clubhouse (Color Scheme D) prepared by BSB Design with plan dates of 5/7/13 and consisting of 8 pages.
- Building Character Elevations for the apartment buildings, row homes and Clubhouse (Color Scheme **BLUE**) prepared by BSB Design with plan dates of 6/3/13 and consisting of 5 pages.
- Master Signage – Wayfinding System plan prepared by The Lakota Group, Inc with a date of 5/15/13 and consisting of two (2) pages (master plan and monument signs)
- Site Dimensional & Paving Plans prepared by Manhard Consulting, Ltd with a revised date of 5/7/13 and consisting of 9 pages. (Pages 5 of 50 thru 12 of 50)
- Final Plat of Subdivision – The Oaks of Vernon prepared by Manhard Consulting, Ltd with a revised date of 5/7/13 and consisting of 4 pages.
- Final Landscaping Plans prepared by The Lakota Group, Inc with a revised date of 5/15/13 and consisting of pages L1-00 thru L41-00. These plans include Overall Landscape Plans, Apartment Building Plans, Rowhome plans, Clubhouse Landscape Plan, Details and General Notes.
- Tree Preservation Plan prepared by The Lakota Group, Inc with a revised date of 5/15/13 and consisting of pages TP-01 thru TP-08.
- Final Improvement Plans prepared by Manhard Consulting, Ltd with a revised date of 5/7/13 and consisting of 50 pages.
- Proposed Route 45 Improvement Plans for the Oaks of Vernon Hills Development prepared by Manhard Consulting, Ltd with a date of 3/11/13 and consisting of 18 pages – These Plans are subject to IDOT Approval.

Variations - The following variations are approved

- To allow the drive aisles and parking lots in PODS A, B and D, the minimum setback shall be consistent with plan sheet 5 of 14 (Site Plan-North) prepared by Manhard Consulting Ltd with a revised date of 11/8/12. The drive aisles in PODS A, B and D may encroach into the required 30' peripheral yard with the minimum setback dimension of 20'.
- The trash enclosure in POD A shall be a minimum of 5 feet from the property line instead of 30 feet and shall not be located within any public utility easement. The enclosure walls shall be made of masonry materials consistent with the adjacent residential units.
- For the Multi-Family buildings, 41.5' setback for Building #7 instead of 48'.
- To allow the horizontal distance between the following Row-Home buildings to have less than the minimum required 36' setback: 1) Spacing between buildings

13 & 14 is approved at 30'; 2) Spacing between buildings 14 & 15 is approved at 21.2'; 3) Spacing between buildings 15 & 16 is approved at 28.4 feet; and 4) Spacing between buildings 16 & 17 is approved at 30 feet.

- To allow the horizontal distance between the following Multi-Family buildings to have less than the minimum required 48' setback: 1) Spacing between buildings 1 & 2 is approved at 46.1'; 2) Spacing between buildings 4 & 5 is approved at 46.2'; 3) Spacing between buildings 5 & 6 is approved at 44.5'; and 4) Spacing between buildings 7 & 8 is approved at 41.5'.
- The following minimum sizes for dwelling units shall be permitted:

Code Requirement	Multi-Family	Row-Homes
1-Bd. Rm. 1200 sq. ft.	692 sq. ft.	Not Proposed
2-Bd. Rm. 1400 sq. ft.	1,189 sq. ft.	1,487 sq. ft.
3-Bd. Rm. 1600 sq. ft.	Not Proposed	1,800 sq. ft.

Variations - The following Building Code variations are approved:

1. To allow multi-family buildings to be constructed of type VA construction in accordance with the 2012 International Building Code and the Vernon Hills Building Code.
2. To provide relief so as not to require dwelling unit wall separation assemblies in row-home buildings to be of masonry or noncombustible construction. The separation assemblies shall have a minimum 2-hr. fire rating in accordance with the 2012 International Building Code and the Vernon Hills Building Code.
3. To provide relief so as not to require dwelling unit wall separation assemblies in multi-family buildings to be of masonry or noncombustible construction. The separation assemblies shall have a minimum 2-hr. fire rating in accordance with the 2012 International Building Code and the Vernon Hills Building Code.
4. To provide relief so as not to require dwelling unit floor/ceiling separation assemblies in multi-family buildings to be of masonry or noncombustible construction. The separation assemblies shall have a minimum 2-hr. fire rating in accordance with the 2012 International Building Code and the Vernon Hills Building Code.
5. To allow PVC piping for drain, waste and vent plumbing systems in buildings that are greater than 2 stories in height.

Conditions of Approval for the entire Site:

1. Compliance with the Conditions of Approval as set forth in Ordinance 2013-002 except as otherwise set forth herein.
2. Final approval of plans by the Village Engineer and Landscape Architect prior to issuance of a building permit.
3. Compliance with the Village's Street Lighting Poles standards and related exhibits.

4. Compliance with the wall-pack Features & Specifications sheets from Lithonia Lighting or comparable, being TWR2C and TWR2, TWAC. Each light shall provide adjustable cutoff visors. The developer shall work with the Building Commissioner to limit the glare from these units on adjacent buildings.
5. Developer contributions shall be made to School Districts 125 & 103, Vernon Hills Park District and Lincolnshire-Riverwoods Fire Protection District as follows:

Park District:.....	\$1,211,667.96
Elementary School District 103:.....	\$184,051.76
High School District 125:.....	\$28,775.50
Fire Protection District:.....	\$73,449.90

The numbers above are grand total for the entire development. Per Village Ordinance, fees will be collected upon issuance of individual building permits for individual buildings except as otherwise agreed to with the Fire Protection District.

6. The Building Commissioner review and approve the exterior fixtures prior is issuance of a building permit for the buildings.
7. The additional parking shown on Pages 11 of 50 and 11A of 50 shall be set aside and not constructed (landbanked) until such time as it can be determined if additional parking is needed. If the Village determines that a lack of sufficient parking exists on the site, the Village may direct the developer or property owner to immediately construct the parking as shown. Failure to construct the parking within an agreed upon period of time may result in the Village taking legal action against the developer and/or owner to compel the construction of the lot.
8. The property owner/petitioner/Kinzie shall include in the rental documents a rider to all leases for residential units within buildings 5, 6, 13 through 17. The rider which shall be executed at the time the lease is executed shall describe the operations of ZF Industries, including the 24 hour nature of the operations including truck deliveries. A copy of the letter will be provided to the Village prior to issuance of the final certificate of occupancy.
9. For the monument signs, the sign bases shall be masonry stone (Chilton Type A or similar).
10. For the Eastern Access, language shall be created to insure that the Lot 215 and access to Forest Edge Drive shall remain a portion of the residential development in perpetuity so that the access drive cannot be permanently closed and sold off which will terminate its use as access to the The Oaks residential project.
11. For the new Scheme "Blue", the petitioner will provide a color schedule for all buildings for review by the Village.
12. The Village Attorney shall review and approve the REA Documents for the project and maintenance and conservation language for the preservation area prior to recordation of the Plat of Subdivision.
13. All signage shall comply with the Village's sign ordinance, being Chapter 19 of the Code of Ordinances.

14. The Petitioner/Co-Developer shall provide the eastern access from the subject property to Forest Edge Drive.
15. All building materials within the "The Oaks of Vernon Hills" property shall comply with the materials samples information prepared by Petitioner/Co-Developer and BSB. The petitioner will provide a material sample board to the Village prior to final approval by the Village Board.
16. Prior to issuance of permits for the development, the petitioner shall provide cut-sheet details for each of the lights to be used in the roads, parking lots and common open space areas within Lot 2. The lighting shall comply with Village standards.
17. Use of "wall-pack" type lighting shall be limited throughout the entire project. The petitioner will provide cut-sheet details for exterior lighting fixtures on each building.
18. The Tree Location Survey shall be used as the basis for a tree preservation plan. This plan will include protective fencing to be installed and approved by the Village on Lot 3 prior to the start of construction. The protective fence shall be maintained during all phases of construction on each lot. Failure to maintain said fence may result in a Stop Work and related fine being issued. No storage of any building materials, vehicles or equipment which could cause damage or injury to the trees is permitted within Lot 3.
19. The REA Document shall specify that the tree preservation area located on Lot 3 at the entrance of the development shall be maintained using good forestry practices.
20. The roads (including the eastern access road from the subject property to Forest Edge Drive) and parking lots throughout the property shall be considered privately-owned. These private roads and drive isles within the parking lots shall be built to public road standards as set forth in the Development Ordinance, being Appendix B of the Code of Ordinances.
21. The Developer shall provide an emergency access connection, paved and gated as may be required by the Lincolnshire-Riverwoods Fire Protection District which shall be provided from the northwest corner of the property (POD A) to the adjacent property to the north, being 777 Hickory Hills Drive and owned by Corporate Woods Associates, LLC. The existing building is currently occupied by ZF Industries.
22. For that portion of the Route 45 road frontage extending across the entire property, the road improvements shall be built to an "Urban" cross-section as defined by IDOT requiring the use of curb and gutter throughout these improvements. IDOT approvals shall be required for Route 45 improvements. Horizontal and vertical site distances at the entrance off Route 45 shall be analyzed and approved by IDOT and the Village.
23. Prior to final approval of the improvement plans by the Village Engineer, the petitioner must provide a letter from IDOT which approves the detention pond setbacks from Route 45.

24. Consistent with the previous approvals granted to Hamilton Partners, a six (6) foot bounce for detention basins may be used instead of a maximum of four (4) feet as set forth in the Development Ordinance.
25. The proposed bike path located at the southeast corner of the property adjacent to Detention Basin A and the east property line shall be elevated to meet the existing Route 45 shoulder. Pursuant to the review and approval of the Village engineer, this may require the placement of a drainage structure under the path.
26. The landscape plan shall be updated to comply with the Memorandum from Tom Brettmann to David Brown entitled The Oaks of Vernon Hills Landscape Plan Technical Review (2nd) dated December 3, 2012.
27. For all roads and access driveways within the development, the turning radii shall accommodate a 55' turning radius for the Fire Department's ladder truck.
28. All sump pumps and downspouts shall be connected directly to storm sewers.
29. All plumbing stacks and vents ducts shall be earth-tone or black in color, said color shall be approved prior to issuance of a building permit.
30. For Lot 1, being the proposed Commercial lot, for any proposed building(s) for this lot, the Planning & Zoning Commission and Village Board shall review and approve all site, landscaping and architectural plans for each building. Said designs shall be architecturally consistent with the overall designs of the buildings throughout the remainder of the property. As a part of the technical review for this lot, the developer or lot owner shall provide a traffic impact study for any future use.
31. Compliance with all ordinance and standards of the Village except as otherwise noted herein.
32. Petitioner is hereby encouraged to work with Vernon Hills building supply stores and to shop locally.
33. Petitioner shall work with Staff and developer to limit the construction impact on local residents.
34. The Village and Petitioner/Co-Developers shall work together to address the following:
 - (1) Maintaining this project in single ownership by one entity. It is a luxury rental apartment complex and we do not want separate owners of separate apartment buildings and individual row-style townhomes. We recognize that the future commercial parcel shall be excluded from this ownership provision but shall be included in the shared maintenance costs for the private improvements, including but not limited to the detention ponds, private roads and shared access onto Route 45.
 - (2) The Village recognizes that there might be a desire to convert all or a portion of this project to condominiums. In that event, we further recognize there will be multiple owners across portions of the property. The Village wants the ability to approve a conversion before it could occur to insure the proper association documents and related standards are in place. This will likely include creation of an umbrella condominium association or similar association to insure that the entire site is maintained to the same standard.

- (3) The Petitioner and/or Co-Developer (Kinzie Real Estate Group) shall prepare the required documents for review and approval by the Village Attorney and Village Board prior to any considerations for final approval by the Village. The document(s) will be in the form agreed upon by both parties and shall satisfy the concerns listed above.
35. Subject to Village Board final approval of this application of the zoning and planned development pursuant to this application, Ordinance 2009-039 which granted to Hamilton Partners, Inc the existing zoning and PUD shall become null and void.
36. The petitioner and co-developer will enhance and modify the proposed landscape plan to provide an enhanced buffer along portions of the north property line by taking the following steps:
 - a. Installation an eight (8) foot tall cedar stockade fence along the northern property line in lieu of the previously proposed six (6) foot chain link fence to block headlights and to reflect sound.
 - b. Increase the number and size of deciduous trees (6-8" in caliber) along the north property line of the subject property to increase the height and density of the tree canopy separating the uses.
 - c. Fill in the gaps between the larger deciduous trees (typically 14 -16 feet) with conifers that over time will provide year round visual buffer.
 - d. The landscape plan shall be amended to include the larger deciduous trees. This will require the reposition and/or addition to the quantity of conifers to address the ZF Industries concerns, which focused on Building 17 and the north end of Building 5.
 - e. The petitioner and co-developer will preserve as much of the existing vegetation as practical, including certain stands of buckthorn, which presently provide a dense landscape buffer. The petitioner and co-developer's landscape plan will be amended to eradicate the buckthorn over a period of time as the newly planted material grows in to fill the gaps.
 - f. Field verify with the Village Landscape Tech all tree removals prior to removal.
 - g. Field verify with the Village Landscape Tech the placement of new plant material to ensure trees are located where they will do the most to minimize any potential conflict between potential uses. This should prior to or during installation of said plant materials.

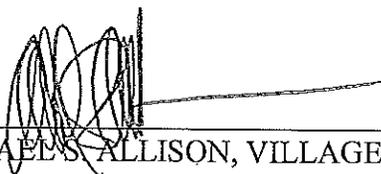
Exhibit E

Map identifying PODs A thru E

AFFIDAVIT OF SERVICE

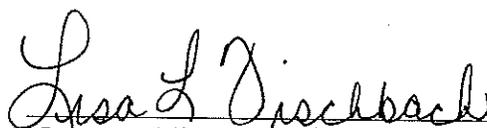
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, MICHAEL S. ALLISON, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2013-034 AN ORDINANCE GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS THE OAKS OF VERNON HILLS, A PLANNED UNIT DEVELOPMENT LOCATED ON THE NORTH SIDE OF ROUTE 45 BETWEEN CORPORATE WOODS AND WOODLANDS PARKWAYS, IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM JUNE 7, 2013 TO JUNE 17, 2013.

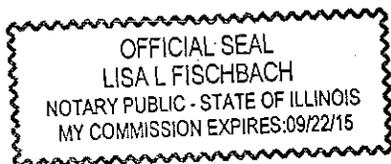


MICHAEL S. ALLISON, VILLAGE CLERK

SUBSCRIBED AND SWORN TO
BEFORE ME THIS 7th DAY OF JUNE
2013.



Notary Public



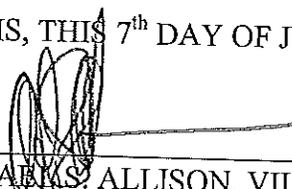
STATE OF ILLINOIS)
)
COUNTY OF LAKE)

CERTIFICATE

I, MICHAEL S. ALLISON, CERTIFY THAT I AM THE DULY APPOINTED VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS. I FURTHER CERTIFY THAT ON JUNE 4, 2013, THE CORPORATE AUTHORITIES OF SUCH MUNICIPALITY PASSED AND APPROVED ORDINANCE 2013-034, AN ORDINANCE GRANTING CERTAIN APPROVALS FOR PROPERTY COMMONLY KNOWN AS THE OAKS OF VERNON HILLS, A PLANNED UNIT DEVELOPMENT LOCATED ON THE NORTH SIDE OF ROUTE 45 BETWEEN CORPORATE WOODS AND WOODLANDS PARKWAYS, IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE PAMPHLET FOR ORDINANCE NO. 2013-034, INCLUDING THE ORDINANCE AND A COVER SHEET THEREOF WAS PREPARED, AND A COPY OF SUCH ORDINANCE WAS POSTED IN THE VILLAGE HALL, COMMENCING JUNE 7, 2013 AND CONTINUING FOR AT LEAST TEN DAYS THEREAFTER. COPIES OF SUCH ORDINANCE WERE ALSO AVAILABLE FOR PUBLIC INSPECTION UPON REQUEST IN THE OFFICE OF THE VILLAGE CLERK.

DATED IN VERNON HILLS, ILLINOIS, THIS 7th DAY OF JUNE, 2013


MICHAEL S. ALLISON, VILLAGE CLERK

SEAL





Front Elevation

scale: 3/16" = 1'-0"



Left Elevation

scale: 3/16" = 1'-0"

Character Elevation

ORDINANCE 2013-034 EXHIBIT C-1 Building Character Elevations for the apartment buildings, row homes and Clubhouse (Color Scheme D) prepared by BSB Design with plan dates of 5/7/13 and consisting of 8 pages

RECEIVED

MAY 07 2013

COMMUNITY DEVELOPMENT DEPARTMENT

KINZIE
REAL ESTATE GROUP

212 West Kinzie Street
5th Floor
Chicago, IL 606054
312-464-8800

bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

Oaks of Vernon Hills MF
Vernon Hills, IL



05-07-2013
© 2012 BSB Design, Inc.



Rear Elevation

scale: 3/16" = 1'-0"



Right Elevation

scale: 3/16" = 1'-0"

Character Elevation

KINZIE
REAL ESTATE GROUP

212 West Kinzie Street
5th Floor
Chicago, IL 606054
312-464-8800

bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

Oaks of Vernon Hills MF
Vernon Hills, IL



05-07-2013



Clubhouse Front Elevation - West
 scale: 3/16" = 1'-0"

Character Elevation

Please refer to the Revised Clubhouse elevations dated 4-15-13 for the current exterior design

Oaks of Vernon Hills MF
 Vernon Hills, IL



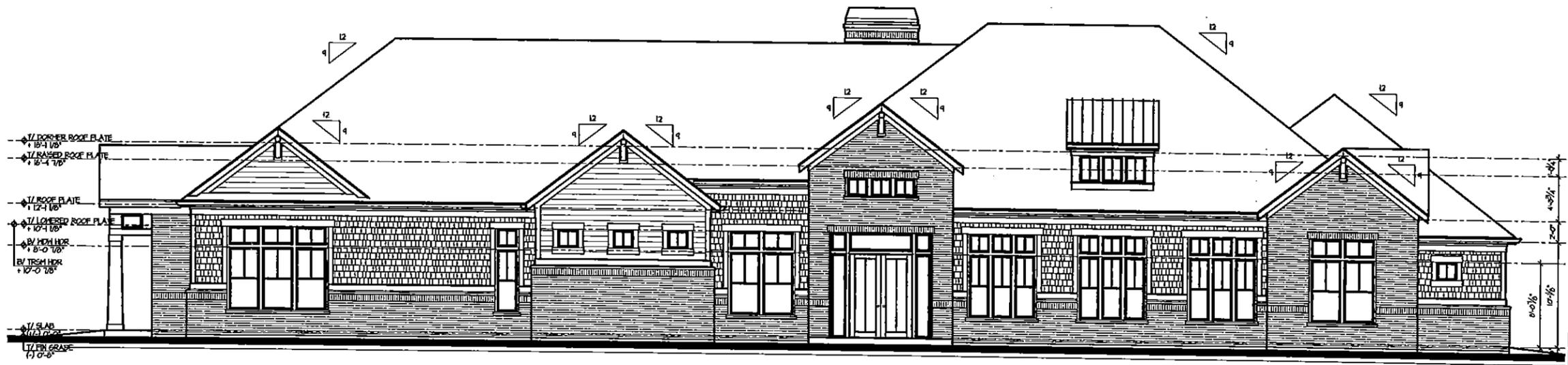
05-07-2013
 © 2012 BSB Design, Inc.

KINZIE
 REAL ESTATE GROUP

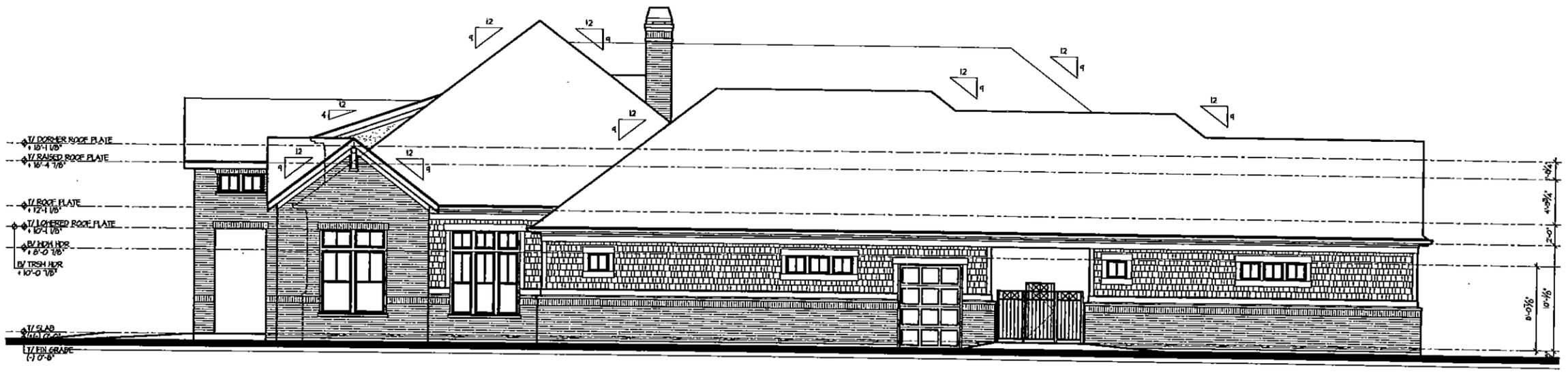
212 West Kinzie Street
 5th Floor
 Chicago, IL 60604
 312-464-8800

bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)



Clubhouse
Front Elevation
 ① SCALE: 3/16"=1'-0"



Clubhouse
Right Elevation
 ② SCALE: 3/16"=1'-0"

ELEVATION NOTES
 (NOTE ELEVATIONS, GLIB)

1. PROVIDE DRIP CAPS AT ALL HATCH AND DOOR HEADS.
2. REFER TO FLOOR PLANS AND SCHEDULES FOR DOOR AND HATCH SIZES AND LOCATION.
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
4. MAINTAIN OPENINGS IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.
5. APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION: 4" MIN. HT. ARABIC NUMBERS OR ALPHA LETTERS, 3" MIN. STROKE WIDTH AND CONTRASTING WITH BACKGROUND.
6. ACCESSIBLE ROUTES: ADJUST FINISHED GRADING AND SLOPE HALWAYS UP TO PORCH LANDINGS AT ALL EXTERIOR COMMON ENTRIES AND ANSI TYPE-A UNITS; DIRECT ENTRY PORCHES, TYP. PROVIDE RAMPED PORCHES AT ANSI TYPE-A UNITS; DIRECT ENTRIES.
7. SEE GENERAL NOTES AND DETAILS FOR MORE INFORMATION.

ELEVATION FINISH LEGEND

- 1 FIBER CEMENT LAP SIDING
- 2 BRICK VENEER
- 3 FIBER CEMENT SHINGLE SIDING
- 4 BRACKET - PYPON RECTANG
- 5 BRACKET - HOOD, SEE DET -JAZZ-
- 6 RAISED SEAM METL ROOF
- 7 ASPHALT SHINGLE ROOF
- 8 ELECTRIC METERS
- 9 MECHANICAL VENT, SEE MEP DRAWINGS
- 10 LIGHT FIXTURE (GENERIC)

ISSUE DATE:	REVISIONS:
04/18/23	



DESIGN DEVELOPMENT SET - NOT FOR CONSTRUCTION

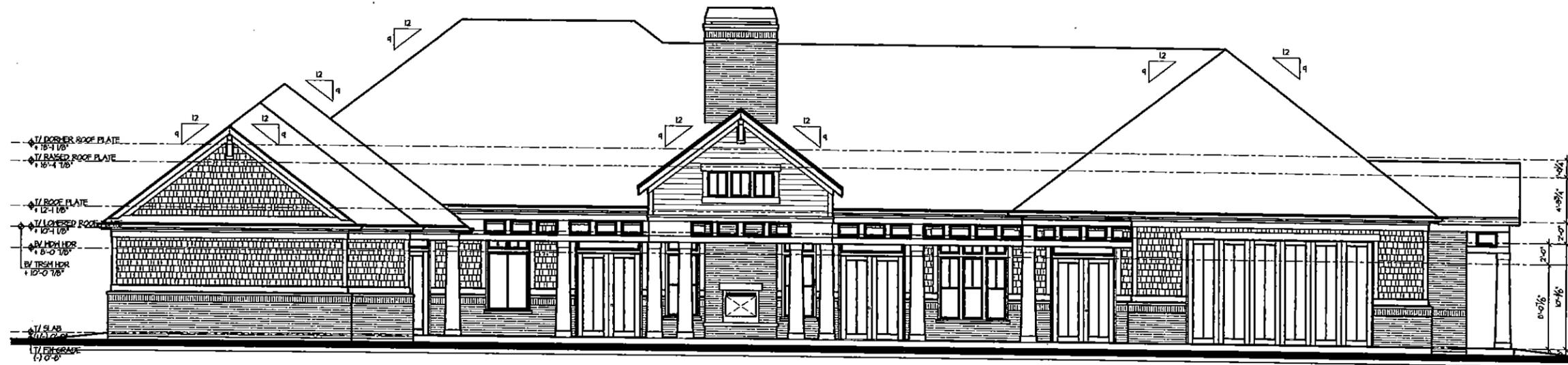
Oaks of Vernon Hills
 Apartments Townhouses and Clubhouse
 Vernon Hills, Illinois



www.bsbdesign.com
 3438 N. Knoxville Ave., Suite 100
 Arlington Heights, Illinois 60004
 847.705.2200

JOB NO: 20211058 PROJ MGR: JLE
 DRAWN: WP CHECKED: -
 FRONT & RIGHT SIDE
 EXTERIOR ELEVATIONS

CLUBHOUSE
A12.04



Clubhouse
Rear Elevation
 ① SCALE: 3/16"=1'-0"



Clubhouse
Left Elevation
 ② SCALE: 3/16"=1'-0"

ELEVATION NOTES
 (NOTE ELEVATIONS CLUB)

1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
2. REFER TO FLOOR PLANS AND SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
4. MAINTAIN OPENINGS IN ROOF GUEATHING AT OVERFRAMES TO PROVIDE VENTILATION.
5. APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION 4" MIN. HT. ARABIC NUMBERS OR ALPHA LETTERS, 5" MIN. STROKE WIDTH AND CONTRASTING WITH BACKGROUND.
6. ACCESSIBLE ROUTES. ADJUST FINISHED GRADING AND SLOPE WALKWAYS UP TO PORCH LANDINGS AT ALL EXTERIOR COMMON ENTRIES AND ANSI TYPE-A UNITS. DIRECT ENTRY PORCHES, TYP. PROVIDE RAISED PORCHES AT ANSI TYPE-A UNITS. DIRECT ENTRIES.
6. SEE GENERAL NOTES AND DETAILS FOR MORE INFORMATION.

ELEVATION FINISH LEGEND

- | | |
|----|-----------------------------------|
| 1 | FIBER CEMENT LAP SIDING |
| 2 | BRICK VENEER |
| 3 | FIBER CEMENT SHINGLE SIDING |
| 4 | BRACKET - FYPON RECTANG |
| 5 | BRACKET - HOOD, SEE DET -/A12-- |
| 6 | RAISED SEAM METL. ROOF |
| 7 | ASPHALT SHINGLE ROOF |
| 8 | ELECTRIC METERS |
| 9 | MECHANICAL VENT, SEE MEP DRAWINGS |
| 10 | LIGHT FIXTURE (GENERIC) |

ISSUE DATE: 04/19/15

NO.	REVISIONS



DESIGN DEVELOPMENT SET - NOT FOR CONSTRUCTION

Oaks of Vernon Hills
 Apartments Townhouses and Clubhouse
 Vernon Hills, Illinois



www.bsbdesign.com
 3438 N. Knoxville Ave., Suite 105
 Arlington Heights, Illinois 60004
 847.703.2200

JOB NO. 09C1105B	PROJ. MGR. RE
DRAWN: WJP	CHECKED: -
FRONT & RIGHT SIDE EXTERIOR ELEVATIONS	

CLUBHOUSE
A12.05



Front Elevation

scale: 1/8" = 1'-0"



Right Elevation

scale: 1/8" = 1'-0"

Character Elevation

KINZIE
REAL ESTATE GROUP

212 West Kinzie Street
5th Floor
Chicago, IL 606054
312-464-8800

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, and plan / floor plan changes, etc.)

Oaks of Vernon Hills MF
Vernon Hills, IL

05-07-2013
© 2012 BSB Design, Inc.



BSB
DESIGN



- Architectural Style Shingles
- Aluminum Soffits
- Decorative Pre-Fin Bracket
- Premium Vinyl Shake Siding (alt: Composite Shake Siding)
- Vinyl Windows
- Composite Siding (LP, Hardie or equivalent)
- Pre-Fin Column
- Composite Trim (LP, Hardie or equivalent)
- Wood Railings and Deck
- Cast Stone Sill
- Brick Veneer Soldier Course
- Brick Veneer

Rear Elevation

scale: 1/8" = 1'-0"



- Architectural Style Shingles
- Aluminum Soffits
- Pre-Fin Column
- Premium Vinyl Shake Siding (alt: Composite Shake Siding)
- Vinyl Windows
- Composite Siding (LP, Hardie or equivalent)
- Composite Trim (LP, Hardie or equivalent)
- Brick Veneer Soldier Course
- Cast Stone Sill
- Brick Veneer

Left Elevation

scale: 1/8" = 1'-0"

Character Elevation

KINZIE
REAL ESTATE GROUP

212 West Kinzie Street
5th Floor
Chicago, IL 606054
312-464-8800

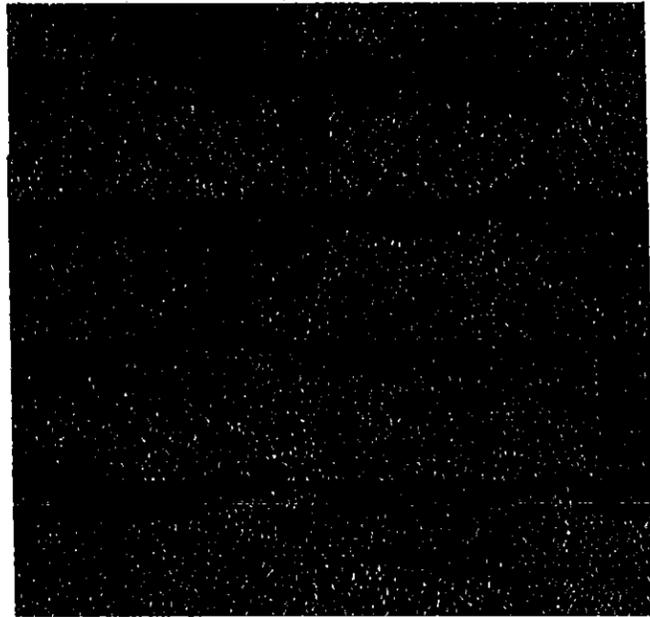
bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

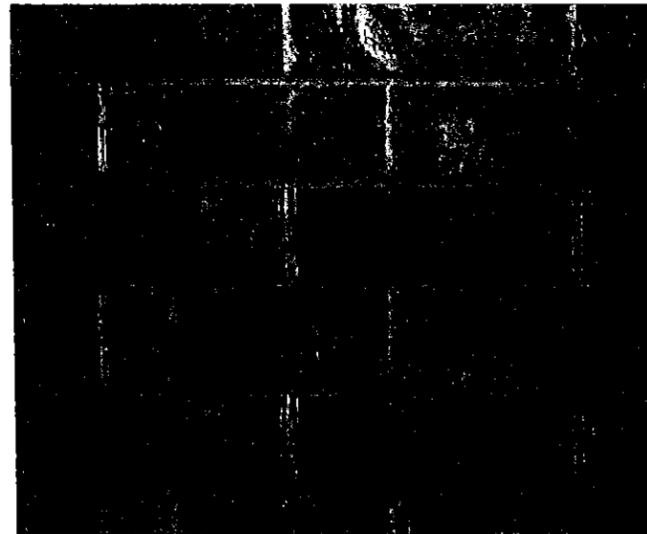
Oaks of Vernon Hills MF
Vernon Hills, IL



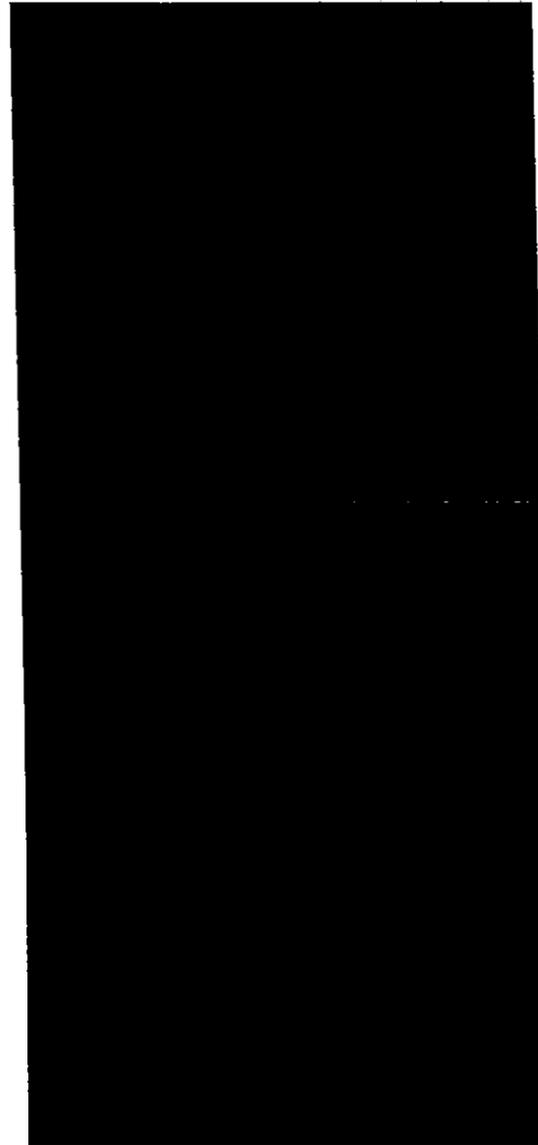
05-07-2013
© 2013 BSB Design, Inc.



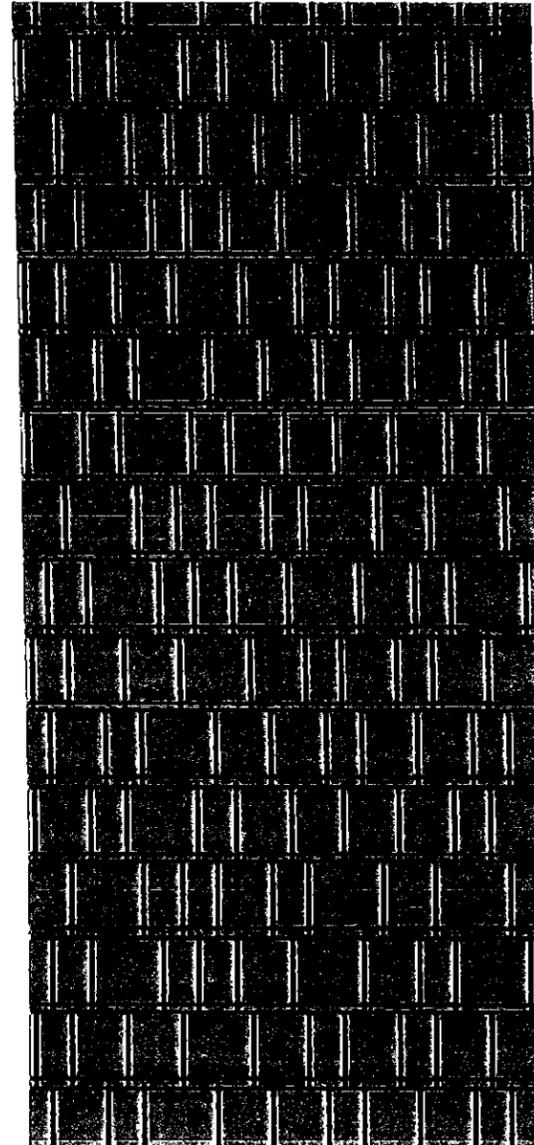
Shingles : Owens Corning Duration Shingles
"Quarry Gray"



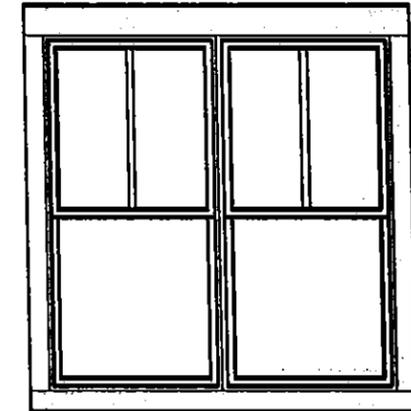
Boral Brick : "Falls Canyon"



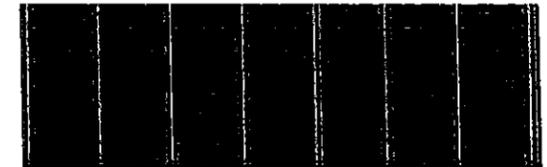
Cementitious Siding : "Evening Blue"



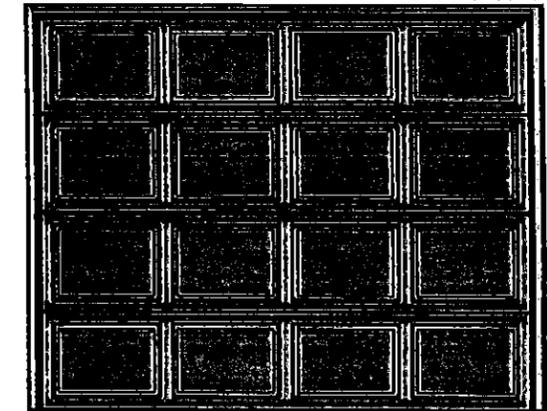
Cementitious Shake Siding : "Monterey Taupe"



Vinyl Windows: Jeld Wen "Almond"



Metal Roofing: PAC Clad "Slate Gray"



Garage Doors : "Monterey Taupe"

Cementitious Trim: "Sail Cloth"

COLOR / MATERIAL SELECTIONS

KINZIE
REAL ESTATE GROUP

212 West Kinzie Street
5th Floor
Chicago, IL 606054
312-464-8800

bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plans / floor plan changes, etc.)

Oaks of Vernon Hills MF
Vernon Hills, IL

06-03-2013
© 2012 BSB Design, Inc.



ORDINANCE 2013-034 EXHIBIT C-2 Building Character
Elevations for the apartment buildings, row homes and Clubhouse
(Color Scheme BLUE) prepared by BSB Design with plan dates
of 6/3/13 and consisting of 5 pages.



Front Elevation

scale: 1/8" = 1'-0"

- Architectural Style Shingles
- Aluminum Soffits
- Premium Vinyl Shake Siding (alt: Composite Shake Siding)
- Decorative Pre-Fin Bracket
- Vinyl Windows
- Composite Siding (LP, Hardie or equivalent)
- Pre-Fin Column
- Wood Railings and Deck
- Composite Trim (LP, Hardie or equivalent)
- Brick Veneer Soldier Course
- Cast Stone Head & Sill
- Brick Veneer



Right Elevation

scale: 1/8" = 1'-0"

- Architectural Style Shingles
- Aluminum Soffits
- Decorative Pre-Fin Bracket
- Wood Railings and Deck
- Premium Vinyl Shake Siding (alt: Composite Shake Siding)
- Vinyl Windows
- Composite Siding (LP, Hardie or equivalent)
- Composite Trim (LP, Hardie or equivalent)
- Pre-Fin Column
- Brick Veneer Soldier Course
- Cast Stone Sill
- Brick Veneer

Character Elevation

KINZIE

REAL ESTATE GROUP

212 West Kinzie Street
5th Floor
Chicago, IL 60604
312-464-8800

bbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

Oaks of Vernon Hills MF

Vernon Hills, IL

06-03-2013

© 2012 BSB Design, Inc.



BSB
DESIGN



- Architectural Style Shingles
- Aluminum Soffits
- Decorative Pre-Fin Bracket
- Premium Vinyl Shake Siding (alt: Composite Shake Siding)
- Vinyl Windows
- Composite Siding (LP, Hardie or equivalent)
- Pre-Fin Column
- Composite Trim (LP, Hardie or equivalent)
- Wood Railings and Deck
- Cast Stone Sill
- Brick Veneer Soldier Course
- Brick Veneer

Rear Elevation

scale: 1/8" = 1'-0"



- Architectural Style Shingles
- Aluminum Soffits
- Pre-Fin Column
- Premium Vinyl Shake Siding (alt: Composite Shake Siding)
- Vinyl Windows
- Composite Siding (LP, Hardie or equivalent)
- Composite Trim (LP, Hardie or equivalent)
- Brick Veneer Soldier Course
- Cast Stone Sill
- Brick Veneer

Left Elevation

scale: 1/8" = 1'-0"

Character Elevation

KINZIE
REAL ESTATE GROUP

212 West Kinzie Street
5th Floor
Chicago, IL 606054
312-464-8800

bsbdesign.com

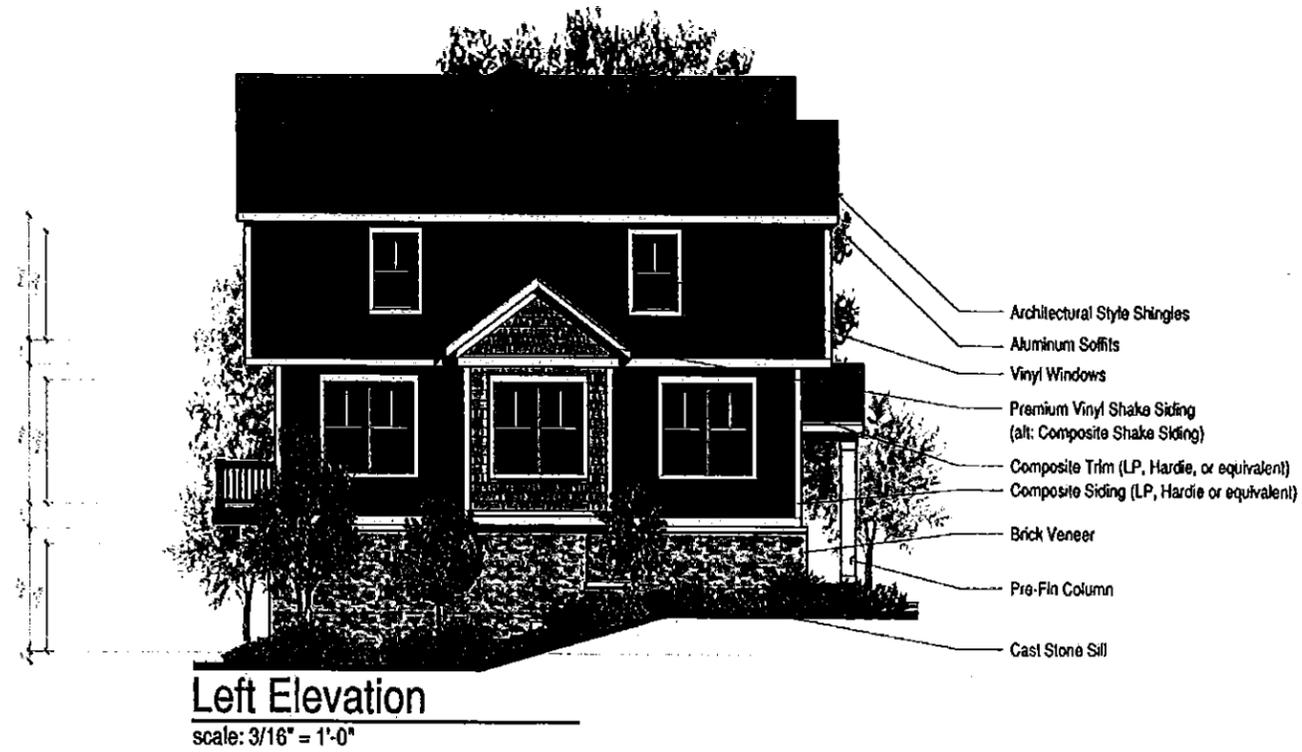
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

Oaks of Vernon Hills MF
Vernon Hills, IL



BSB
DESIGN

08-03-2013
© 2012 BSB Design, Inc.



Character Elevation



Rear Elevation

scale: 3/16" = 1'-0"



Right Elevation

scale: 3/16" = 1'-0"

Character Elevation

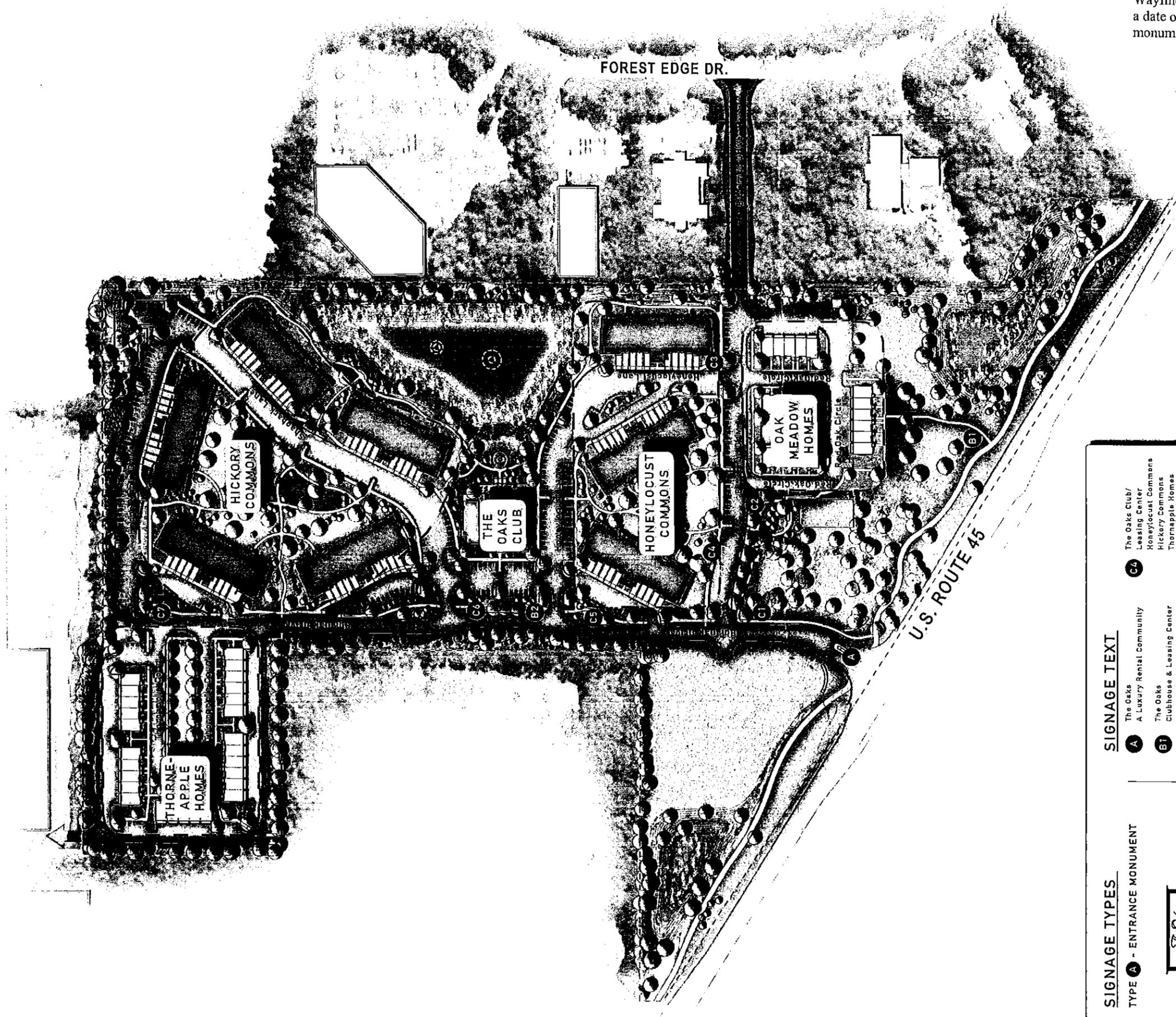
KINZIE
REAL ESTATE GROUP
212 West Kinzie Street
5th Floor
Chicago, IL 60604
312-464-8800

bsbdesign.com
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

Oaks of Vernon Hills MF
Vernon Hills, IL



06-03-2013
© 2012 BSB Design, Inc.



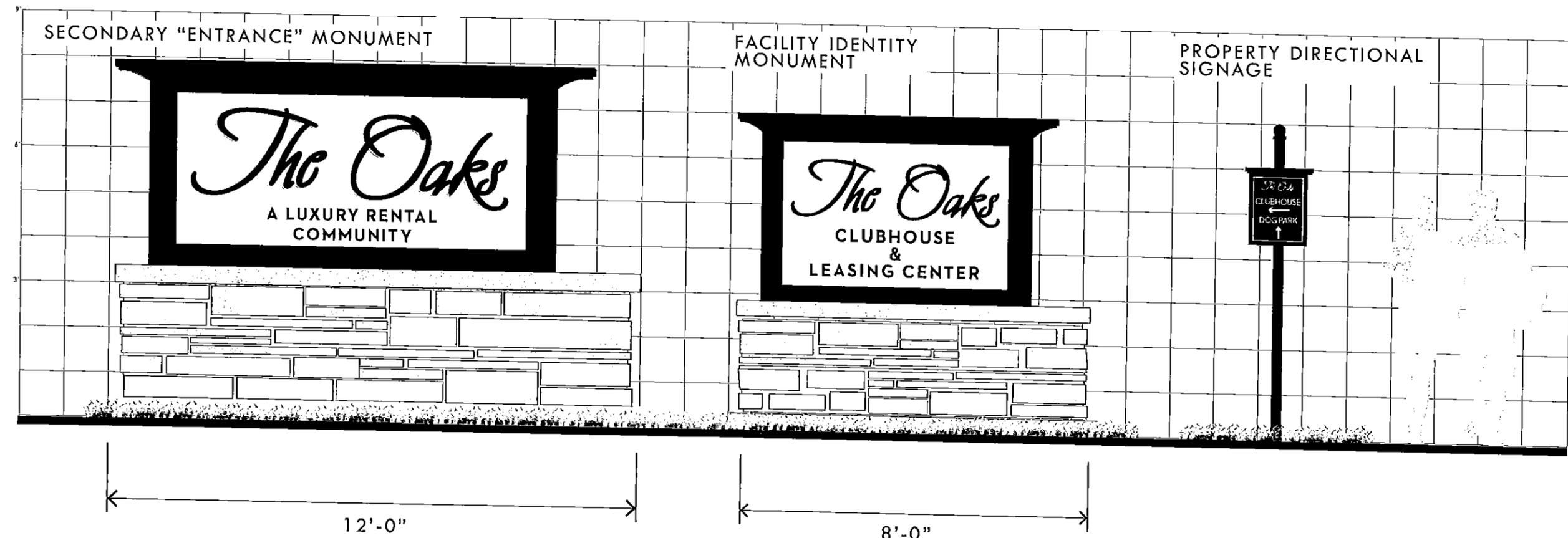
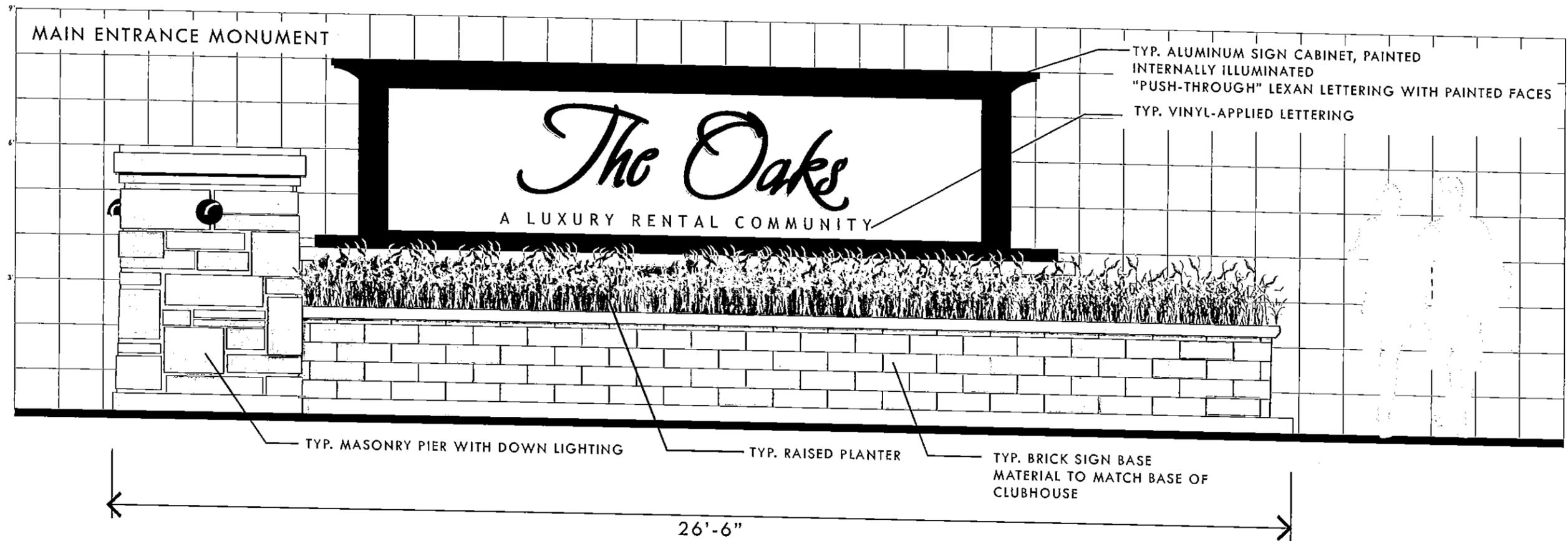
RECEIVED
MAY 07 2013
COMMUNITY DEVELOPMENT
DEPARTMENT

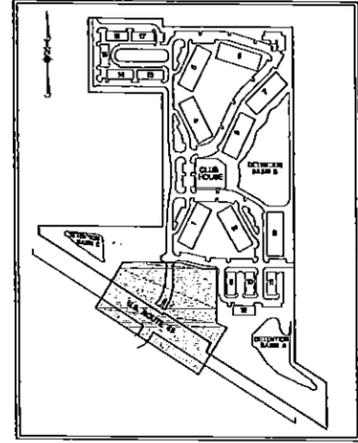
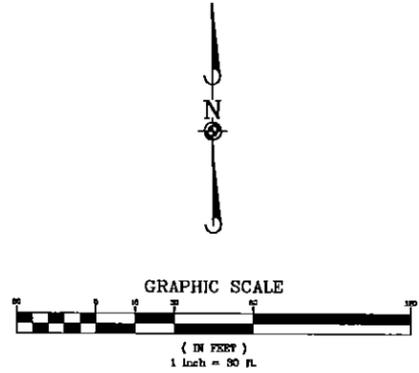
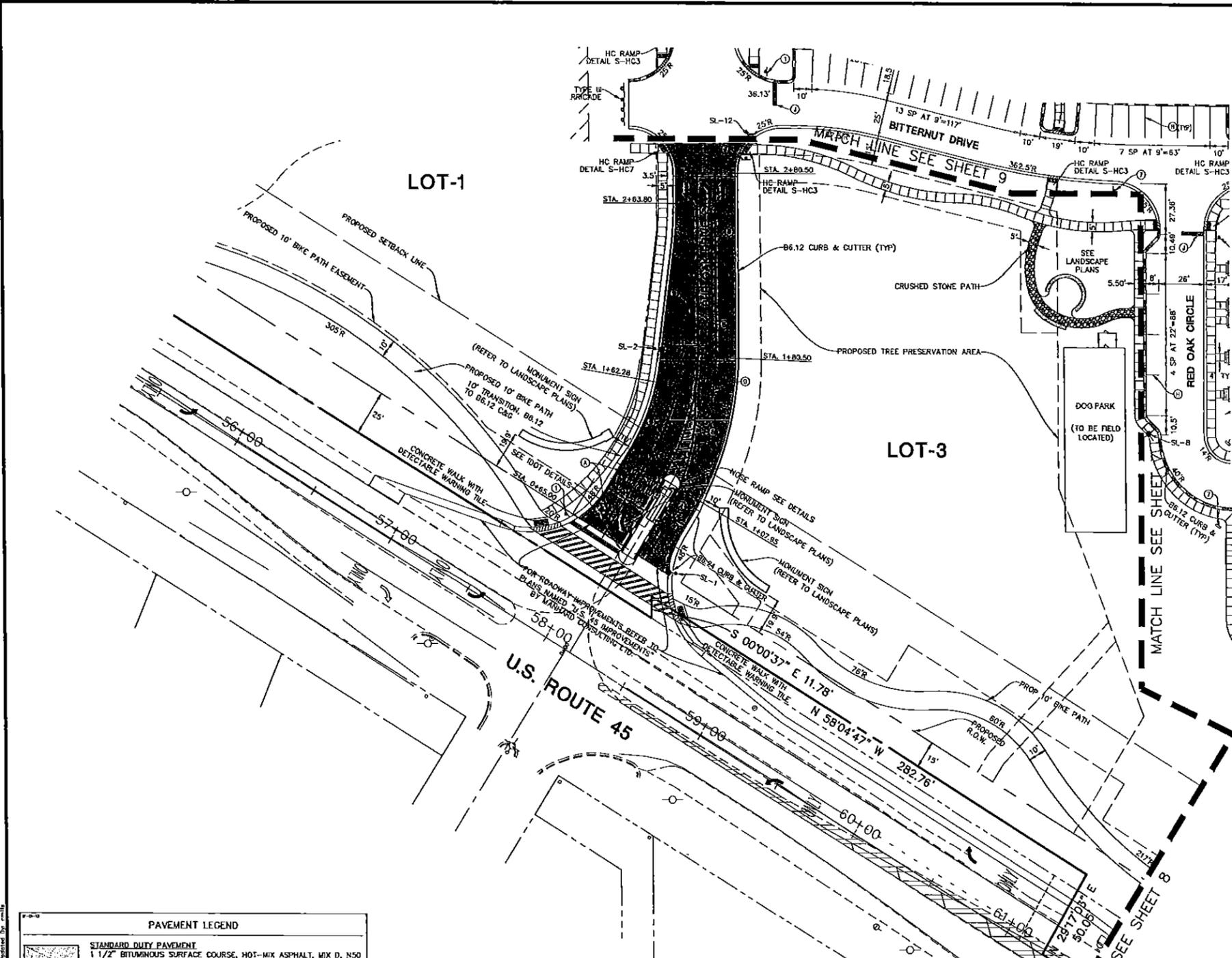
SIGNAGE TYPES	SIGNAGE TEXT
<p>TYPE A - ENTRANCE MONUMENT</p>	<p>A The Oaks A Luxury Rental Community</p>
<p>TYPE B - SECONDARY ENTRANCE MONUMENT/BUILDING IDENTITY</p>	<p>B1 The Oaks Clubhouse & Leasing Center</p> <p>B2 The Oaks A Luxury Rental Community</p> <p>C1 The Oaks Club/Leasing Center Honeylocust Commons Hickory Commons Thornapple Homes (straight arrow) Oak Meadow Homes Dog Park / Council Ring (right arrow)</p>
<p>TYPE C - PEDESTRIAN & VEHICULAR WAYFINDING</p>	<p>C2 Oak Meadow Homes Dog Park / Council Ring (right arrow)</p> <p>C3 Honeylocust Commons The Oaks Club/Leasing Center Oak Meadow Homes (left arrow)</p> <p>C4 The Oaks Club/Leasing Center Honeylocust Commons Hickory Commons Thornapple Homes (right arrow)</p> <p>C5 Thornapple Homes Hickory Commons (straight arrow) The Oaks Club/Leasing Center (right arrow)</p> <p>C6 Thornapple Homes (straight arrow) Hickory Commons (right arrow)</p> <p>C7 Thornapple Homes (left arrow) Hickory Commons (right arrow)</p>

VERNON HILLS, ILLINOIS

THE OAKS OF VERNON HILLS

MASTER SIGNAGE - WAYFINDING SYSTEM PLAN

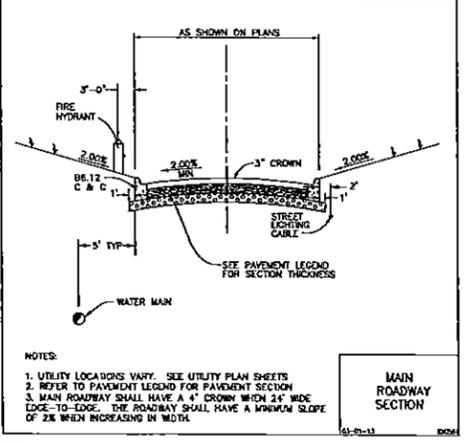




- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND CUTTER SHALL BE B&12 UNLESS OTHERWISE NOTED.
 - ALL CURB RADIUS SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 - COSTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - DEPRESS CURB & CUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

PAVEMENT LEGEND

	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-18, N50 10" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	DRIVEWAY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 1 1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, CA-6, CRUSHED LUMESTONE, TYPE B
	BIKE PATH PAVEMENT 3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 6" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK PAVEMENT 5" PCC 4" COMPACTED CA-6 CRUSHED LUMESTONE AGGREGATE
	SIDEWALK PAVEMENT IN DRIVEWAY 6" PCC 4" COMPACTED CA-6 CRUSHED LUMESTONE AGGREGATE
	DECOMPOSED GRANITE PATH SEE LANDSCAPE PLAN FOR DETAILS



PAVEMENT MARKING LEGEND

Ⓐ	LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
Ⓑ	6" SOLID WHITE - THERMOPLASTIC
Ⓒ	12" SOLID YELLOW - THERMOPLASTIC
Ⓓ	6" WHITE (6" SKIP-2" DASH) - THERMOPLASTIC
Ⓔ	4" SOLID YELLOW - THERMOPLASTIC
Ⓕ	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)
Ⓖ	4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
Ⓖ	4" SOLID YELLOW LINE
Ⓙ	4" SOLID YELLOW LINE - THERMOPLASTIC
Ⓚ	24" SOLID WHITE STOP BAR

ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+81 TO STA. 5+83 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.

SIGN LEGEND

①	R1-1 STOP SIGN
②	R7-8 HANDICAP PARKING SIGN
③	FIRE LANE - NO PARKING SIGN
④	R5-1 DO NOT ENTER
⑤	R6-25 ONE WAY
⑥	R3-5 VAN PARKING ONLY
⑦	ENTRANCE MONUMENT, (SEE LANDSCAPE/ARCH. PLANS)
⑧	BUILDING IDENTITY SIGN, (SEE LANDSCAPE/ARCH. PLANS)
⑨	WAYFINDING SIGN, (SEE LANDSCAPE/ARCH. PLANS)

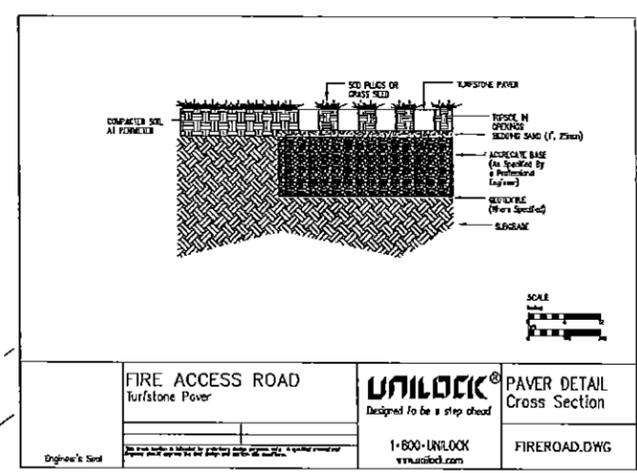
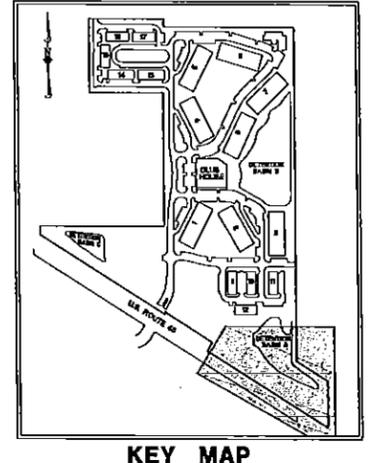
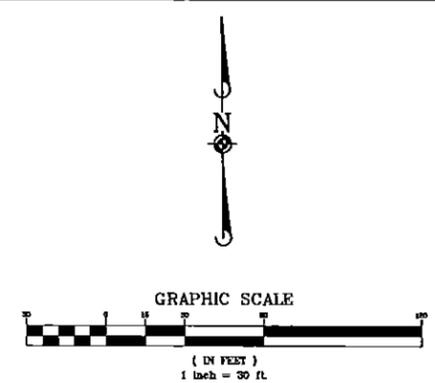
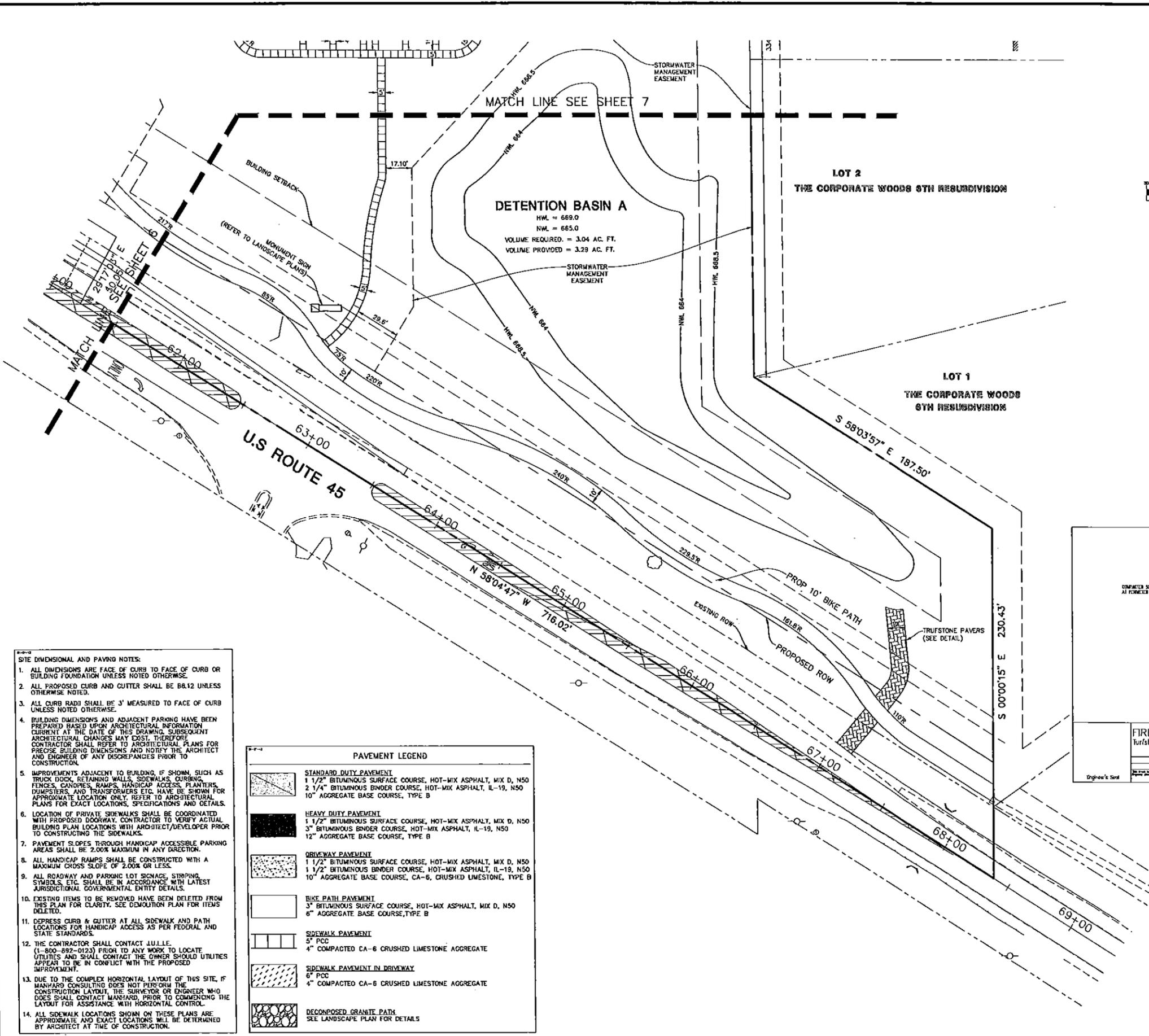
Manhard CONSULTING LTD

4407 Woodbine Avenue, Vernon Hills, IL 60055
 847.427.8800
 Civil Engineers • Surveyors • Water Resources Engineers • Wetland Assessors • Environmental Engineers • Environmental Scientists • Landscape Architects • Planners

PROJECT NO.: 100
 PROJECT NAME: VILLAGE OF VERNON HILLS, ILLINOIS
 DRAWN BY: RSH
 DATE: 03-11-13
 SCALE: 1"=30'

SHEET
6 OF **50**
 KHZH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION



- SITE DIMENSIONAL AND PAVING NOTES:**
1. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 2. ALL PROPOSED CURB AND CUTTER SHALL BE 06.12 UNLESS OTHERWISE NOTED.
 3. ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 4. BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY COST. THEREFORE, CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 5. IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, RAMP, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 6. LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 7. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 8. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 9. ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 10. EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 11. DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 12. THE CONTRACTOR SHALL CONTACT ULLLE (1-800-897-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 13. DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 14. ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

PAVEMENT LEGEND

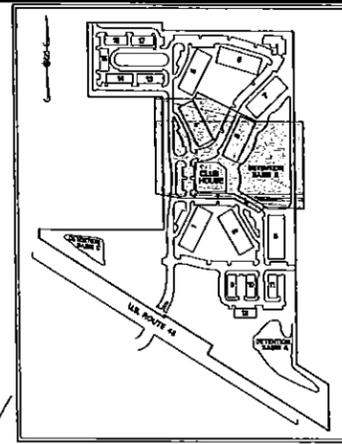
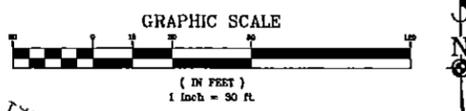
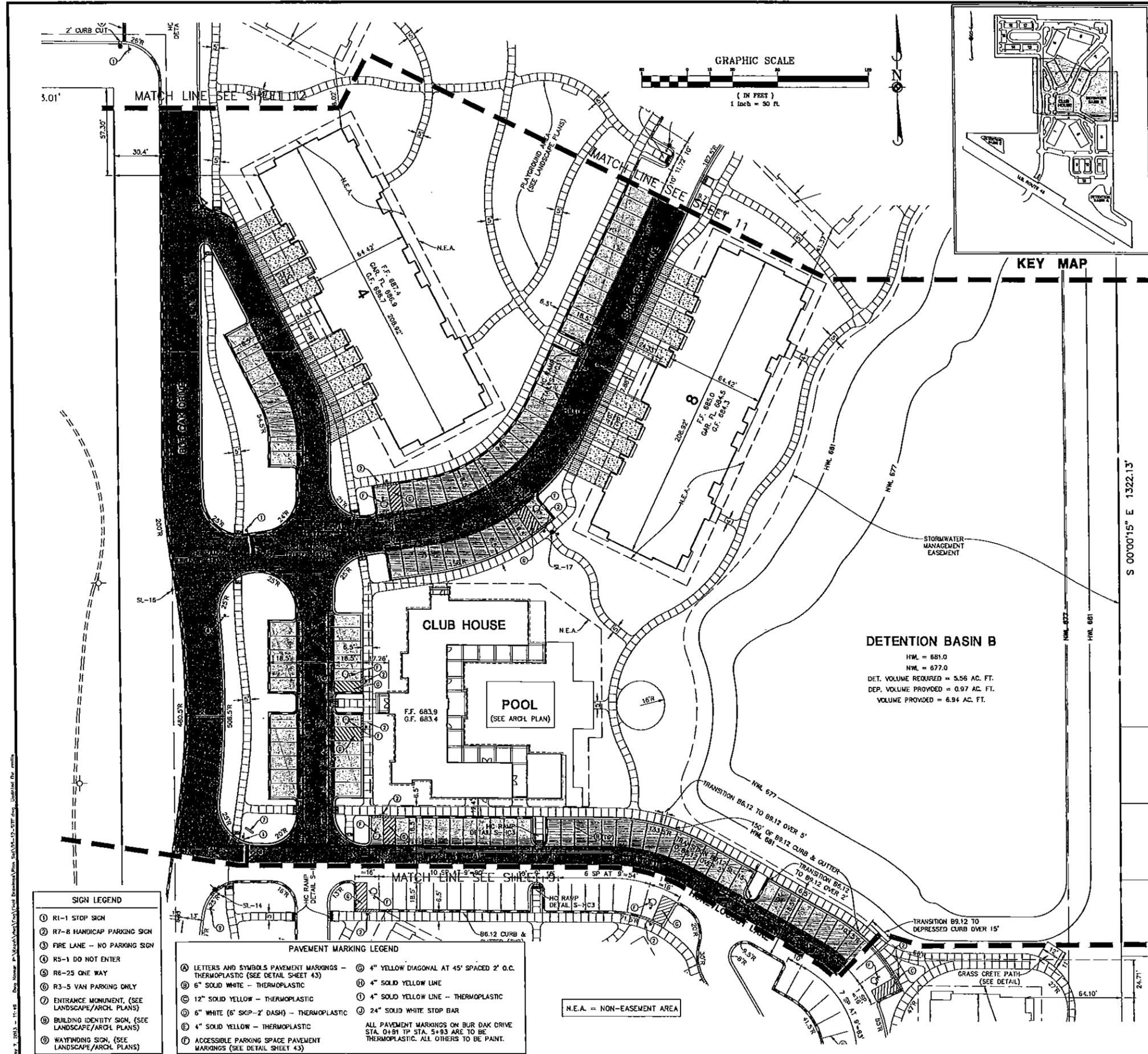
	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	DRIVEWAY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 1 1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, CA-6, CRUSHED LIMESTONE, TYPE B
	BIKE PATH PAVEMENT 3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 6" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK PAVEMENT 5" PCC 4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
	SIDEWALK PAVEMENT IN DRIVEWAY 6" PCC 4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
	DECONSTRUCTED GRANITE PATH SEE LANDSCAPE PLAN FOR DETAILS

Manhard CONSULTING LTD.
 1000 West 11th Street, Suite 100, Vernon Hills, IL 60061
 847-540-1111
 Fax: 847-540-1112
 www.manhardconsulting.com
 Environmental Services • Landscape Architecture • Planning

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 SITE DIMENSIONAL & PAVING PLAN - SOUTHEAST

DATE: 03-11-13
 SCALE: 1"=30'
 SHEET: 8 OF 50
 KNZVH 110660

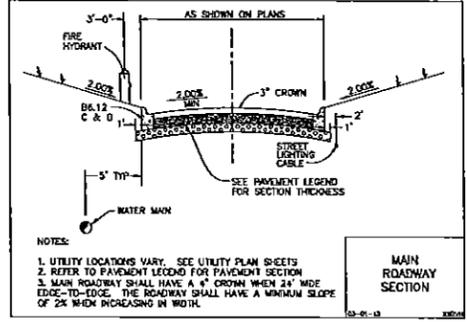
PENDING APPROVAL-NOT FOR CONSTRUCTION



PAVEMENT LEGEND	
	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	DRIVEWAY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 1 1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, CA-6, CRUSHED LIMESTONE, TYPE B
	BIKE PATH PAVEMENT 3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 6" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK PAVEMENT 5" PCC 4" COMPACTED CA-8 CRUSHED LIMESTONE AGGREGATE
	SIDEWALK PAVEMENT IN DRIVEWAY 6" PCC 4" COMPACTED CA-8 CRUSHED LIMESTONE AGGREGATE

PAVEMENT MARKING LEGEND	
	LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
	6" SOLID WHITE - THERMOPLASTIC
	12" SOLID YELLOW - THERMOPLASTIC
	6" WHITE (6" SKIP-2" DASH) - THERMOPLASTIC
	4" SOLID YELLOW - THERMOPLASTIC
	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)
	4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
	4" SOLID YELLOW LINE
	4" SOLID YELLOW LINE - THERMOPLASTIC
	24" SOLID WHITE STOP BAR

ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+81 TP STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.



DETENTION BASIN B
 H.W. = 681.0
 N.W. = 677.0
 DET. VOLUME REQUIRED = 5.56 AC. FT.
 DEP. VOLUME PROVIDED = 0.97 AC. FT.
 VOLUME PROVIDED = 6.94 AC. FT.

- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE 86.12 UNLESS OTHERWISE NOTED.
 - ALL CURB RADI SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 - THE CONTRACTOR SHALL CONTACT JULIE (71-600-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSURE WITH HORIZONTAL CONTROL.
 - ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

SIGN LEGEND	
	R1-1 STOP SIGN
	R7-8 HANDICAP PARKING SIGN
	FIRE LANE - NO PARKING SIGN
	R5-1 DO NOT ENTER
	R6-25 ONE WAY
	R3-5 VAN PARKING ONLY
	ENTRANCE MONUMENT, (SEE LANDSCAPE/ARCH. PLANS)
	BUILDING IDENTITY SIGN, (SEE LANDSCAPE/ARCH. PLANS)
	WAYFINDING SIGN, (SEE LANDSCAPE/ARCH. PLANS)

PAVEMENT MARKING LEGEND	
	LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
	6" SOLID WHITE - THERMOPLASTIC
	12" SOLID YELLOW - THERMOPLASTIC
	6" WHITE (6" SKIP-2" DASH) - THERMOPLASTIC
	4" SOLID YELLOW - THERMOPLASTIC
	4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
	4" SOLID YELLOW LINE
	4" SOLID YELLOW LINE - THERMOPLASTIC
	24" SOLID WHITE STOP BAR

ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+81 TP STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.

N.E.A. = NON-EASEMENT AREA

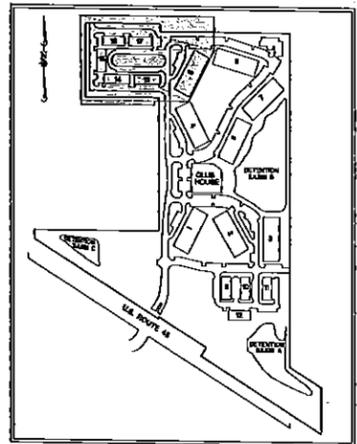
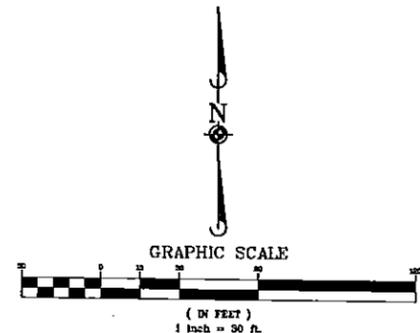
Manhard CONSULTING LTD.
 200 West Main Street, Suite 200, Vernon Hills, IL 60061
 Tel: 847.581.1100 Fax: 847.581.1101
 Email: info@manhardconsulting.com

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 SITE DIMENSIONAL & PAVING PLAN - NORTH CENTRAL

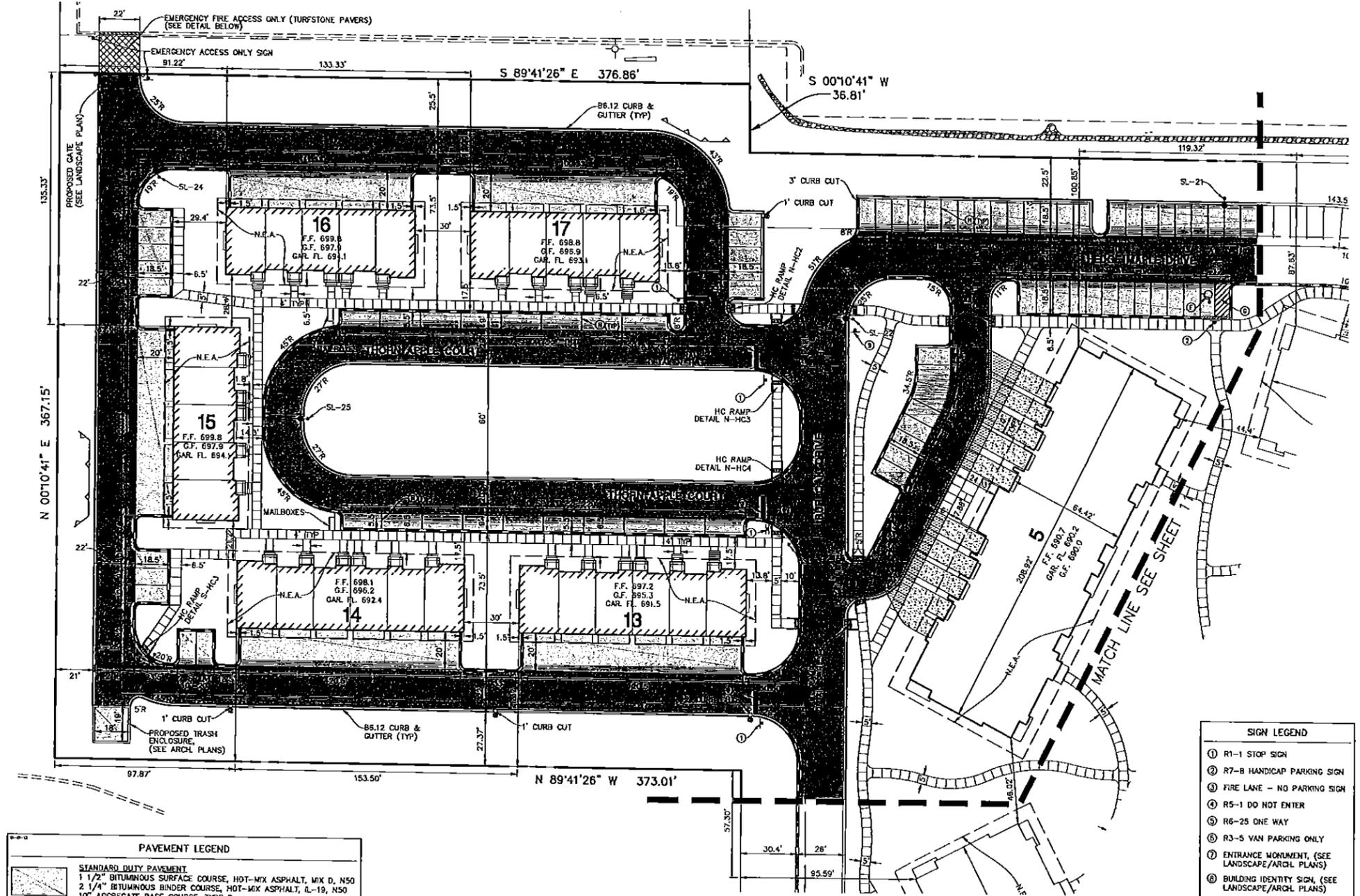
DATE: 03-11-13
 SCALE: 1"=30'
 SHEET
10 OF 50
 KHZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION

N.E.A. = NON-EASEMENT AREA



Manhard CONSULTING LTD
 Manhard Consulting Ltd
 1000 West 10th Street, Suite 100
 Chicago, IL 60607
 Phone: (773) 344-1111
 Fax: (773) 344-1112
 Website: www.manhardconsulting.com
 Professional Engineer License No. 001-00000000
 Professional Surveyor License No. 001-00000000
 Professional Landscape Architect License No. 001-00000000



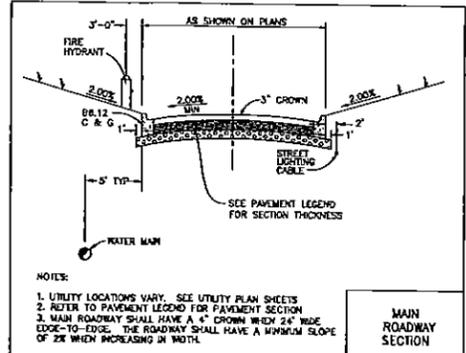
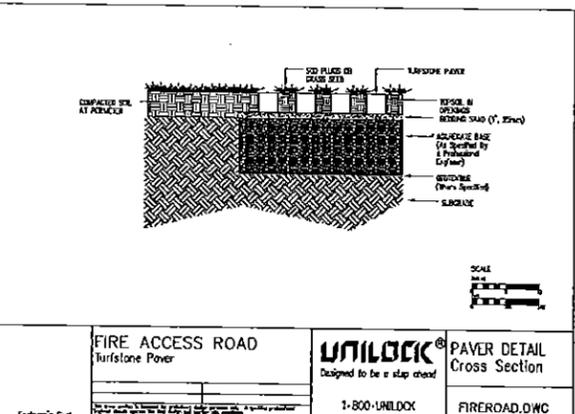
SIGN LEGEND

- ① R1-1 STOP SIGN
- ② R7-B HANDICAP PARKING SIGN
- ③ FIRE LANE - NO PARKING SIGN
- ④ R5-1 DO NOT ENTER
- ⑤ R6-25 ONE WAY
- ⑥ R3-S VAN PARKING ONLY
- ⑦ ENTRANCE MONUMENT, (SEE LANDSCAPE/ARCL PLANS)
- ⑧ BUILDING IDENTITY SIGN, (SEE LANDSCAPE/ARCL PLANS)
- ⑨ WAYFINDING SIGN, (SEE LANDSCAPE/ARCL PLANS)

- SITE DIMENSIONAL AND PAVING NOTES:**
1. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE
 2. ALL PROPOSED CURB AND GUTTER SHALL BE 85.12 UNLESS OTHERWISE NOTED.
 3. ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 4. BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 5. IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 6. LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 7. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 8. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 9. ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 10. EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 11. DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 12. THE CONTRACTOR SHALL CONTACT JULLIE (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 13. DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 14. ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

PAVEMENT LEGEND

	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	DRIVEWAY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 1 1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, CA-6, CRUSHED LESTONE, TYPE B
	BIKE PATH PAVEMENT 3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 6" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK PAVEMENT 5" PCC 4" COMPACTED CA-6 CRUSHED LESTONE AGGREGATE
	SIDEWALK PAVEMENT IN DRIVEWAY 6" PCC 4" COMPACTED CA-6 CRUSHED LESTONE AGGREGATE
	UNCOMPACTED GRANITE PATH SEE LANDSCAPE PLAN FOR DETAILS



PAVEMENT MARKING LEGEND

- ① LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
- ② 6" SOLID WHITE - THERMOPLASTIC
- ③ 12" SOLID YELLOW - THERMOPLASTIC
- ④ 6" WHITE (6" SKIP-2" DASH) - THERMOPLASTIC
- ⑤ 4" SOLID YELLOW - THERMOPLASTIC
- ⑥ ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)
- ⑦ 4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
- ⑧ 4" SOLID YELLOW LINE
- ⑨ 4" SOLID YELLOW LINE - THERMOPLASTIC
- ⑩ 24" SOLID WHITE STOP BAR

ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+51 TP STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.

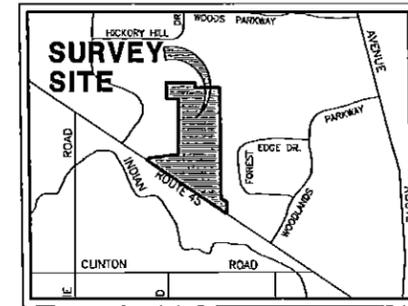
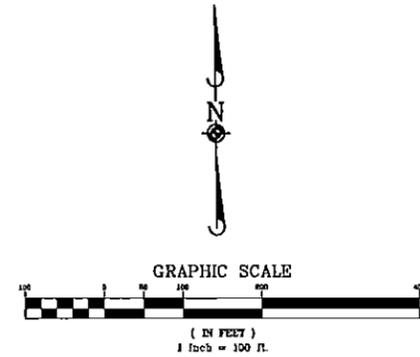
THE OAKS OF VERNON HILLS, ILLINOIS
 VILLAGE OF VERNON HILLS, ILLINOIS
 SITE DIMENSIONAL & PAVING PLAN - NORTHWEST

SHEET
12 OF 50
 KNZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION

FINAL PLAT OF THE OAKS OF VERNON HILLS

BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOGETHER WITH PART OF THE NORTHWEST QUARTER OF SECTION 15, AND PART OF THE NORTHEAST QUARTER OF SECTION 16, ALL IN TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.



LOCATION MAP (NOT TO SCALE)

ZONING

THE OAKS OF VERNON HILLS, A PLANNED UNIT DEVELOPMENT IS WITHIN THE ZONING CLASSIFICATION ORAO (OFFICE RESEARCH AND DEVELOPMENT) AND IS ALSO WITHIN AN APPROVED PUD - PLANNED UNIT DEVELOPMENT PER ORDINANCE NO. 2009-039. PERIMETER, SETBACKS HAVE BEEN SHOWN HEREON BASED ON BASED ON THE VILLAGE OF VERNON HILLS MUNICIPAL CODE-APPENDIX C (ZONING) ENACTED JUNE 19, 2012

RECEIVED

MAY 07 2013

COMMUNITY DEVELOPMENT DEPARTMENT

SHEET INDEX

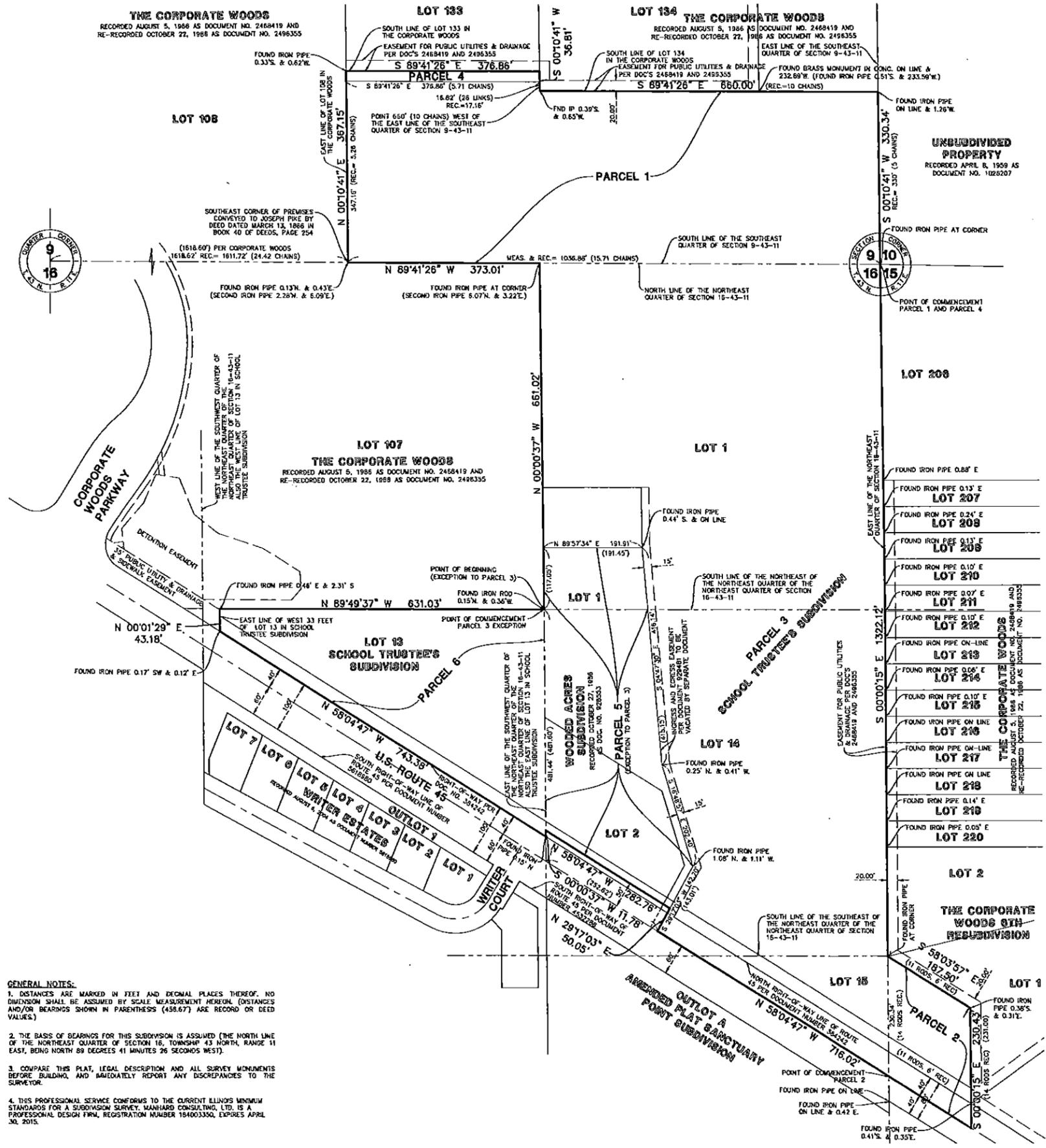
SHEET 1 OF 4	BOUNDARY INFORMATION AND EXISTING EASEMENTS
SHEET 2 OF 4	PROPOSED LOT DETAILS - SOUTH
SHEET 3 OF 4	PROPOSED LOT DETAILS - NORTH
SHEET 4 OF 4	CERTIFICATE, EASEMENT PROVISIONS AND SUBDIVISION LEGAL DESCRIPTION

Manhard CONSULTING LTD
 Civil Engineers • Surveyors • Environmental Scientists • Landscape Architects • Planners
 10507 S. WOODS PARKWAY, SUITE 100, WOODS BARR, ILLINOIS 60090
 TEL: 630.575.1234 FAX: 630.575.1235
 WWW.MANHARDCONSULTING.COM

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 FINAL PLAT OF SUBDIVISION

PROJECT: JDF
 PROJECT: T.S.M.
 CHECKED BY: E.S.V.
 DATE: 03/11/13
 SCALE: 1" = 100'
 SHEET 1 OF 4
 KNZVH 110660
 5/29/2013 10:08 RECEIVED

ORDINANCE 2013-034 EXHIBIT C-5 Final Plat of Subdivision - The Oaks of Vernon prepared by Manhard Consulting, Ltd with a revised date of 5/7/13 and consisting of 4 pages.



GENERAL NOTES:
 1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. (DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESES (458.67) ARE RECORD OR DEED VALUES.)
 2. THE BASIS OF BEARINGS FOR THIS SUBDIVISION IS ASSUMED (THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 11 EAST, BEING NORTH 89 DEGREES 41 MINUTES 26 SECONDS WEST).
 3. COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY MONUMENTS BEFORE BUILDING, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.
 4. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A SUBDIVISION SURVEY. MANHARD CONSULTING, LTD IS A PROFESSIONAL DESIGN FIRM, REGISTRATION NUMBER 194003350, EXPIRES APRIL 30, 2015.

5/29/2013 11:12 C:\Users\jmanhard\Desktop\110660\110660\110660.dwg User: jmanhard

THE OAKS OF VERNON HILLS

PROJECT NUMBER: 12039

VERNON HILLS, ILLINOIS

KINZIE REAL ESTATE GROUP

Final Landscape Plans

Sheet Legend

- L1-00 Site Key Plan
- L2-00 Overall Landscape Planting Schedule
- L3-00 Overall Landscape Plan
- L4-00 Overall Landscape Plan
- L5-00 Overall Landscape Plan
- L6-00 Overall Landscape Plan
- L7-00 Overall Landscape Plan
- L8-00 Overall Landscape Plan
- L9-00 Overall Landscape Plan
- L10-00 Overall Landscape Plan
- L11-00 Overall Landscape Plan
- L12-00 Overall Landscape Plan
- L13-00 Overall Landscape Plan
- L14-00 Overall Landscape Plan
- L15-00 Overall Landscape Plan
- L16-00 Overall Landscape Plan
- L17-00 Apartment Building 1 Landscape Plan
- L18-00 Apartment Building 2 Landscape Plan
- L19-00 Apartment Building 3 Landscape Plan
- L20-00 Apartment Building 4 Landscape Plan
- L21-00 Apartment Building 5 Landscape Plan
- L22-00 Apartment Building 6 Landscape Plan
- L23-00 Apartment Building 7 Landscape Plan
- L24-00 Apartment Building 8 Landscape Plan
- L25-00 Rowhome 9 Landscape Plan
- L26-00 Rowhome 10 Landscape Plan
- L27-00 Rowhome 11 Landscape Plan
- L28-00 Rowhome 12 Landscape Plan
- L29-00 Rowhome 13 Landscape Plan
- L30-00 Rowhome 14 Landscape Plan
- L31-00 Rowhome 15 Landscape Plan
- L32-00 Rowhome 16 Landscape Plan
- L33-00 Rowhome 17 Landscape Plan
- L34-00 Clubhouse Landscape Plan
- L35-00 Details
- L36-00 Details
- L37-00 Details
- L38-00 Details
- L39-00 Details
- L40-00 Details
- L41-00 General Notes

LAKOTA
THE LAKOTA GROUP
212 West Kinzie Street, 3rd
Chicago, Illinois
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Urban
Landscape Architect
Community Relations



212 West Kinzie Street, 3rd

NOT FOR
CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

COVER SHEET

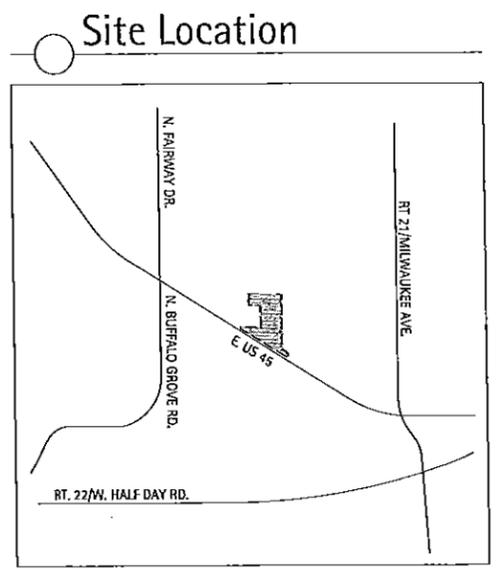
Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/13/2013
4. TECHNICAL REVIEW	05/15/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM

RECEIVED

MAY 07 2013

COMMUNITY DEVELOPMENT
DEPARTMENT



Issue for Review & Pricing Only

05-15-2013

Prepared by:

LAKOTA
THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning

Urban Design

Landscape Architecture

Community Relations

L0-00

ORDINANCE 2013-034 EXHIBIT C-6- Final Landscaping Plans prepared by The Lakota Group, Inc with a revised date of 5/15/13 and consisting of pages L1-00 thru L41-00. These plans include Overall Landscape Plans, Apartment Building Plans, Rowhome plans, Clubhouse Landscape Plan, Details and General



NOT FOR
CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

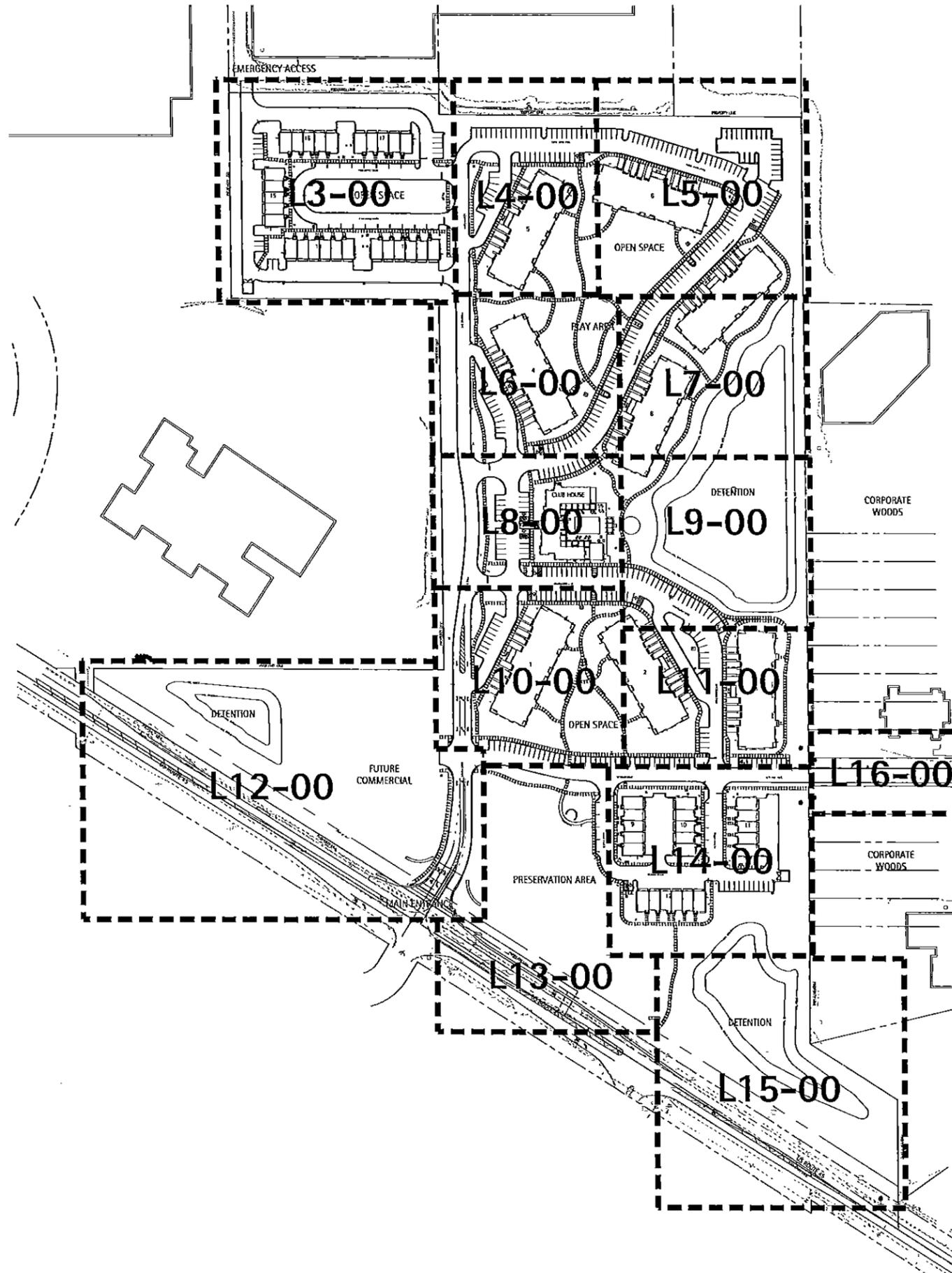
KEY PLAN

Revisions		
1.	TECHNICAL REVIEW	08/12/2012
2.	TECHNICAL REVIEW	11/07/2012
3.	TECHNICAL REVIEW	03/13/2013
4.	TECHNICAL REVIEW	05/15/2013
5.		
6.		
7.		
8.		

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



L1-00



Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
AR 3	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	3" caliper	BBB
AR 10	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	10' ht.	BBB, Multi-Stem
AS 3	Acer saccharum	Legacy Sugar Maple	3" caliper	BBB
AS 5	Acer saccharum	Legacy Sugar Maple	5" caliper	BBB
AF 3	Acer x freemanii 'Autumn Blaze'	Freemanii Maple	3" caliper	BBB
AF 4	Acer x freemanii 'Autumn Blaze'	Freemanii Maple	4" caliper	BBB
AF 5	Acer x freemanii 'Autumn Blaze'	Freemanii Maple	5" caliper	BBB
AF 6	Acer x freemanii 'Autumn Blaze'	Freemanii Maple	6" caliper	BBB
AH 2	Aesculus hippocastanum	Horse Chestnut	3" caliper	BBB
CO 3	Celtis occidentalis	Hackberry	3" caliper	BBB
FA 3	Fagus americana	American Beech	3" caliper	BBB
GT 3	Stidulus triancanthus inermis 'Skyline'	Skyline Thornless Honeylocust	3" caliper	BBB
GD 3	Gymnocladus dioica	Kentucky Coffee Tree	3" caliper	BBB
GD 4	Gymnocladus dioica	Kentucky Coffee Tree	4" caliper	BBB
LT 3	Liriodendron tulipifera	Tulip Tree	3" caliper	BBB
PCA 3	Pyrus calleryana 'Aristocrat'	Aristocrat Pear	3" caliper	BBB
PT 3	Platanus x acerifolia	London Plane Tree	3" caliper	BBB
PT 5	Platanus x acerifolia	London Plane Tree	5" caliper	BBB
QA 3	Quercus alba	White Oak	3" caliper	BBB
QB 3	Quercus bicolor	Swamp White Oak	3" caliper	BBB
QB 4	Quercus bicolor	Swamp White Oak	4" caliper	BBB
QB 5	Quercus bicolor	Swamp White Oak	5" caliper	BBB
QB 6	Quercus bicolor	Swamp White Oak	6" caliper	BBB
ORB 1	Quercus robur	English Oak	3" caliper	BBB
ORB 4	Quercus robur	English Oak	4" caliper	BBB
ORB 5	Quercus robur	English Oak	5" caliper	BBB
ORB 21	Quercus robur	English Oak	3" caliper	BBB
QA 5	Quercus rubra	Red Oak	5" caliper	BBB
QR 6	Quercus rubra	Red Oak	6" caliper	BBB
TC 3	Tilia cordata 'Greenspire'	Littleleaf Linden	3" caliper	BBB
TC 4	Tilia cordata 'Greenspire'	Littleleaf Linden	4" caliper	BBB
TC 6	Tilia cordata 'Greenspire'	Littleleaf Linden	6" caliper	BBB
TC 10	Tilia cordata 'Greenspire'	Littleleaf Linden	10' ht.	BBB, Multi-Stem
UA 3	Ulmus 'Accolade'	Accolade Elm	3" caliper	BBB
ORNAMENTAL TREES				
AC 3	Amelanchier canadensis	Shadblow Serviceberry	3" caliper	BBB, Single Stem
AC 6	Amelanchier canadensis	Shadblow Serviceberry	6" ht.	BBB, Multi-Stem
BN 0	Betula nigra 'Heritage'	Heritage River Birch	8" ht.	BBB, Clump
CAR 0	Carpinus caroliniana	American Hornbeam	8" ht.	BBB, Clump
CCI 6	Cataegus crugalli 'Inermis'	Thornless Cockspur Hawthorn	6" ht.	BBB, Multi-Stem
CCI 0	Cataegus crugalli 'Inermis'	Thornless Cockspur Hawthorn	8" ht.	BBB, Multi-Stem
MIM 0	Magnolia x loebneltii 'Merill'	Dr. Merrill Magnolia	6-7' ht.	BBB, Multi-Stem
MSS 5	Malus sargenti	Sargent Crabapple	5" ht.	BBB, Clump
MSS 0	Malus sargenti	Sargent Crabapple	8" ht.	BBB, Clump
MZ 8	Malus 'Snowdrift'	White Crabapple	8" ht.	BBB, Clump
MZ 0	Malus 'Zumi calocarpa'	Zumi Crabapple	8" ht.	BBB, Clump
MZ 10	Malus 'Zumi calocarpa'	Zumi Crabapple	10' ht.	BBB, Clump
SR 8	Syringa reticulata 'Woody Silk'	Japanese Tree Lilac	8" ht.	BBB, Multi-Stem
EVERGREEN TREES				
ACN 10	Abies concolor	Concolor Fir	10' ht.	BBB
PA 8	Picea abies	Norway Spruce	8" ht.	BBB
PA 10	Picea abies	Norway Spruce	10' ht.	BBB
PA 12	Picea abies	Norway Spruce	12' ht.	BBB
PGD 0	Picea glauca 'Densata'	Black Hills Spruce	8" ht.	BBB
PGD 10	Picea glauca 'Densata'	Black Hills Spruce	10' ht.	BBB
PH 0	Pinus nigra	Austrian Pine	8" ht.	BBB
PH 10	Pinus nigra	Austrian Pine	10' ht.	BBB
PS 0	Pinus strobus	Scotch Pine	8" ht.	BBB
PS 10	Pinus strobus	Scotch Pine	10' ht.	BBB
PP 8	Picea pungens	Green Colorado Spruce	8" ht.	BBB
PP 10	Picea pungens	Green Colorado Spruce	10' ht.	BBB
PP 12	Picea pungens	Green Colorado Spruce	12' ht.	BBB
PPG 10	Picea pungens 'Glauca'	Colorado Blue Spruce	10' ht.	BBB
PM 8	Pseudotsuga menziesii	Douglas Fir	8" ht.	BBB
PM 10	Pseudotsuga menziesii	Douglas Fir	10' ht.	BBB
TSC 10	Tsuga canadensis	Hemlock	10' ht.	BBB
TD 10	Taxodium distichum	Bald Cypress	10' ht.	BBB
DECIDUOUS SHRUBS				
AGN 0	Acer ginnala	Amur Maple Shrub Form	8" ht.	BBB
AM	Aronia melanocarpa	Glossy Black Chokeberry	24-30" ht.	BBB or CG or BR
CS	Comus sylvatica 'Kelsey'	Redwing Dogwood	24-30" ht.	BBB or CG or BR
IV 6	Hamamelis virginiana	Common Witch Hazel	42-48" ht.	BBB or CG
RA	Rhus aromatica 'Gro-Low'	Fragrant Sumac	5 gal.	BBB or CG
RT	Rhus typhina 'Lacinata'	Staghorn Sumac	3-4" ht.	BBB or CG
RC	Rosa 'Flower Carpet Pink'	Flower Carpet Pink Shrub Rose	5 gal.	CG
RK	Rosa 'Knockout'	Knockout Rose	5 gal.	CG
VL 5	Viburnum lentago	Nannyberry Viburnum	5" ht.	BBB
EVERGREEN SHRUBS				
BM	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	5 gal.	BBB or CG
JCK	Juniperus chinensis 'Galley's Compact'	Kallays Compact Juniper	5 gal.	BBB or CG
JC	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	BBB or CG
PERENNIALS, ORNAMENTAL GRASSES				
cas	Calamagrostis scutifolia 'Sireta'	Feather Reed Grass	1 gal.	CG
ep	Echinacea purpurea 'Magnus Pink'	Purple Coneflower	1 gal.	CG
hh	Humulus lupululus 'Happy Returns'	Happy Returns Hops	1 gal.	CG
lsp	Limonium spicata	Lilyturf	1 gal.	CG
nm	Nepeta x mussinii 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CG
pah	Penstemon spectabilis 'Hemelri'	Dwarf Fountain Grass	1 gal.	CG
pat	Perovskia stipularis 'Longin'	Russian Sage	1 gal.	CG
rl	Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 gal.	CG
sam	Scelerita autumnalis	Autumn Moor Grass	1 gal.	CG
GROUNDCOVERS				
wl	Waldsteinia ternata	Barren Strawberry	quart	16" o.c. spacing

DRY MESIC SEED MIX

POUNDS/ACRE

Grasses and Sedges	Pounds/Acre
Andropogon gerardii (Big Blue Stem)	3,000
Andropogon scoparius (Little Blue Stem)	3,000
Elymus canadensis (Virginia Wild Rye)	0.188
Elymus virginicus (Virginia Wild Rye)	0.188
Panicum virgatum (Switchgrass)	0.250
Sorghastrum nutans (Indian Grass)	4.500
Avena sativa (Oats)	40,000
Wildflowers	
Aster laevis (Smooth Duff Aster)	0.125
Aster novae-angliae (New England Aster)	0.125
Baptisia leucantha (White-Wild Indigo)	0.125
Coreopsis tripteris (Tall Coreopsis)	0.188
Echinacea purpurea (Purple Coneflower)	0.250
Eryngium yuccifolium (Rattlesnake Master)	0.250
Helianthus grosseserratus (Sawtooth Sunflower)	0.188
Helopsis helianthoides (False Sunflower)	0.188
Liatris aspera (Rough Blazing Star)	0.025
Monarda fistulosa (Wild Bergamot)	0.125
Petalostemum purpureum (Purple Prairie Clover)	0.188
Pyrolanthemum virginianum (Mountain Mint)	0.016
Ratibida pinnata (Yellow Coneflower)	0.250
Rudbeckia hirta (Black-Eyed Susan)	0.188
Rudbeckia sublomenosa (Sweet Black-Eyed Susan)	0.188
Siphium laciniatum (Compass Plant)	0.125
Siphium terebinthaceum (Prairie Dock)	0.063
Solidago rigida (Stiff Goldenrod)	0.125
Tradescantia ohiensis (Spidenwort)	0.090
Vernonia fasciculata (Common Ironweed)	0.188
Zizia aurea (Hearleaved Alexander)	0.063
Zizia aurea (Hearleaved Alexander)	0.125

WET MESIC SEED MIX

Grasses and Sedges	Pounds/Acre
Carex comosa (Bristly Sedge)	0.125
Carex hystericina (Porcupine Sedge)	0.125
Carex lupulina (Hop Sedge)	0.125
Carex stipitata (Awn-fruited Sedge)	0.125
Carex vulpinoidea (Brown Fox Sedge)	0.125
Elymus virginicus (Virginia Wild Rye)	0.188
Glyceria striata (Fowl Manna Grass)	0.125
Leersia oryzoides (Rice Cut Grass)	0.125
Scirpus atrovirens (Dark Green Bulrush)	0.125
Spartina pectinata (Prairie Cordgrass)	0.125
Avena sativa (Oats)	40,000
Wildflowers	
Angelica atropurpurea (Angelica)	0.125
Asclepias incarnata (Swamp Milkweed)	0.083
Aster novae-angliae (New England Aster)	0.125
Aster umbellatus (Flat-topped Aster)	0.125
Eupatorium maculatum (Spotted Joe-Pye Weed)	0.063
Eupatorium perfoliatum (Bonaset)	0.188
Helianthus autumnale (Autumn Sneezeweed)	0.063
Liatris spicata (Marsh Blazing Star)	0.025
Lobelia cardinalis (Cardinal Flower)	0.088
Pyrolanthemum virginianum (Mountain Mint)	0.016
Siphium intergrifolium (Rosinweed)	0.125
Solidago rigida (Stiff Goldenrod)	0.125
Verberna hastata (Blue Vervain)	0.063
Vernonia fasciculata (Smooth Ironweed)	0.063

SHALLOW WATER EMERGENT SEED MIX
0-1 foot Depth

Grasses and Sedges	Pounds/Acre
Carex stricta (Common Tussock Sedge)	0.188
Juncus effusus (Common Rush)	0.188
Scirpus acutus (Hardstem Bulrush)	0.250
Scirpus americanus (Chairmaker's Rush)	0.250
Scirpus fluviatilis (River Bulrush)	0.250
Scirpus lateralis (Softstem Bulrush)	0.250

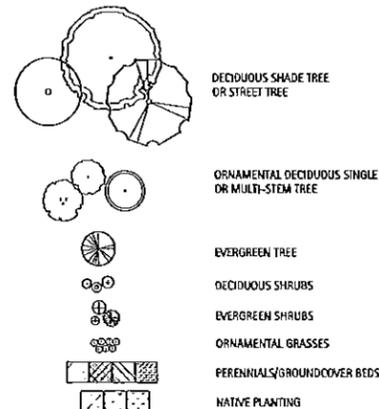
Forbs	Pounds/Acre
Acorus calamus (Sweet Flag)	0.125
Alisma subcordata (Common Water Plantain)	0.125
Iris virginica (Blue Flag Iris)	0.125
Polygonum amphibium (Water Smartweed)	0.125
Pontederia cordata (Pickweed)	0.125
Sagittaria latifolia (Broadleaf Arrowhead)	0.125
Sparganium angustifolium (Common Burreed)	0.125

Scientific Name	Common Name	lbs/acre	units
Allium cernuum	nodding wild onion	2	seed
Amorpha canescens	lead plant	1	seed
Andropogon gerardii	big bluestem grass	60	seed
Anemone virginiana	lady anemone	1	seed
Aquilegia canadensis	wild columbine	1	seed
Asclepias syriaca	common milkweed	2	seed
Asclepias tuberosa	butterfly weed	2	seed
Aster laevis	smooth blue aster	1	seed
Aster oolentangiensis (Aster azureus)	sky-blue aster	1	seed
Aster sagittifolius	arrow-leaved aster	1	seed
Avena sativa	oats	540	seed
Baptisia bracteata (Baptisia leucophaea)	cream wild indigo	1	seed
Baptisia lactea (Baptisia leucantha)	white wild indigo	1.5	seed
Bouteloua curtipendula	side-oats grama	100	seed
Carex molesta	field oval sedge	15	seed
Coreopsis lanceolata	sand coreopsis	7	seed
Coreopsis tripteris	tall coreopsis	1.5	seed
Dalea candida (Petalostemum candidum)	white prairie clover	3.5	seed
Dalea purpurea (Petalostemum purpureum)	purple prairie clover	4.5	seed
Desmodium illinoense	Illinois tick trefoil	2	seed
Echinacea pallida	purple coneflower	4	seed
Elymus hystrix (Hystrix patula)	bottlebrush grass	10	seed
Elymus villosus	slimy wild rye	12	seed
Eupatorium altissimum	tall boneset	1	seed
Helopsis helianthoides	false sunflower	3.5	seed
Koeleria pyramidata (Koeleria cristata)	June grass	4	seed
Lespedeza capitata	round-headed bush clover	2	seed
Liatris aspera	rough blazing star	1	seed
Liatris pycnostachya	prairie blazing star	2	seed
Lolium multiflorum	annual rye grass	150	seed
Lupinus perennis	wild lupine	2	seed
Monarda fistulosa	wild bergamot	1	seed
Monarda punctata	horse mint	1	seed
Ratibida pinnata	yellow cone-flower	3	seed
Rudbeckia hirta	black-eyed susan	1	seed
Schizachyrium scoparium (Andropogon)	little bluestem	80	seed
Solidago rigida	stiff goldenrod	2	seed
Solidago speciosa	showy goldenrod	1	seed
Tradescantia ohiensis	common spidenwort	1.5	seed
Zizia aurea	golden alexanders	2	seed

NOTES

- SEE GENERAL PLANTING DETAILS AND NOTES ON SHEET L-39 AND L-41.
- SEE GENERAL DETENTION POND DETAILS ON SHEET L-40.

LEGEND



LAKOTA
THE LAKOTA GROUP INC.
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

NOT FOR CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

OVERALL LANDSCAPE PLANTING SCHEDULE

Revisions	Date
1. TECHNICAL REVIEW	05/12/2012
2. TECHNICAL REVIEW	11/02/2012
3. TECHNICAL REVIEW	03/12/2012
4. TECHNICAL REVIEW	05/15/2012
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



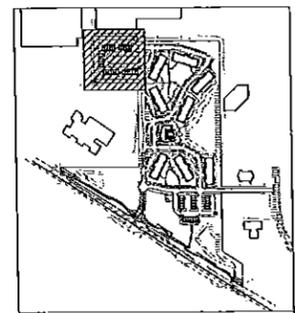
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

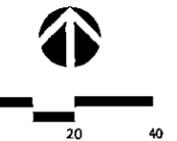
**OVERALL
PLANTING
PLAN**

Revisions	
1.	TECHNICAL REVIEW 09/12/2012
2.	TECHNICAL REVIEW 11/07/2012
3.	TECHNICAL REVIEW 02/12/2013
4.	TECHNICAL REVIEW 05/15/2013
5.	
6.	
7.	
8.	

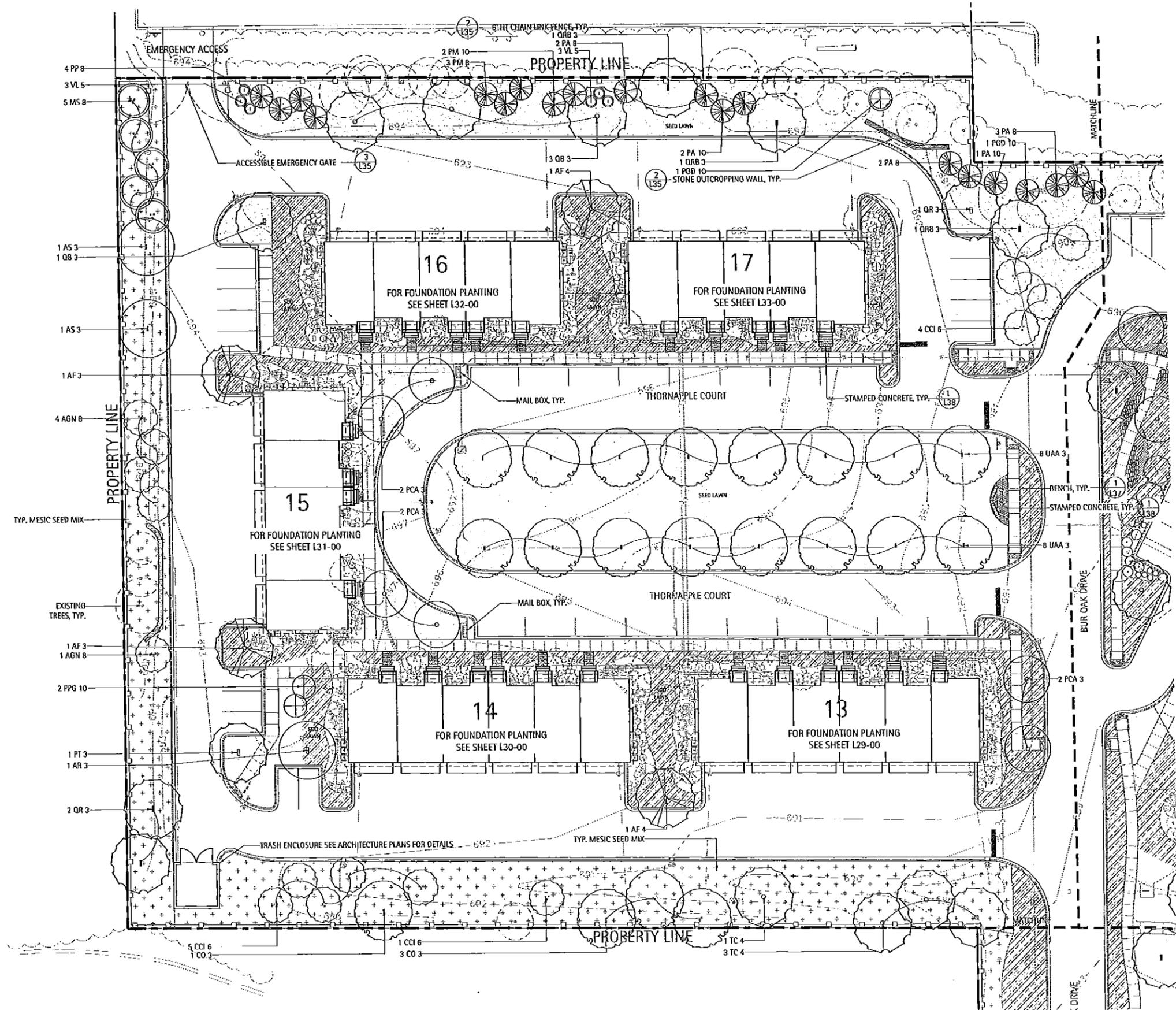
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L3-00



LAKOTA

THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

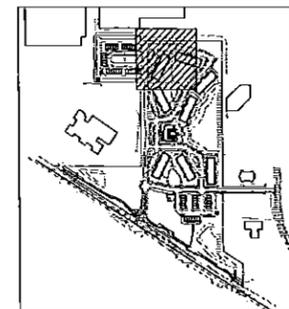
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills Rt. 45 / Vernon Hills, IL

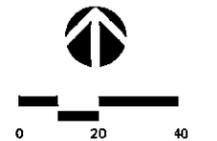
OVERALL PLANTING PLAN

Revisions	
1.	TECHNICAL REVIEW 09/12/2012
2.	TECHNICAL REVIEW 11/07/2012
3.	TECHNICAL REVIEW 02/12/2013
4.	TECHNICAL REVIEW 05/14/2013
5.	
6.	
7.	
8.	

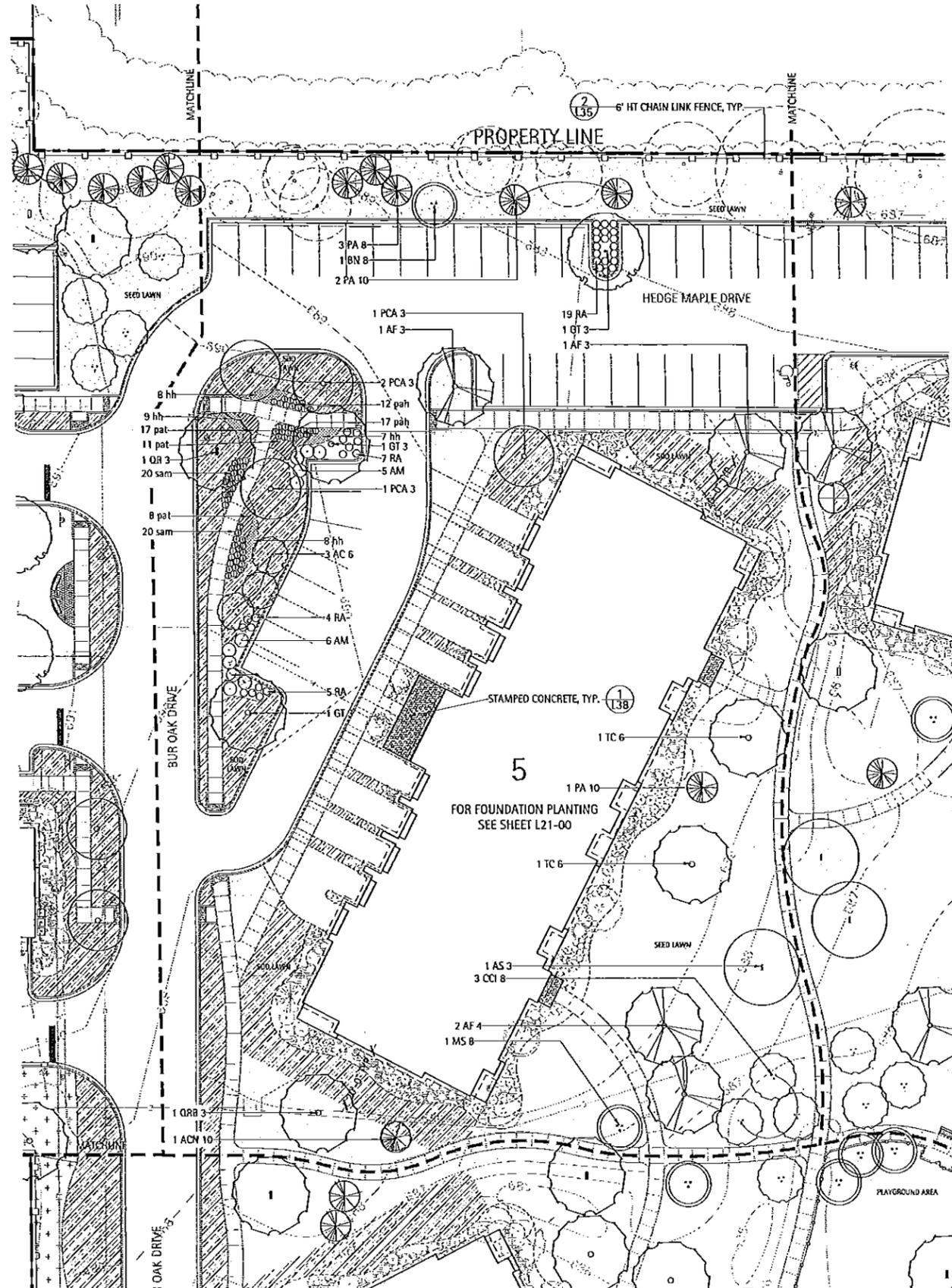
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L4-00





NOT FOR CONSTRUCTION

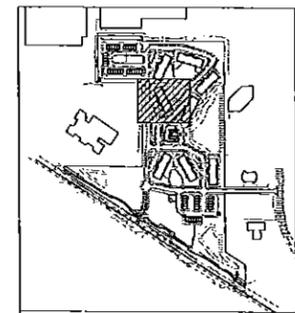
The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

OVERALL PLANTING PLAN

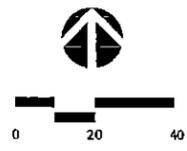
Revisions	
1. TECHNICAL REVIEW	05/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	02/12/2013
4. TECHNICAL REVIEW	05/15/2013

5.
6.
7.
8.

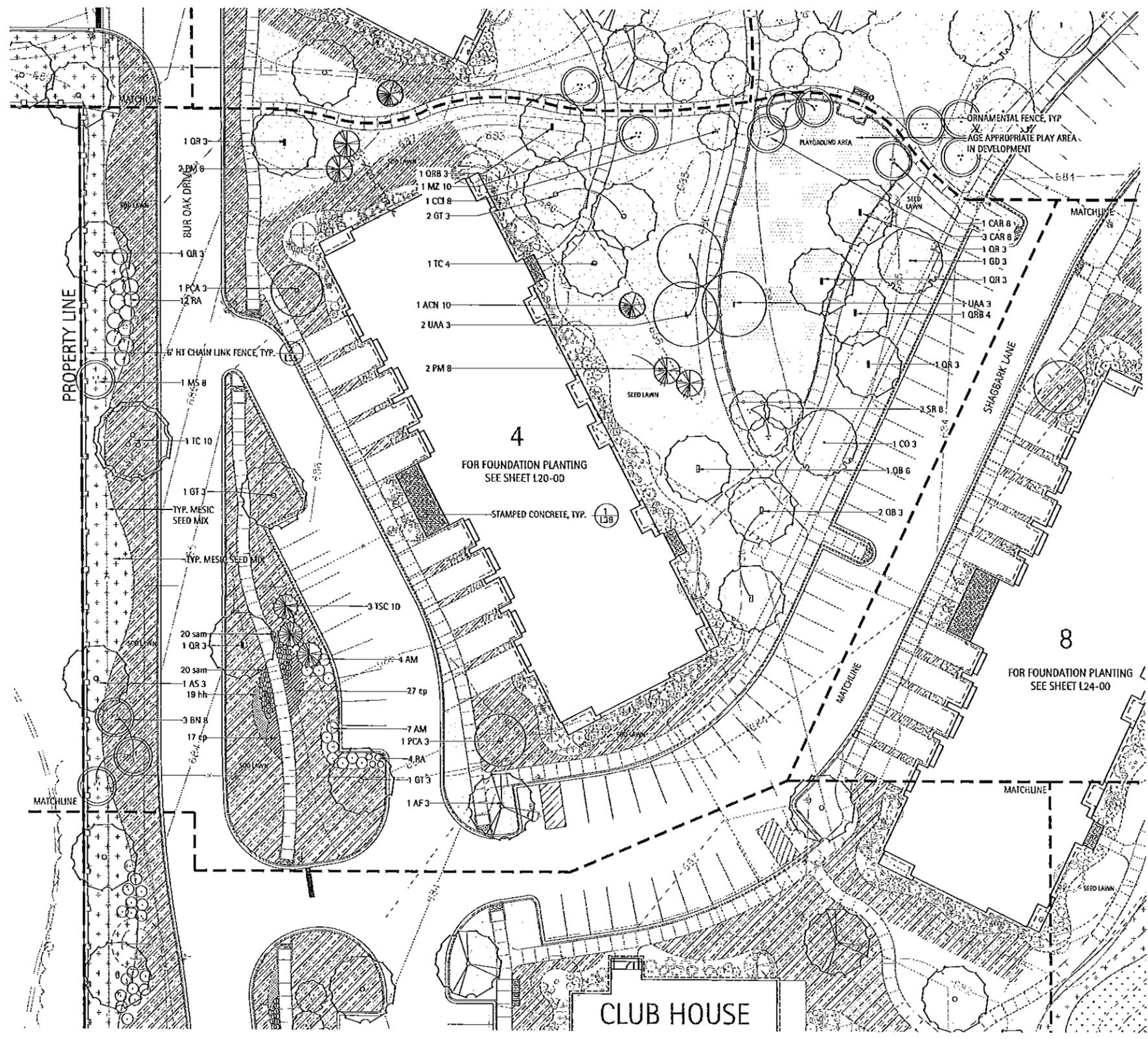
Date: 05/03/2013
Drawn By: JA
Checked By: ZM

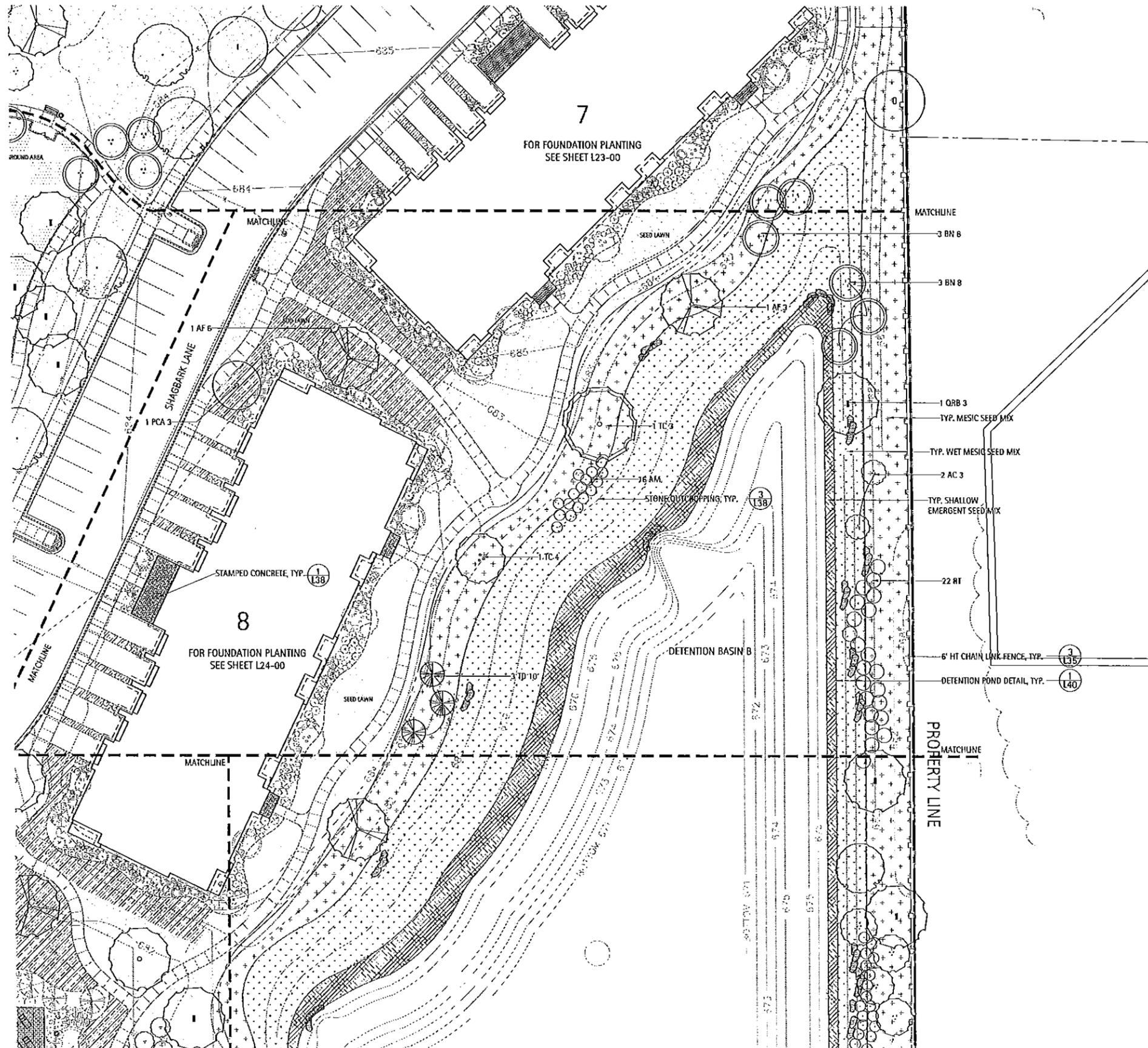


KEY MAP



L6-00





7
FOR FOUNDATION PLANTING
SEE SHEET L23-00

8
FOR FOUNDATION PLANTING
SEE SHEET L24-00

LAKOTA
THE LAKOTA GROUP INC
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

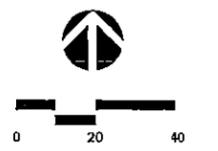
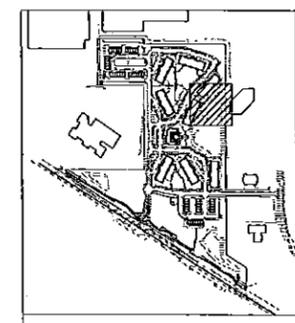
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

**OVERALL
PLANTING
PLAN**

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/13/2013
4. TECHNICAL REVIEW	05/15/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
 Drawn By: JA
 Checked By: ZM



L7-00



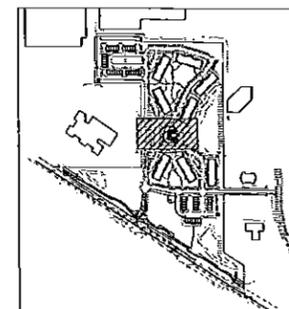
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

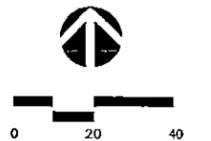
**OVERALL
PLANTING
PLAN**

Revisions	
1.	TECHNICAL REVIEW 05/11/2012
2.	TECHNICAL REVIEW 11/07/2012
3.	TECHNICAL REVIEW 03/13/2013
4.	TECHNICAL REVIEW 05/15/2013
5.	
6.	
7.	
8.	

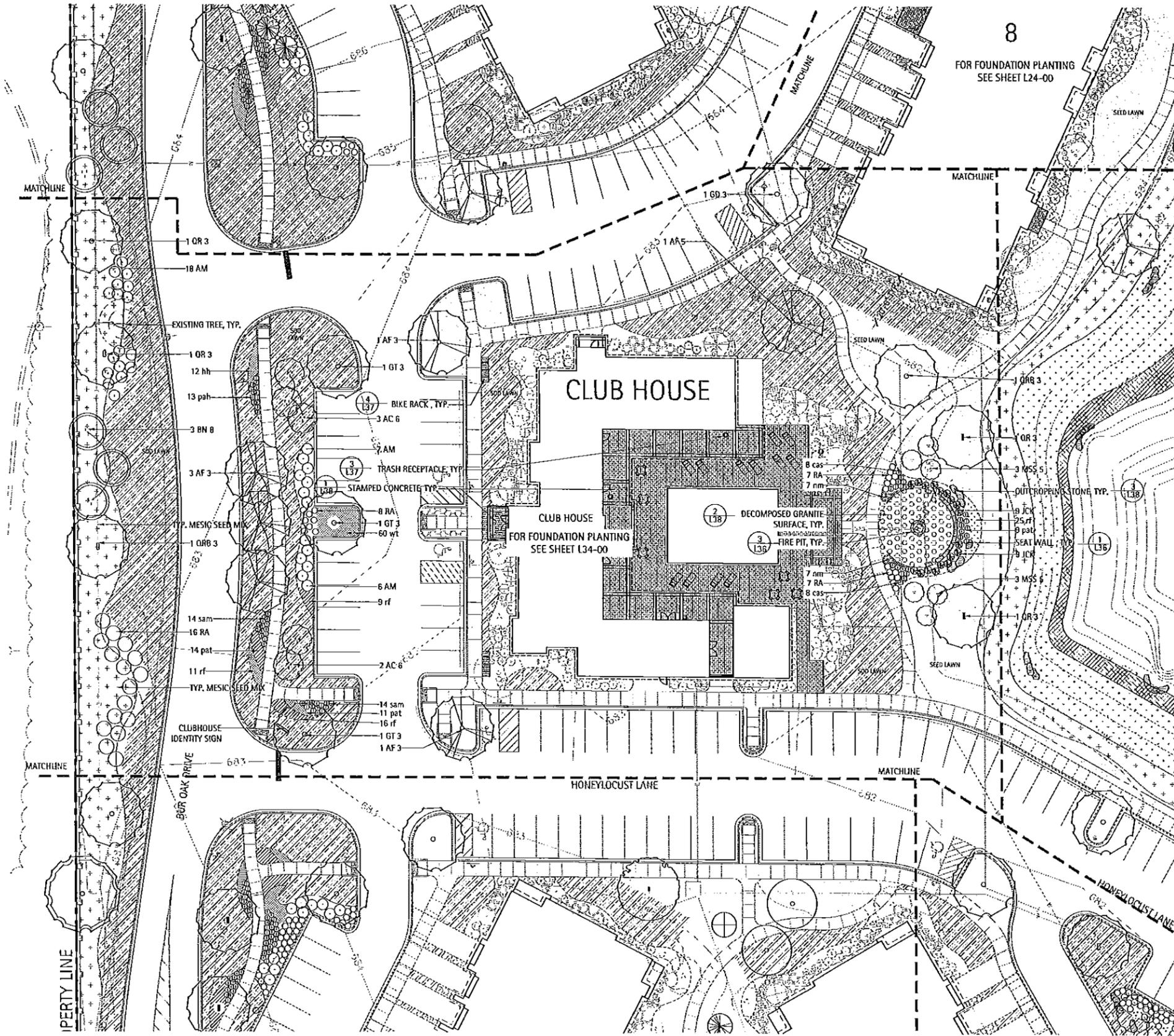
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L8-00





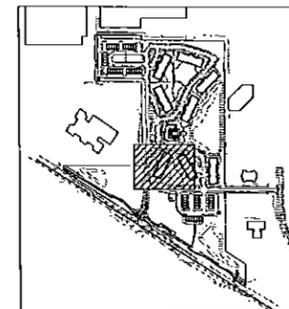
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

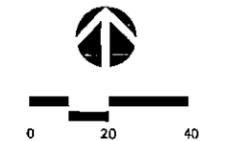
**OVERALL
PLANTING
PLAN**

Revisions	
1.	TECHNICAL REVIEW 09/12/2012
2.	TECHNICAL REVIEW 11/07/2012
3.	TECHNICAL REVIEW 02/12/2013
4.	TECHNICAL REVIEW 05/15/2013
5.	
6.	
7.	
8.	

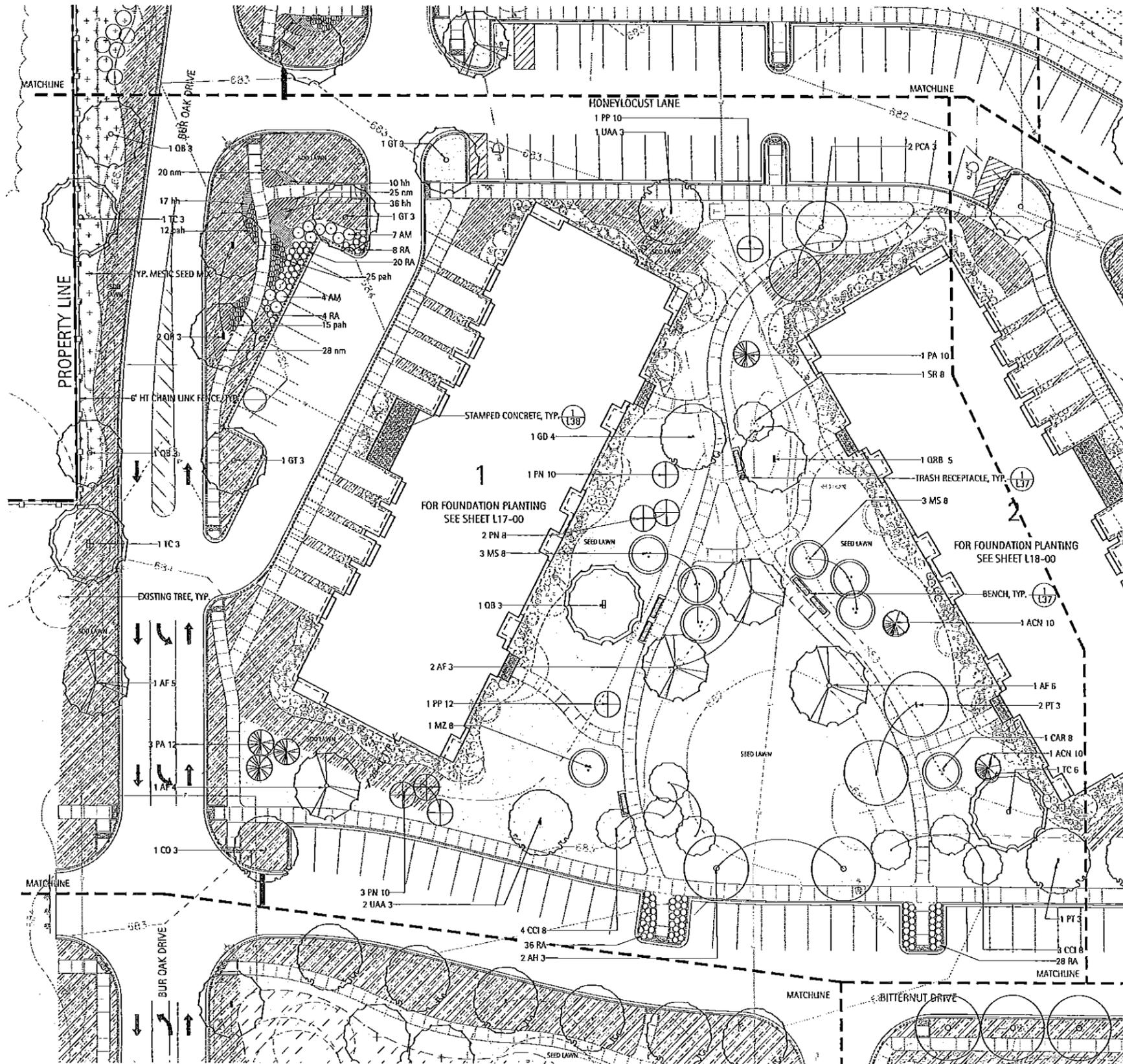
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L10-00



1
FOR FOUNDATION PLANTING
SEE SHEET L17-00

2
FOR FOUNDATION PLANTING
SEE SHEET L18-00



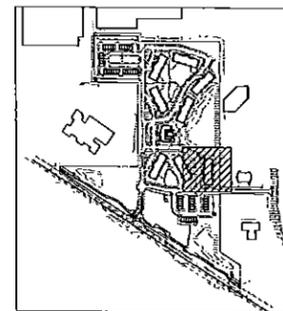
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

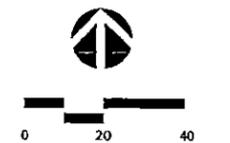
**OVERALL
PLANTING
PLAN**

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/13/2013
4. TECHNICAL REVIEW	05/14/2013
5.	
6.	
7.	
8.	

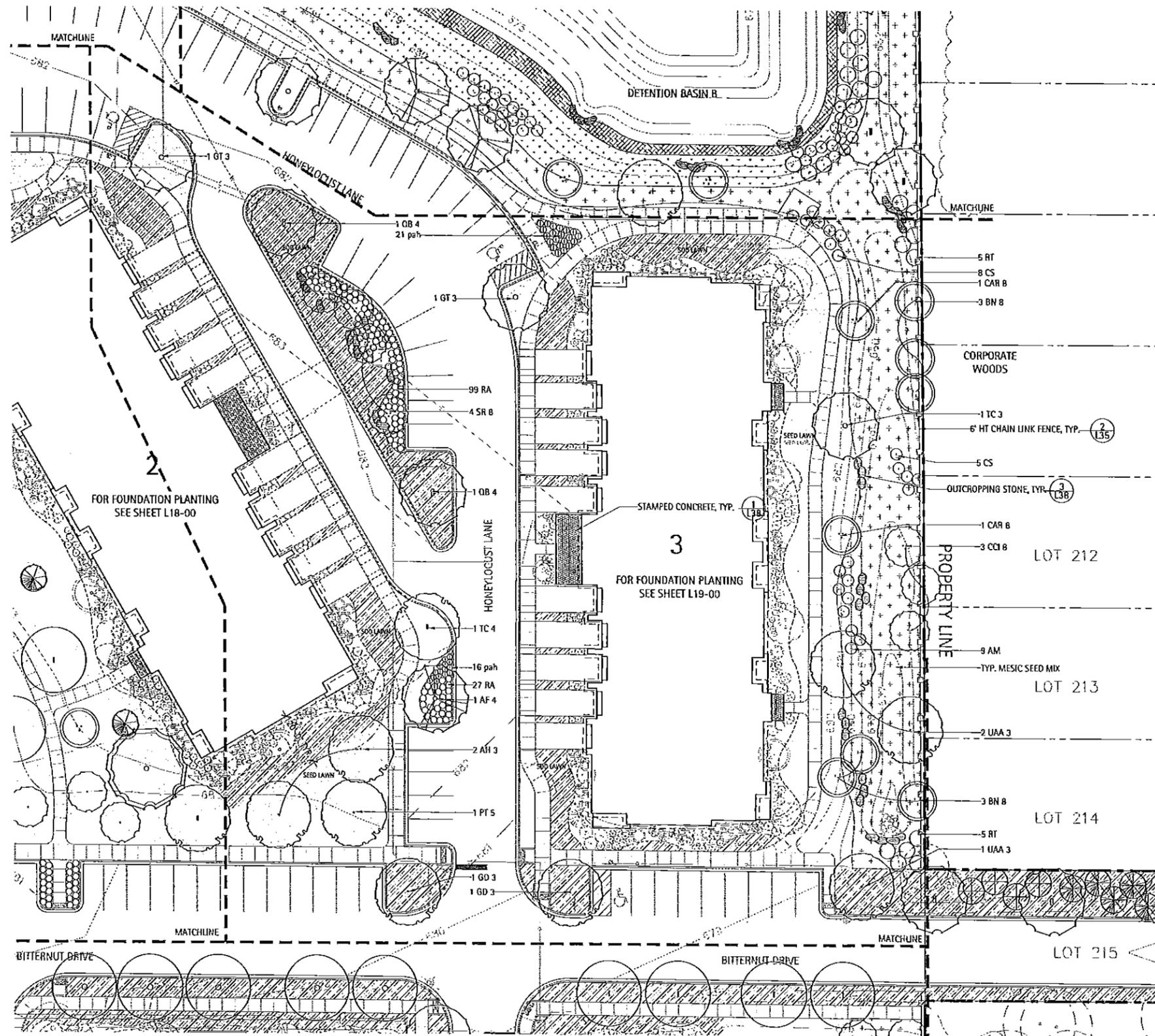
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L11-00



LAKOTA

THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

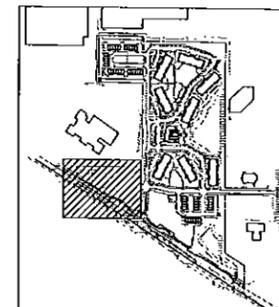
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills Rt. 45 / Vernon Hills, IL

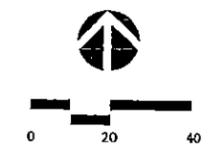
OVERALL PLANTING PLAN

Revisions		
1.	TECHNICAL REVIEW	09/12/2012
2.	TECHNICAL REVIEW	11/07/2012
3.	TECHNICAL REVIEW	03/13/2013
4.	TECHNICAL REVIEW	05/15/2013
5.		
6.		
7.		
8.		

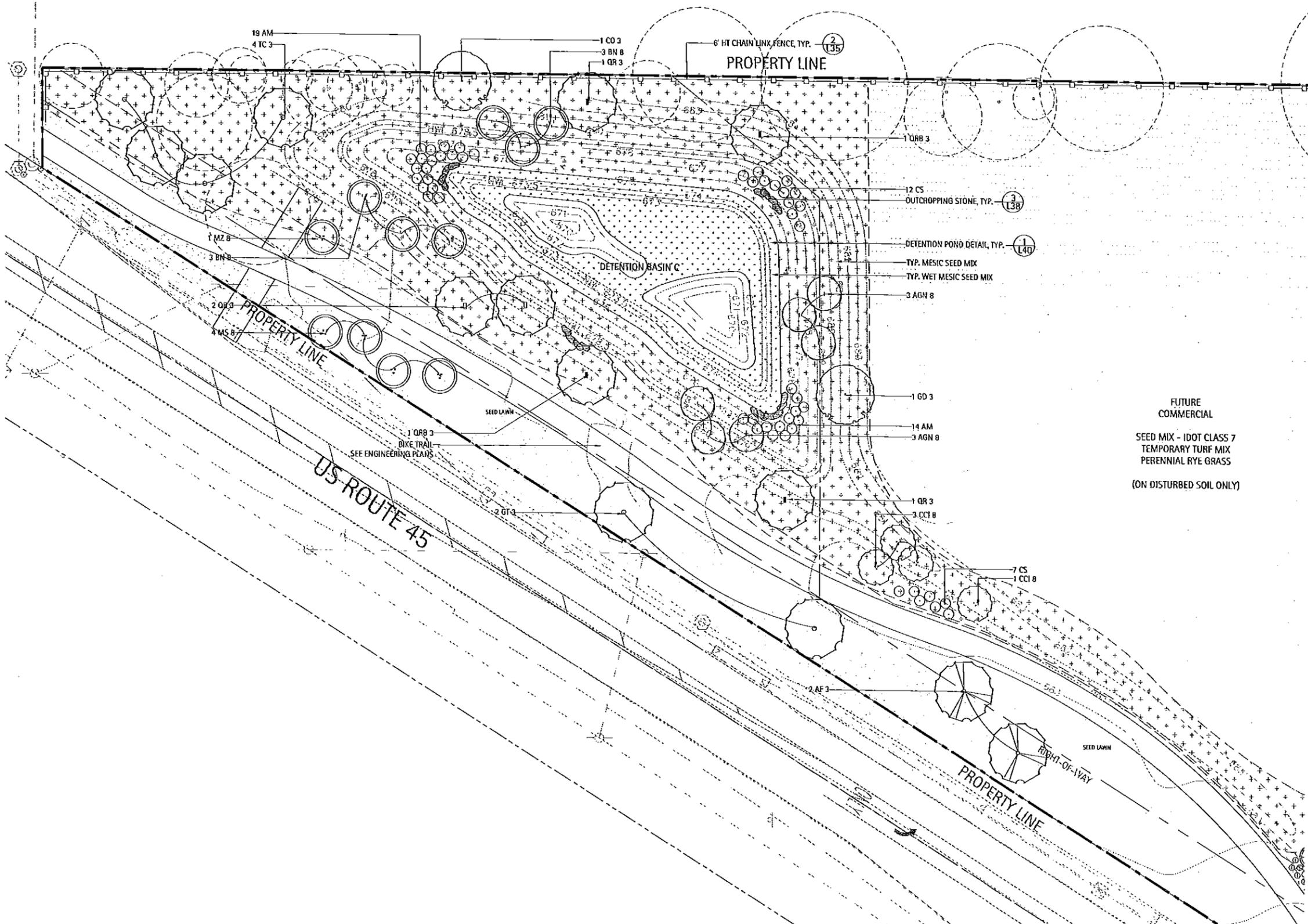
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L12-00



**NOT FOR
 CONSTRUCTION**

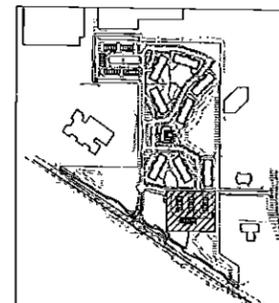
The Oaks of Vernon Hills

Rt. 45 / Vernon Hills, IL

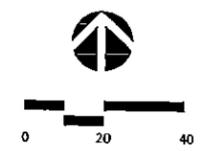
**OVERALL
 PLANTING
 PLAN**

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	02/12/2013
4. TECHNICAL REVIEW	05/12/2013
5.	
6.	
7.	
8.	

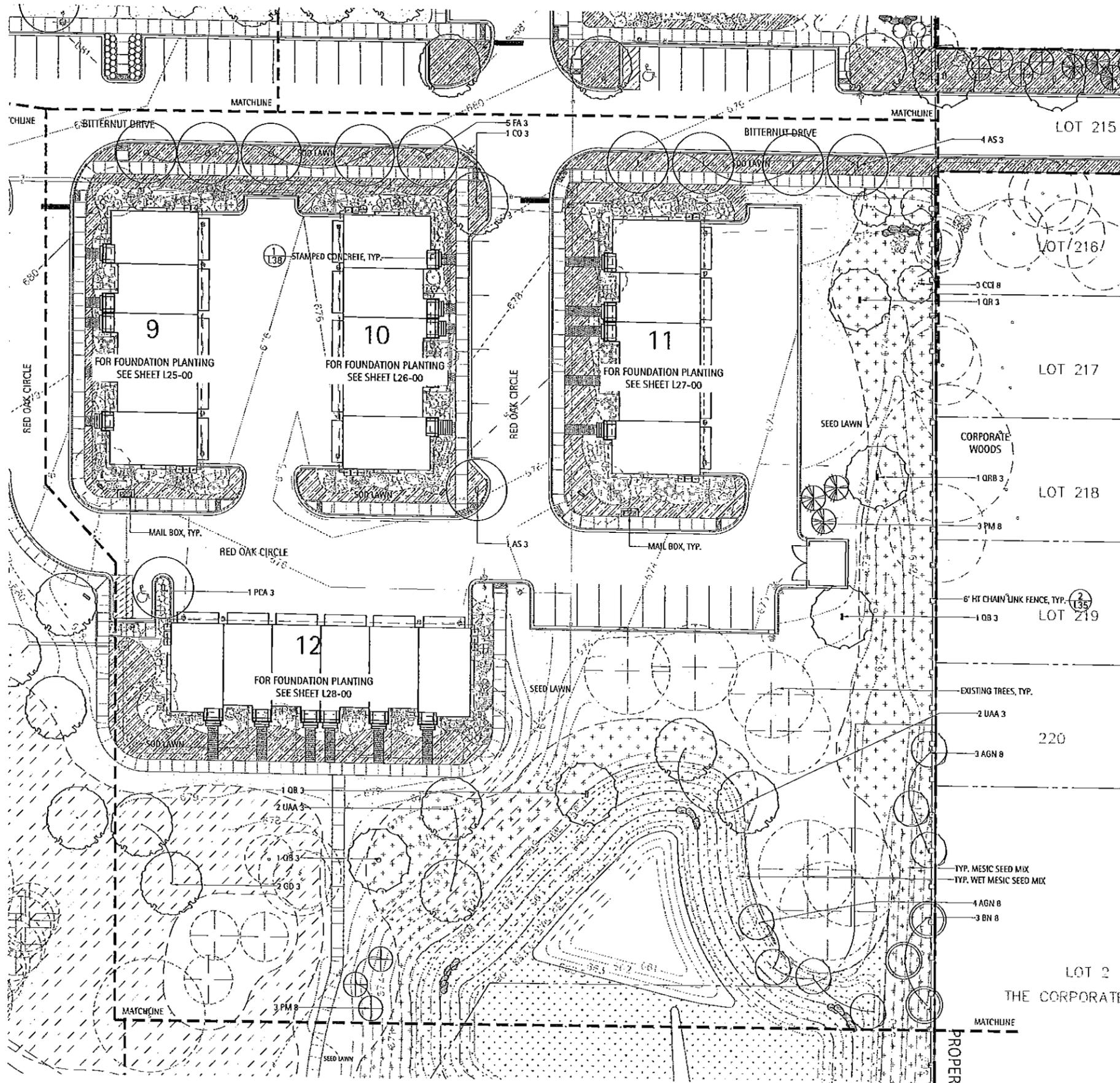
Date: 05/03/2013
 Drawn By: JA
 Checked By: ZM

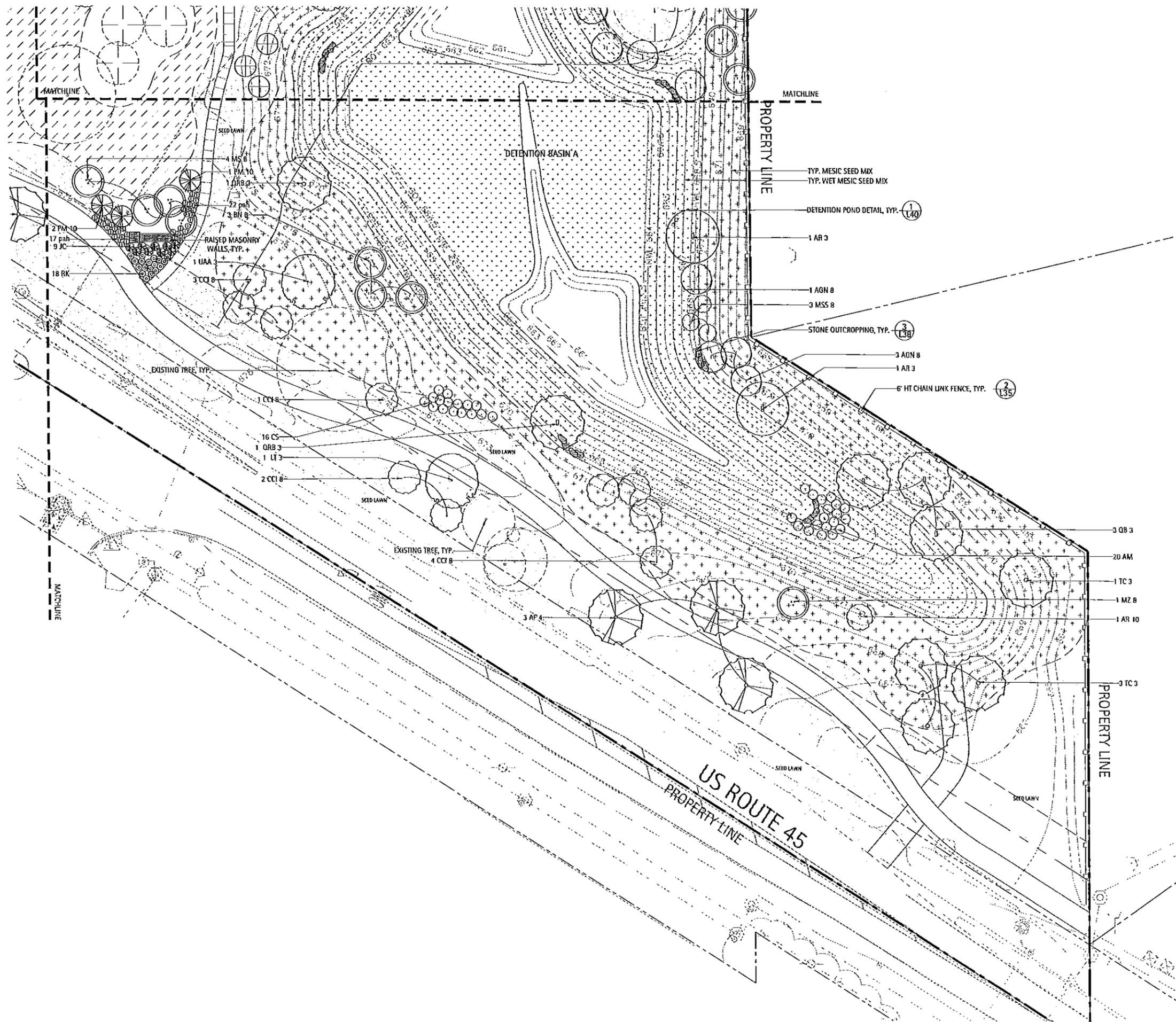


KEY MAP



L14-00





LAKOTA
 THE LAKOTA GROUP INC
 212 West Kinzie Street, 3rd Floor
 Chicago, Illinois 60610
 p 312.467.5445
 f 312.467.5484
 info@thelakotagroup.com

Planning
 Urban Design
 Landscape Architecture
 Community Relations



212 West Kinzie Street, 3rd Floor

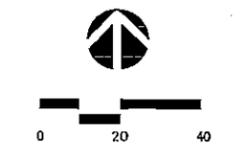
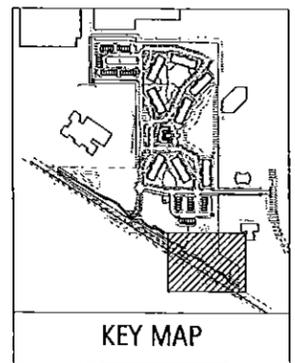
NOT FOR CONSTRUCTION

The Oaks of Vernon Hills
 Rt. 45 / Vernon Hills, IL

OVERALL PLANTING PLAN

Revisions		
1.	TECHNICAL REVIEW	09/12/2012
2.	TECHNICAL REVIEW	11/07/2012
3.	TECHNICAL REVIEW	03/13/2013
4.	TECHNICAL REVIEW	05/15/2013
5.		
6.		
7.		
8.		

Date: 05/03/2013
 Drawn By: JA
 Checked By: ZM



L15-00

LAKOTA

THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

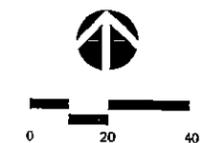
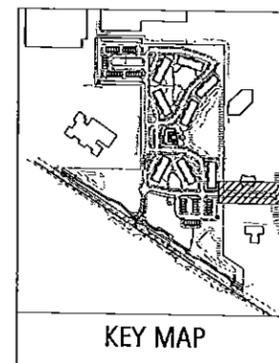
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills Rt. 45 / Vernon Hills, IL

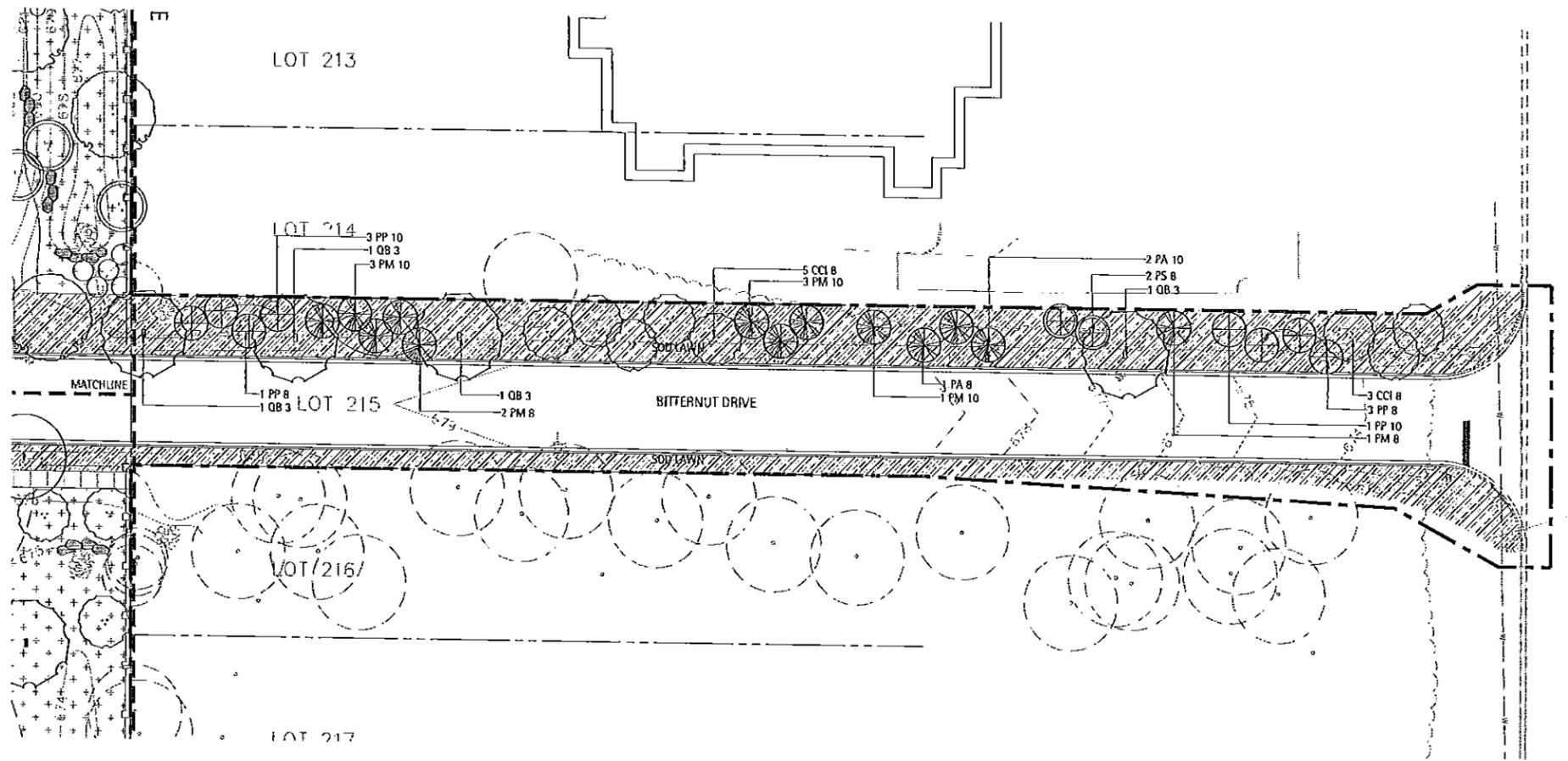
OVERALL PLANTING PLAN

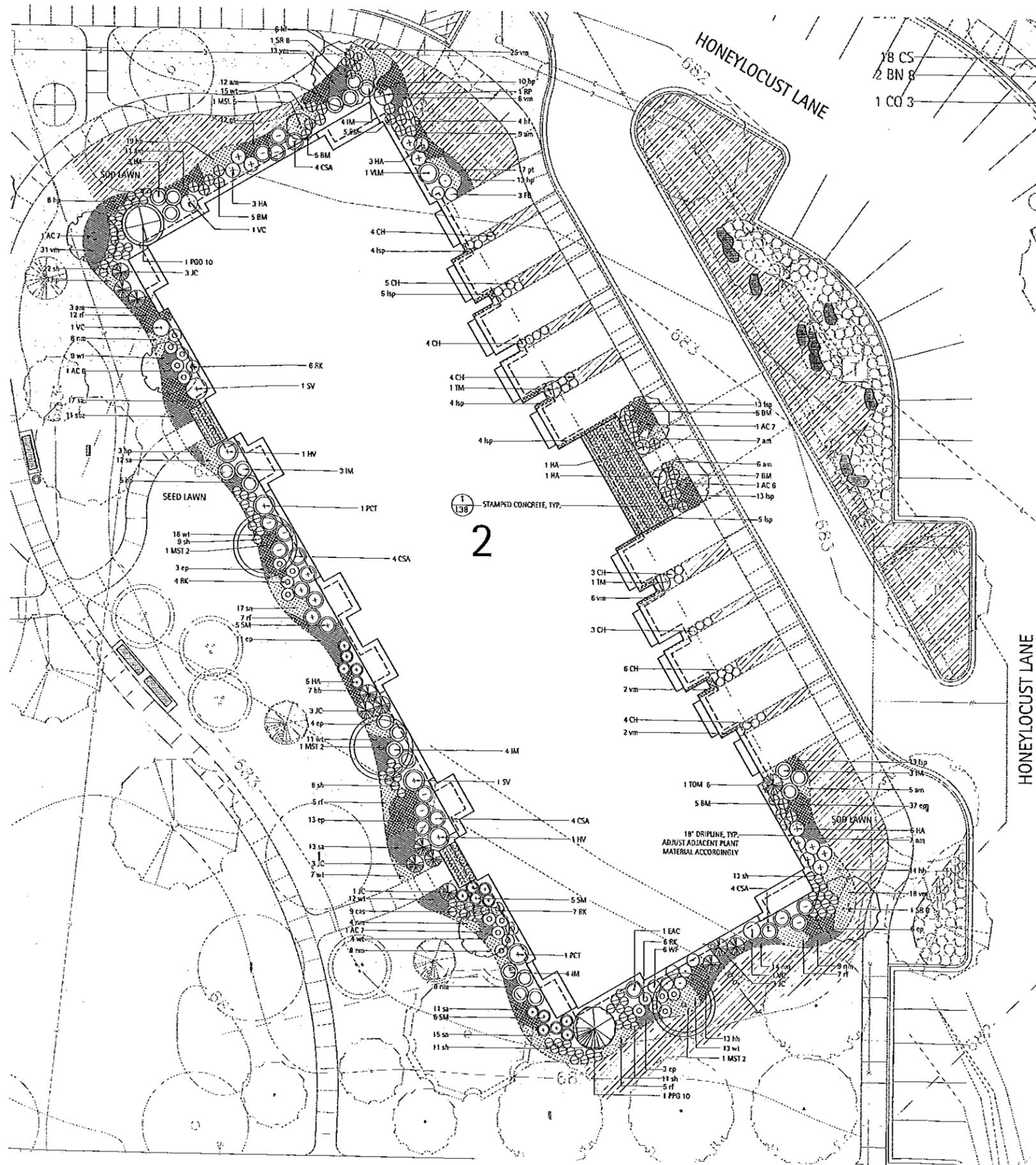
Revisions		
1.	TECHNICAL REVIEW	09/12/2012
2.	TECHNICAL REVIEW	11/07/2012
3.	TECHNICAL REVIEW	03/12/2013
4.	TECHNICAL REVIEW	09/15/2013
5.		
6.		
7.		
8.		

Date: 05/03/2013
 Drawn By: JA
 Checked By: ZM



L16-00





APARTMENT BUILDING #2 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
ORNAMENTAL TREES				
AC 6	2	<i>Amelanchier canadensis</i>	Shadow Serviceberry	Size
AC 7	3	<i>Amelanchier canadensis</i>	Shadow Serviceberry	BBB, Multi-Stem
MSL 5	1	<i>Magnolia stellata</i>	Star Magnolia	BBB, Multi-Stem
MST 2	3	<i>Malus sargenti</i> 'Tina'	Tina Sargent Crab	BBB, Single Stem
SR 6	1	<i>Syringa reticulata</i> 'Ivory Silk'	Japanese Tree Lilac	BBB, Multi Stem
SR 8	1	<i>Syringa reticulata</i> 'Ivory Silk'	Japanese Tree Lilac	BBB, Multi Stem
EVERGREEN TREES				
PGD 10	1	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	BBB
PPG 10	1	<i>Picea pungens</i> 'Glauca'	Colorado Blue Spruce	BBB
DECIDUOUS SHRUBS				
CSA	16	<i>Cornus sericea</i> 'Allemand'	Allemand's Compact Redtwig Dogwood	Size
CH	33	<i>Cotoneaster horizontalis</i> 'Hesse'	Hess Rockspray Cotoneaster	BBB or CG
EAC	1	<i>Euonymus alata</i> 'Compactus'	Dwarf Winged Euonymus	BBB or CG
FB	3	<i>Fothergilla gardenii</i> 'Beaver Creek'	Beaver Creek Dwarf Bottlebrush Fothergilla	BBB or CG
HV	2	<i>Hamamelis virginiana</i>	Common Witch Hazel	BBB or CG
HA	19	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	BBB or CG
PCT	2	<i>Prunus x cistena</i>	Purple Sand Cherry	BBB or CG
RP	1	<i>Rhododendron</i> 'Catawba'	Catawba Rhododendron	BBB
RK	23	<i>Rosa</i> 'Knockout'	Knockout Rose	CG
SM	16	<i>Syringa meyeri</i>	Dwarf Korean Lilac	BBB or CG
SV	2	<i>Syringa vulgaris</i>	Common Lilac	BBB or CG
VC	3	<i>Viburnum cedasi</i>	Korean Spice Viburnum	BBB or CG
VLM	1	<i>Viburnum lantana</i> 'Mohican'	Mohican Wayfaring Tree	BBB
WF	6	<i>Weigela Florida</i> 'Wine and Roses'	Wine and Roses Weigela	BBB or CG
EVERGREEN SHRUBS				
BM	32	<i>Buxus microphylla</i> 'Wintergreen'	Wintergreen Boxwood	Size
IM	21	<i>Ilex meserveae</i> 'China Boy/China Girl'	China Boy/China Girl Holly (Ilex Male/Female Ratio)	BBB or CG
JC	13	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	BBB or CG
TM	2	<i>Taxus media</i> 'Densiformis'	Dense Yew	BBB or CG
TOM 6	1	<i>Thuja occidentalis</i> 'Mission'	Mission Arborvitae	BBB
PERENNIALS, ORNAMENTAL GRASSES				
am	53	<i>Alchemilla mollis</i>	Lady's Mantle	Size
esp	9	<i>Calamagrostis acutifolia</i> 'Sylvia'	Feather Reed Grass	CG, 18" o.c.
ep	77	<i>Echinacea purpurea</i> 'Magnus Pink'	Purple Coneflower	CG
ga	12	<i>Geranium sanguineum</i>	Bloody Red Cranesbill	CG, 24" o.c.
hh	34	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	CG, 18" o.c.
hp	61	<i>Heuchera micrantha</i> 'Purple Palace'	Purple Palace Coral Bells	CG, 18" o.c.
hf	10	<i>Hosta sieboldiana</i> 'Frances Williams'	Frances Williams Hosta	CG, space as shown
lsp	61	<i>Liriope spicata</i>	Lilyturf	CG, 18" o.c.
nm	58	<i>Nepeta x mussini</i> 'Blue Wonder'	Blue Wonder Catmint	CG, 18" o.c.
rf	36	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black-eyed Susan	CG, 24" o.c.
sn	32	<i>Salvia nemorosa</i> 'East Friesland'	East Friesland Sage	CG, 24" o.c.
sa	53	<i>Sedum</i> 'Autumn Joy'	Autumn Joy Sedum	CG
sh	74	<i>Sporobolus heterolepis</i>	Prairie Dropseed	CG
stz	11	<i>Stachys byzantina</i>	Lambscar	CG
GROUNDCOVERS				
pl	17	<i>Pachysandra terminalis</i>	Japanese Flowering Spurge	Size
vm	105	<i>Vinca minor</i> 'Bowles'	Bowles Periwinkle	quart 16" o.c. spacing
wl	87	<i>Waldsteinia ternata</i>	Barren Strawberry	quart 16" o.c. spacing

NOTES

- IF SIDE YARD GRADE CONDITIONS WARRANT, BOULDER OUTCROPPINGS SHOULD BE PLACED TO ADDRESS GRADE.

LAKOTA
THE LAKOTA GROUP INC
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

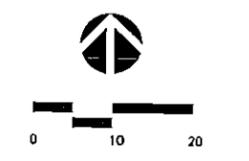
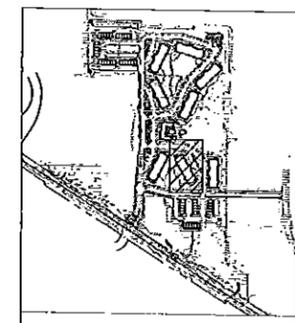
NOT FOR CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

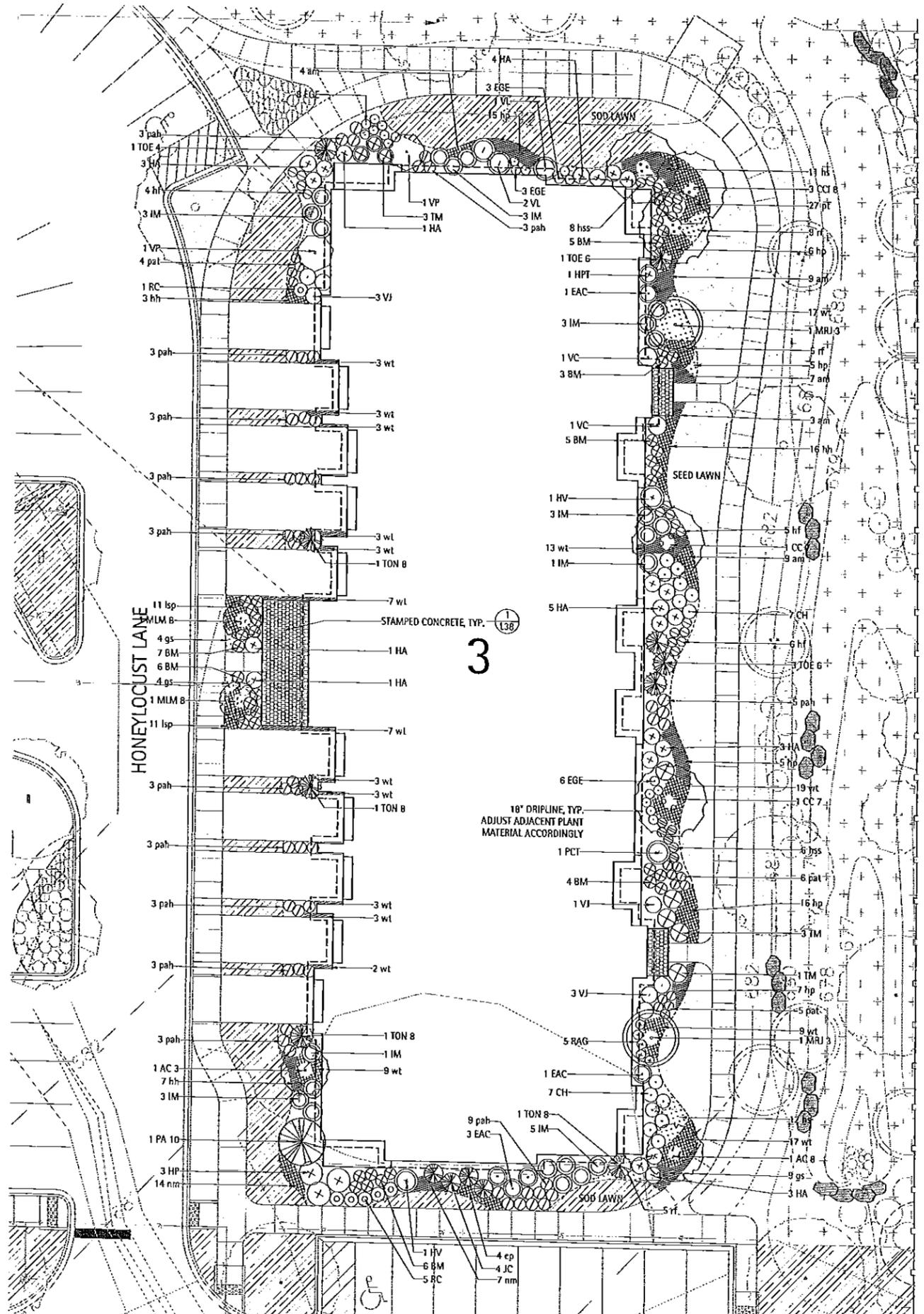
APARTMENT BUILDING 2
LANDSCAPE PLAN

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/12/2013
4. TECHNICAL REVIEW	05/14/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



L18-00



APARTMENT BUILDING #3 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
ORNAMENTAL TREES				
AC 3	1 <i>Amelanchier canadensis</i>	Shadblow Serviceberry	3" caliper	BBB, Single Stem
AC 0	1 <i>Amelanchier canadensis</i>	Shadblow Serviceberry	8" ht.	BBB, Multi-Stem
CC 7	2 <i>Cercis canadensis</i>	Red bud	7" ht.	BBB, Multi-Stem
CC 8	3 <i>Crataegus crusgalli 'Inermis'</i>	Thornless Cockspur Hawthorn	8" ht.	BBB, Multi-Stem
HPT	1 <i>Hydrangea paniculata 'Tardiva'</i>	Late Panicle Hydrangea	4-5' ht.	BBB, Single Stem
MLM 8	2 <i>Magnolia x loebneri 'Merli'</i>	Dr. Merill Magnolia	6-7' ht.	BBB, Multi Stem
MRJ 3	2 <i>Malus 'Red Jewel'</i>	Red Jewel Crabapple	3" cal.	BBB, Single Stem
EVERGREEN TREES				
PA 10	1 <i>Picea abies</i>	Norway Spruce	10' ht.	BBB
DECIDUOUS SHRUBS				
CH	14 <i>Cotoneaster horizontalis 'Yvesee'</i>	Hess Rockspray Cotoneaster	5 gal.	BBB or CG
EAC	5 <i>Euonymus alata 'Compactus'</i>	Dwarf Winged Euonymus	30-36" ht.	BBB or CG
EGE	20 <i>Euonymus fortunei 'Emerald 'N Gold'</i>	Emerald 'N Gold Euonymus	15-18" spr.	BBB
HV	2 <i>Hamamelis virginiana</i>	Common Witch Hazel	42-48" ht.	BBB or CG
HA	21 <i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Smooth Hydrangea	5 gal.	BBB or CG
HP	4 <i>Hydrangea paniculata 'Tardiva'</i>	Tardiva Hydrangea	5 gal.	BBB or CG
PCT	1 <i>Prunus x cistena</i>	Purple Sand Cherry	30-36" ht.	BBB or CG
RAO	5 <i>Ribes alpinum 'Greenmound'</i>	Greenmound Alpine Currant	15-18" spr.	BBB or CG
RC	6 <i>Rosa 'Flower Carpet Pink'</i>	Flower Carpet Pink Shrub Rose	5 gal.	CG
VC	2 <i>Viburnum cadesii</i>	Korean Spice Viburnum	36" ht.	BBB or CG
VL	3 <i>Viburnum lentago</i>	Nannyberry Viburnum	30-36" ht.	BBB
VP	2 <i>Viburnum prunifolium</i>	Blackhaw Viburnum	5' ht.	BBB
VJ	7 <i>Viburnum x judii</i>	Judd Viburnum	30" ht.	BBB or CG
EVERGREEN SHRUBS				
BM	35 <i>Buxus microphylla 'Wintergreen'</i>	Wintergreen Boxwood	5 gal.	BBB or CG
IM	22 <i>Ilex meserveae 'China Boy/China Girl'</i>	China Boy/China Girl Holly (1 & 1 Male/Female Ratio)	24"	BBB or CG
JC	4 <i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	5 gal.	BBB or CG
TM	7 <i>Taxus media 'Densiformis'</i>	Dense Yew	36" spr.	BBB or CG
TOE 4	1 <i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	4" ht.	BBB or CG
TOE G	4 <i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	6" ht.	BBB or CG
TON 8	4 <i>Thuja occidentalis 'Nigra'</i>	Black Arborvitae	8" ht.	BBB
PERENNIALS, ORNAMENTAL GRASSES				
am	32 <i>Alochemilla mollis</i>	Lady's Mantle	1 gal.	CG, 18" o.c.
ep	4 <i>Echinacea purpurea 'Magnus Pink'</i>	Purple Coneflower	1 gal.	CG, 24" o.c.
gs	17 <i>Geranium sanguineum</i>	Bloody Red Cranesbill	1 gal.	CG, 18" o.c.
hh	26 <i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	1 gal.	CG, 18" o.c.
le	23 <i>Hemerocallis 'Stella de Oro'</i>	Yellow Daylily	1 gal.	CG
hp	54 <i>Heuchera micrantha 'Purple Palace'</i>	Purple Palace Coral Bells	1 gal.	CG, 18" o.c.
mf	15 <i>Hosta sieboldiana 'Frances Williams'</i>	Frances Williams Hosta	1 gal.	CG, 18" o.c.
hss	14 <i>Hosta Sum and Substance</i>	Sum and Substance Hosta	1 gal.	CG, space as shown
lsp	22 <i>Liriope spicata</i>	Lilyturf	1 gal.	CG, 18" o.c.
nm	21 <i>Negeta x musini 'Blue Wonder'</i>	Blue Wonder Calmint	1 gal.	CG, 18" o.c.
pah	47 <i>Penstemon sp. 'Dwarf Fountain Grass'</i>	Dwarf Fountain Grass	1 gal.	CG, space as shown
pat	15 <i>Perovskia atriplicifolia 'Longin'</i>	Russian Sage	1 gal.	CG, space as shown
rf	19 <i>Rudbeckia fulgida 'Goldstrum'</i>	Black-eyed Susan	1 gal.	CG, 24" o.c.
GROUNDCOVERS				
pl	27 <i>Pachysandra terminalis</i>	Japanese Flowering Spurge	quart	16" o.c. spacing
wt	127 <i>Waldsteinia ternata</i>	Barren Strawberry	quart	16" o.c. spacing

NOTES

IF SIDE YARD GRADE CONDITIONS WARRANT, BOULDER OUTCROPPINGS SHOULD BE PLACED TO ADDRESS GRADE.

LAKOTA
THE LAKOTA GROUP, INC.
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

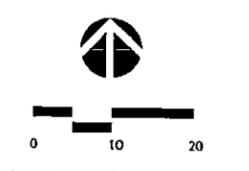
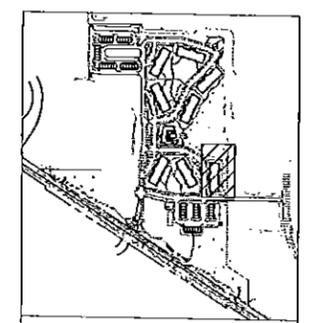
NOT FOR CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

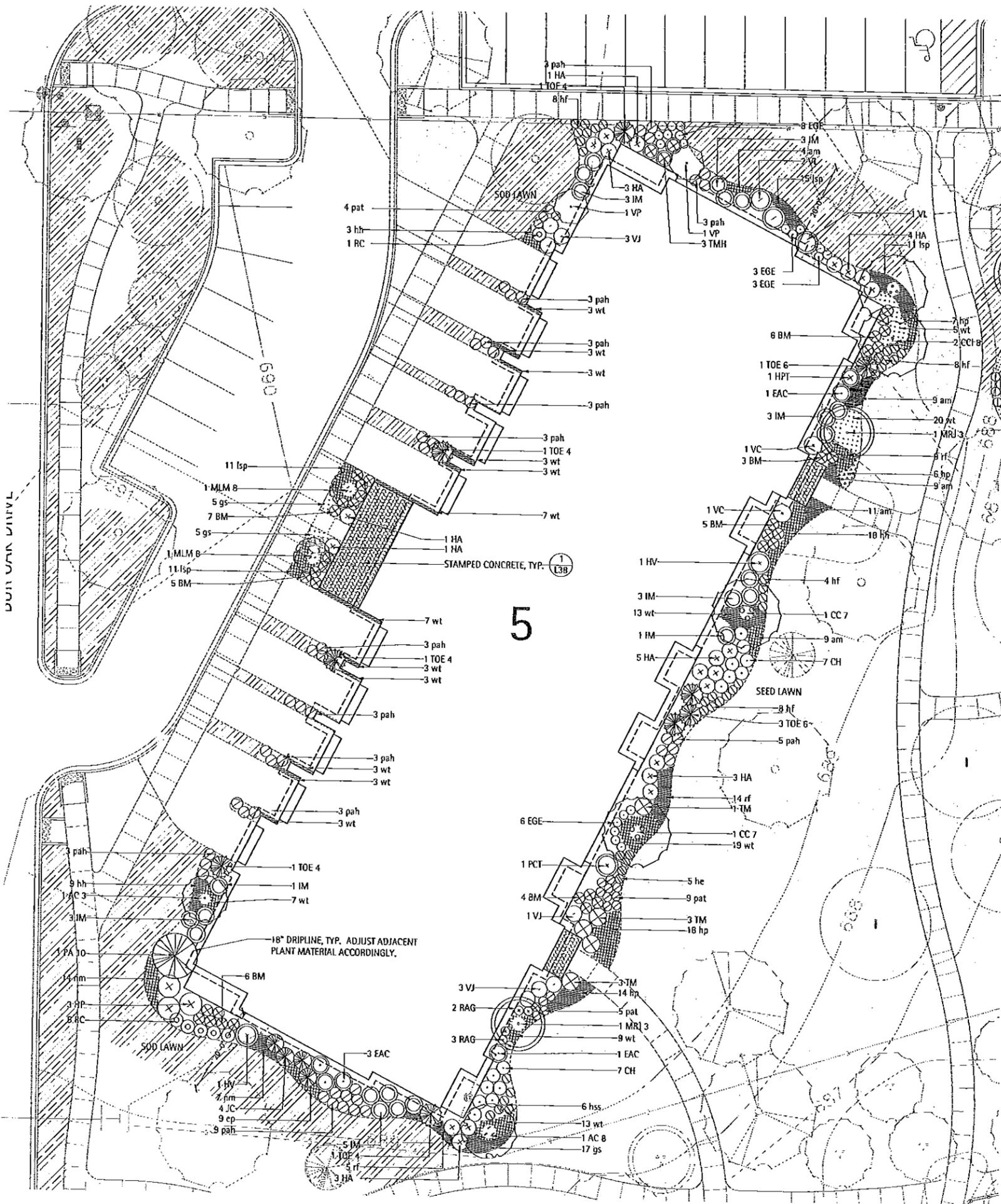
APARTMENT BUILDING 3
LANDSCAPE PLAN

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/12/2013
4. TECHNICAL REVIEW	05/15/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



L19-00



APARTMENT BUILDING #5 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
ORNAMENTAL TREES				
AC 3	1 Amelanchier canadensis	Shadblow Serviceberry	3" caliper	BBB, Single Stem
AC 8	1 Amelanchier canadensis	Shadblow Serviceberry	8" ht.	BBB, Multi-Stem
CC 7	2 Cercis canadensis	Red bud	7" ht.	BBB, Multi-Stem
CC 18	2 Crataegus crusgalli 'Inermis'	Thornless Cockspur Hawthorn	8" ht.	BBB, Multi-Stem
HPT	1 Hydrangea paniculata 'Tardiva'	Late Panicle Hydrangea	4-5' ht.	BBB, Single Stem
MLM 8	2 Magnolia x foetida 'Merill'	Dr. Merrill Magnolia	6-7' ht.	BBB, Multi Stem
MRJ 3	2 Malus 'Red Jewel'	Red Jewel Crabapple	3" cal.	BBB, Single Stem
EVERGREEN TREES				
FA 10	1 Picea abies	Norway Spruce	10' ht.	BBB
DECIDUOUS SHRUBS				
CH	14 Cotoneaster horizontalis 'Hessel'	Hess Rockspray Cotoneaster	5 gal.	BBB or CG
EAC	5 Euonymus alata 'Compactus'	Dwarf Winged Euonymus	30-35" ht.	BBB or CG
EBE	20 Euonymus fortunei 'Emerald 'N Gold'	Emerald 'N Gold Euonymus	15-18" spr.	BBB
HV	2 Hamamelis virginiana	Common Witch Hazel	42-48" ht.	BBB or CG
HA	21 Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	BBB or CG
HP	4 Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea	5 gal.	BBB or CG
PCT	1 Prunus x cistena	Purple Sand Cherry	30-35" ht.	BBB or CG
RAG	5 Ribes alpinum 'Greenmount'	Greenmount Alpine Currant	15-18" spr.	BBB or CG
RC	6 Rosa 'Flower Carpet Pink'	Flower Carpet Pink Shrub Rose	5 gal.	CG
VC	2 Viburnum carlesii	Korean Spice Viburnum	36" ht.	BBB or CG
VL	3 Viburnum lentago	Nannyberry Viburnum	30-35" ht.	BBB
VP	2 Viburnum prunifolium	Blackhaw Viburnum	5' ht.	BBB
VJ	7 Viburnum x juddii	Judd Viburnum	36" ht.	BBB or CG
EVERGREEN SHRUBS				
BM	36 Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	5 gal.	BBB or CG
IM	22 Ilex meserveae 'China Boy/China Girl'	China Boy/China Girl Holly (5 Male/Female Ratio)	24"	BBB or CG
JC	4 Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	BBB or CG
TM	7 Taxus media 'Densiflora'	Dense Yew	36" spr.	BBB or CG
TMH	3 Taxus media 'Hicks'	Hicks Yew	36" ht.	BBB or CG
TOE 4	5 Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	4' ht.	BBB or CG
TOE 6	4 Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	6' ht.	BBB or CG
PERENNIALS, ORNAMENTAL GRASSES				
am	42 Alchemilla mollis	Lady's Mantle	1 gal.	CG, 18" o.c.
cp	9 Echinacea purpurea 'Magnus Pink'	Purple Coneflower	1 gal.	CG, 24" o.c.
gs	27 Geranium sanguineum	Bloody Red Cranesbill	1 gal.	CG, 18" o.c.
hh	30 Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.	CG, 18" o.c.
hp	45 Heuchera micrantha 'Purple Palace'	Purple Palace Coral Bells	1 gal.	CG, 18" o.c.
he	5 Hosta sieboldiana 'Elegans'	Elegans Hosta	1 gal.	CG, space as shown
hf	28 Hosta sieboldiana 'Frances William'	Frances William Hosta	1 gal.	CG, space as shown
hss	6 Hosta Sum and Substance	Sum and Substance Hosta	1 gal.	CG, space as shown
lsp	48 Liriope spicata	Lilyturf	1 gal.	CG, space as shown
nm	21 Nepeta x massini 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CG, 18" o.c.
pah	47 Penstemon aplocaucoides 'Hamelr'	Dwarf Fountain Grass	1 gal.	CG, 18" o.c.
pal	18 Perovskia atriplicifolia 'Longin'	Russian Sage	1 gal.	CG, space as shown
rf	28 Rudbeckia hirta 'Goldstrum'	Black-eyed Susan	1 gal.	CG, 24" o.c.

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA
THE LAKOTA GROUP INC
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

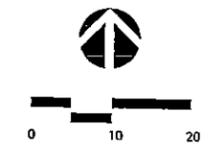
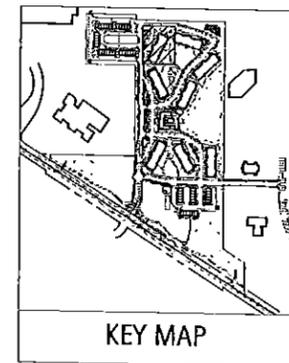
NOT FOR CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

APARTMENT BUILDING 5
LANDSCAPE PLAN

Revisions		
1.	TECHNICAL REVIEW	09/12/2012
2.	TECHNICAL REVIEW	11/07/2012
3.	TECHNICAL REVIEW	03/13/2013
4.	TECHNICAL REVIEW	05/15/2013
5.		
6.		
7.		
8.		

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



L21-00



APARTMENT BUILDING #6 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
ORNAMENTAL TREES				
AC 7	<i>Aspidodendron canadense</i>	Shadblow Serviceberry	5 ft	BBB
BN 8	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	7 ft	BBB, Multi-System
CC 8	<i>Cornus corymbosa</i> 'Toemir'	Thornless Cockspar Hawthorn	6 ft	BBB, Multi-System
MSL 5	<i>Magnolia stellata</i>	Star Magnolia	5 ft	BBB, Multi-System
MS 7	<i>Morus nigra</i> 'Tina'	Tina Sargent Crab	2" caliper	BBB, Single System
SR 6	<i>Syringa reticulata</i> 'Navy Silk'	Japanese Tree Lilac	8 ft	BBB, Multi System
EVERGREEN TREES				
PGD 10	<i>Picea glauca</i> 'Dorset'	Black Hills Spruce	10 ft	BBB
PPG 8	<i>Picea canadensis</i> 'Glauca'	Colorado Blue Spruce	8 ft	BBB
ESC 5	<i>Taxus canadensis</i>	Hemlock	8 ft	BBB
DECIDUOUS SHRUBS				
CSA 7	<i>Cornus sericea</i> 'Alemann'	Alemann's Compact Redtwig Dogwood	5 gal.	BBB or CG
CH 33	<i>Cotoneaster horizontalis</i> 'Hessii'	Hess Rockspray Cobaneaster	5 gal.	BBB or CG
EAC 1	<i>Eriogonum alba</i> 'Compactus'	Dwarf Winged Eriogonum	30-36" ht.	BBB or CG
FB 3	<i>Fatsia japonica</i> 'Beaver Creek'	Beaver Creek Dwarf Borneolobush Fothergilla	5 gal.	BBB or CG
HY 2	<i>Hydrangea arborescens</i>	Common White Hydrangea	5 gal.	BBB or CG
HA 14	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	42-48" ht.	BBB or CG
PCI 2	<i>Prunella alba</i>	Common Blackberry	5 gal.	BBB or CG
RP 1	<i>Rhododendron</i> 'Catawba'	Catawba Rhododendron	30-36" ht.	BBB or CG
RC 23	<i>Rosa 'Knockout'</i>	Knockout Rose	5 gal.	BBB
SM 19	<i>Syringa meyeri</i>	Dwarf Korean Lilac	5 gal.	BBB or CG
SV 2	<i>Syringa vulgaris</i>	Common Lilac	30-32" ht.	BBB or CG
VC 3	<i>Viburnum cerasia</i>	Korean Spice Viburnum	26" ht.	BBB or CG
VLM 1	<i>Viburnum lantana</i> 'Molokai'	Molokai Wayfaring Tree	4" cal.	BBB
WF 6	<i>Wedgeia Florida</i> 'Wine and Roses'	Wine and Roses Wildpetal	24-30" ht.	BBB or CG
EVERGREEN SHRUBS				
BM 33	<i>Buxus microphylla</i> 'Winstedter'	Winstedter Boxwood	5 gal.	BBB or CG
BA 19	<i>Buxus microphylla</i> 'China Boy/China Girl'	China Boy/China Girl Holly	24"	BBB or CG
JC 13	<i>Jasminum chinensis</i> 'Sea Green'	Sea Green Jasmine	5 gal.	BBB or CG
TOM 6	<i>Thuja occidentalis</i> 'Mission'	Mission Arborvitae	8 ft	BBB
PERENNIALS, ORNAMENTAL GRASSES				
an 81	<i>Achnanthes mollis</i>	Lady's Mantle	1 gal.	CG, 18" o.c.
cm 28	<i>Catnagella nemoralis</i> 'Spirica'	Feather Reed Grass	1 gal.	CG
cp 16	<i>Chlorostachys corymbosa</i> 'Majous Pink'	Purple Coneflower	1 gal.	CG, 24" o.c.
gs 10	<i>Gerardia sanguinolenta</i>	Bloody Red Cranesbill	1 gal.	CG, 18" o.c.
hh 43	<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	1 gal.	CG, 18" o.c.
hp 83	<i>Hemerocallis 'Purple Palace'</i>	Purple Palace Coral Bells	1 gal.	CG, 18" o.c.
hf 10	<i>Hosta sieboldiana</i> 'Frances Williams'	Frances Williams Hosta	1 gal.	CG, 18" o.c.
hp 29	<i>Lidode spicata</i>	Lily of the Valley	1 gal.	CG, space not shown
na 45	<i>Nepeta x mussinii</i> 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CG, 18" o.c.
rf 26	<i>Ribes coccineum</i> 'Violet Queen'	Black-eyed Susan	1 gal.	CG, 24" o.c.
zn 47	<i>Zinnia mexicana</i> 'Zee Friesland'	Zee Friesland Sage	1 gal.	CG
sa 33	<i>Sedum 'Autumn Joy'</i>	Autumn Joy Sedum	1 gal.	CG
sh 36	<i>Sporobolus heterostachys</i>	Prairie Dropseed	1 gal.	CG
str 10	<i>Stachys byzantina</i>	Lamb's Ear	1 gal.	CG
GROUNDCOVERS				
pl 13	<i>Pachysandra terminalis</i>	Japanese Flowering Spurge	equal	16" o.c. spacing
vm 51	<i>Viola minor</i> 'Booked'	Booked Pansy	equal	16" o.c. spacing
wt 85	<i>Waldsteinia ternata</i>	Barren Strawberry	equal	16" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA
THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
P 312.467.5445
F 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

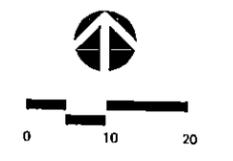
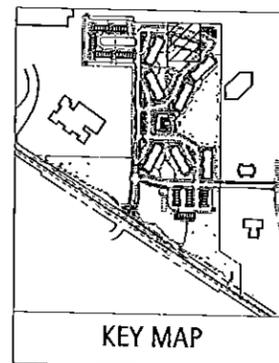
NOT FOR
CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

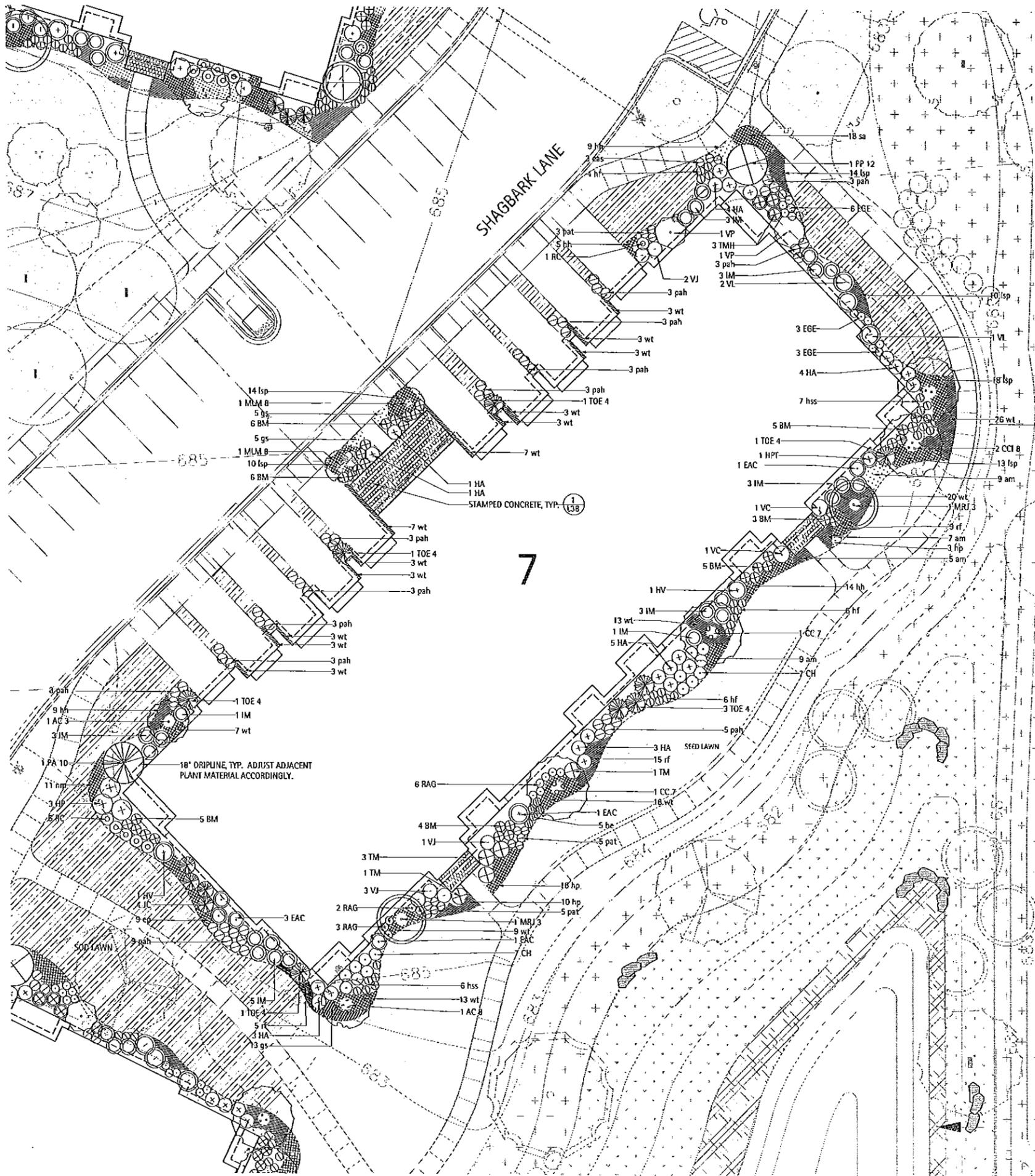
APARTMENT
BUILDING 6
LANDSCAPE PLAN

Revisions	Date
1. TECHNICAL REVIEW	08/12/2012
2. TECHNICAL REVIEW	11/27/2012
3. TECHNICAL REVIEW	02/13/2013
4. TECHNICAL REVIEW	05/14/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



L22-00



APARTMENT BUILDING #7 - PLANTING SCHEDULE

Symbol	Quantity	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES					
ORNAMENTAL TREES					
AC 3	1	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	3" caliper	BBB, Single Stem
AC 8	1	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	8" ht.	BBB, Multi-Stem
CC 7	2	<i>Cercis canadensis</i>	Red bud	7" ht.	BBB, Multi-Stem
CCI 8	2	<i>Crataegus crusgalli 'Inermis'</i>	Thornless Cockspur Hawthorn	8" ht.	BBB, Multi-Stem
HPT	1	<i>Hydrangea paniculata 'Tardiva'</i>	Late Panicle Hydrangea	4-5' ht.	BBB, Single Stem
MLM 8	2	<i>Magnolia x foenicea 'Merill'</i>	Dr. Merrill Magnolia	6-7' ht.	BBB, Multi-Stem
MRJ 3	2	<i>Malus 'Red Jewel'</i>	Red Jewel Crabapple	3" cal.	BBB, Single Stem
EVERGREEN TREES					
PA 10	1	<i>Picea abies</i>	Norway Spruce	10' ht.	BBB
PP 12	1	<i>Picea pungens</i>	Green Colorado Spruce	12' ht.	BBB
DECIDUOUS SHRUBS					
CH	14	<i>Cotoneaster horizontalis 'Hesse'</i>	Hess Hockspray Cotoneaster	5 gal.	BBB or CG
EAC	6	<i>Euonymus alata 'Compactus'</i>	Dwarf Winged Euonymus	30-36" ht.	BBB or CG
EGE	12	<i>Euonymus fortunei 'Emerald 'N Gold'</i>	Emerald 'N Gold Euonymus	15-18" spr.	BBB
HV	2	<i>Hammamelis virginiana</i>	Common Witch Hazel	42-48" ht.	BBB or CG
HA	21	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Smooth Hydrangea	5 gal.	BBB or CG
HP	4	<i>Hydrangea paniculata 'Tardiva'</i>	Tardiva Hydrangea	5 gal.	BBB or CG
RAG	11	<i>Ribes alpinum 'Greenmount'</i>	Greenmount Alpine Currant	15-18" spr.	BBB or CG
RC	6	<i>Rosa 'Flower Carpet Pink'</i>	Flower Carpet Pink Shrub Rose	5 gal.	CG
VC	2	<i>Viburnum carlesii</i>	Korean Spice Viburnum	36" ht.	BBB or CG
VL	3	<i>Viburnum lentago</i>	Nannyberry Viburnum	30-36" ht.	BBB
VP	2	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	5" ht.	BBB
VJ	6	<i>Viburnum x Juddii</i>	Judd Viburnum	26" ht.	BBB or CG
EVERGREEN SHRUBS					
BM	34	<i>Buxus microphylla 'Wintergreen'</i>	Wintergreen Boxwood	5 gal.	BBB or CG
IM	22	<i>Ilex meserveae 'China Boy/China Girl'</i>	China Boy/China Girl Holly (15 Male/Female Pairs)	24"	BBB or CG
JC	4	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	5 gal.	BBB or CG
TM	5	<i>Taxus media 'Densiformis'</i>	Dense Yew	26" spr.	BBB or CG
TMH	3	<i>Taxus media 'Hicks'</i>	Hicks Yew	26" ht.	BBB or CG
TOE 4	8	<i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	4" ht.	BBB or CG
PERENNIALS, ORNAMENTAL GRASSES					
am	30	<i>Alchemilla mollis</i>	Lady's Mantle	1 gal.	CG, 18" o.c.
cas	3	<i>Calamagrostis acutifolia 'Stricta'</i>	Feather Reed Grass	1 gal.	CG
ep	9	<i>Echinacea purpurea 'Magnus Pink'</i>	Purple Coneflower	1 gal.	CG, 24" o.c.
gs	23	<i>Geranium sanguineum</i>	Bloody Red Cranesbill	1 gal.	CG, 18" o.c.
hn	37	<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	1 gal.	CG, 18" o.c.
hp	29	<i>Heuchera micrantha 'Purple Palace'</i>	Purple Palace Coral Bells	1 gal.	CG, 16" o.c.
he	5	<i>Hosta sieboldiana 'Elegans'</i>	Elegans Hosta	1 gal.	CG, space as shown
fr	16	<i>Hosta sieboldiana 'Frances William'</i>	Frances William Hosta	1 gal.	CG, space as shown
ngs	13	<i>Hosta Sun and Substance</i>	Sun and Substance Hosta	1 gal.	CG, space as shown
lsp	79	<i>Liriope spicata</i>	Lilyturf	1 gal.	CG, 18" o.c.
nm	11	<i>Nepeta x mussini 'Blue Wonder'</i>	Blue Wonder Catmint	1 gal.	CG, 18" o.c.
pah	47	<i>Penisetum apiculoides 'Hamelii'</i>	Dwarf Fountain Grass	1 gal.	CG, space as shown
pat	13	<i>Perovskia atriplicifolia 'Longin'</i>	Russian Sage	1 gal.	CG, space as shown
rf	29	<i>Rudbeckia fulgida 'Goldstrum'</i>	Black-eyed Susan	1 gal.	CG, 24" o.c.
sa	18	<i>Sedum 'Autumn Joy'</i>	Autumn Joy Sedum	1 gal.	CG
GROUNDCOVERS					
wt	150	<i>Waldsteinia ternata</i>	Barren Strawberry	quart	16" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA
THE LAKOTA GROUP INC.
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
Info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

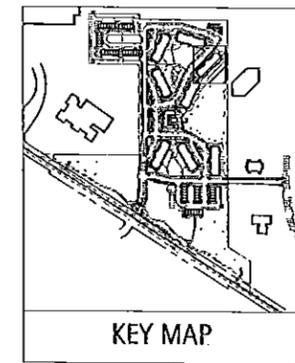
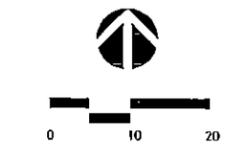
NOT FOR CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

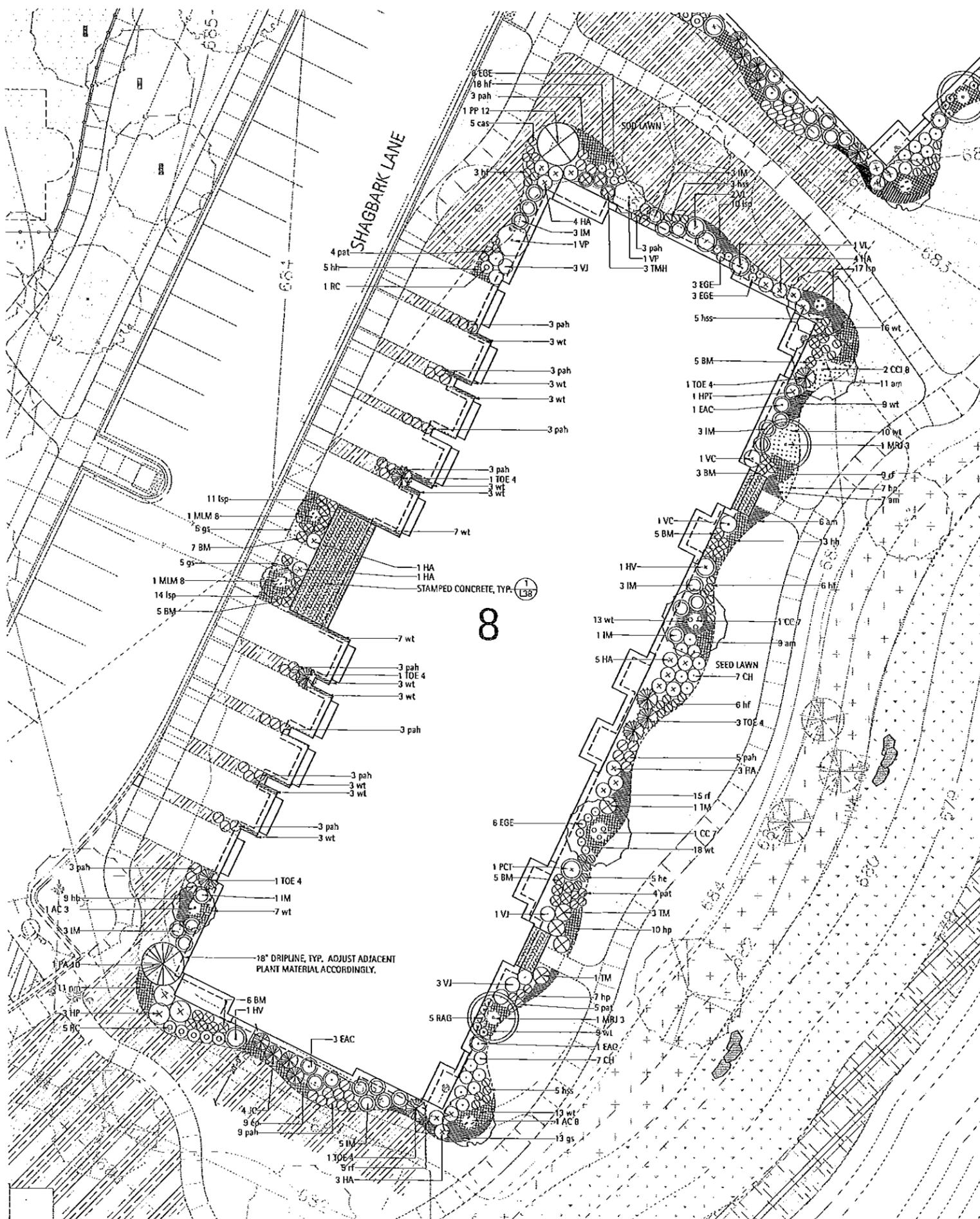
APARTMENT BUILDING 7
LANDSCAPE PLAN

Revisions	Date
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/12/2013
4. TECHNICAL REVIEW	05/12/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



L23-00



APARTMENT BUILDING #8 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
ORNAMENTAL TREES				
AC 3	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	3" caliper	B&B, Single Stem
AC 8	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	8" ht.	B&B, Multi-Stem
CC 7	<i>Cercis canadensis</i>	Red bud	7" ht.	B&B, Multi-Stem
CC 8	<i>Cornus crugali</i> 'Inermis'	Thornless Cocksour Hawthorn	8" ht.	B&B, Multi-Stem
HPT	<i>Hydrangea paniculata</i> 'Tardiva'	Late Panicle Hydrangea	4-5' ht.	B&B, Single Stem
MLM 8	<i>Magnolia x loebneri</i> 'Merill'	Dr. Merrill Magnolia	6-7' ht.	B&B, Multi Stem
MRJ 3	<i>Malus</i> 'Red Jewel'	Red Jewel Crabapple	3" cal.	B&B, Single Stem
EVERGREEN TREES				
PA 10	<i>Picea abies</i>	Norway Spruce	10' ht.	B&B
PP 12	<i>Picea pungens</i>	Green Colorado Spruce	12' ht.	B&B
DECIDUOUS SHRUBS				
CH	<i>Cotoneaster horizontalis</i> 'Hesse'	Hess Rockspray Cotoneaster	5 gal.	B&B or CO
EAC	<i>Eucymnus alata</i> 'Compacta'	Dwarf Winged Eucymnus	30-35" ht.	B&B or CO
EAG	<i>Eucymnus fortunei</i> 'Emerald 'N Gold'	Emerald 'N Gold Eucymnus	15-18" spr.	B&B
HV	<i>Hamamelis virginiana</i>	Common Witch Hazel	42-48" ht.	B&B or CO
HA	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	B&B or CO
HP	<i>Hydrangea paniculata</i> 'Tardiva'	Tardiva Hydrangea	5 gal.	B&B or CO
PCT	<i>Prunus x cistena</i>	Purple Sand Cherry	30-35" ht.	B&B or CO
RAG	<i>Ribes alpinum</i> 'Greenmound'	Greenmound Alpine Currant	15-18" spr.	B&B or CO
RC	<i>Rosa</i> 'Flower Carpet Pink'	Flower Carpet Pink Shrub Rose	5 gal.	CG
VC	<i>Viburnum carlesii</i>	Korean Spice Viburnum	35" ht.	B&B or CO
VL	<i>Viburnum lentago</i>	Nannyberry Viburnum	30-35" ht.	B&B
VP	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	5' ht.	B&B
VJ	<i>Viburnum x juddii</i>	Judd Viburnum	36" ht.	B&B or CO
EVERGREEN SHRUBS				
BM	<i>Bonus microphylla</i> 'Wintergreen'	Wintergreen Boxwood	5 gal.	B&B or CO
IM	<i>Ilex meserveae</i> 'China Boy/China Girl'	'China Boy/China Girl' Holly (is Male/Female Ratio)	24"	B&B or CO
JC	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	5 gal.	B&B or CO
TM	<i>Taxus media</i> 'Densaiformis'	Dense Yew	36" spr.	B&B or CO
TMH	<i>Taxus media</i> 'Hicks'	Hicks Yew	36" ht.	B&B or CO
TOE 4	<i>Thuja occidentalis</i> 'Emerald Green'	Emerald Green Arborvitae	4' ht.	B&B or CO
PERENNIALS, ORNAMENTAL GRASSES				
am	<i>Alchemilla mollis</i>	Lady's Mantle	1 gal.	CO, 18" o.c.
cas	<i>Calamagrostis acutifolia</i> 'Stricta'	Feather Reed Grass	1 gal.	CG
ep	<i>Echinacea purpurea</i> 'Magnus Pink'	Purple Coneflower	1 gal.	CO, 24" o.c.
gs	<i>Geranium sanguineum</i>	Bloody Red Cranesbill	1 gal.	CO, 18" o.c.
hh	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	1 gal.	CO, 18" o.c.
hp	<i>Heuchera micrantha</i> 'Purple Palace'	Purple Palace Coral Bells	1 gal.	CO, 18" o.c.
he	<i>Hosta sieboldiana</i> 'Elegans'	Elegans Hosta	1 gal.	CO, space as shown
hf	<i>Hosta sieboldiana</i> 'Frances Williams'	Frances Williams Hosta	1 gal.	CO, space as shown
hss	<i>Hosta Sum and Substance</i>	Sum and Substance Hosta	1 gal.	CO, space as shown
lsp	<i>Liriope spicata</i>	Liriope	1 gal.	CG, 18" o.c.
nm	<i>Nepeta x mussinii</i> 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CG, 18" o.c.
pah	<i>Penstemon apetalocarpus</i> 'Hamel'	Dwarf Fountain Grass	1 gal.	CG, space as shown
pol	<i>Perovskia atriplicifolia</i> 'Longin'	Russian Sage	1 gal.	CG, space as shown
rf	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black-eyed Susan	1 gal.	CG, 24" o.c.
GROUNDCOVERS				
wt	<i>Waldsteinia tomentosa</i>	Barren Strawberry	quart	16" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA

THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

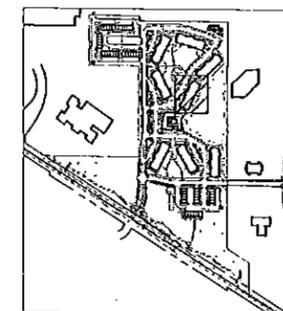
NOT FOR
CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

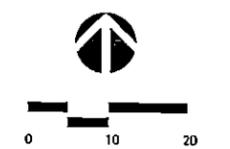
APARTMENT
BUILDING 8
LANDSCAPE PLAN

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/13/2013
4. TECHNICAL REVIEW	05/15/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



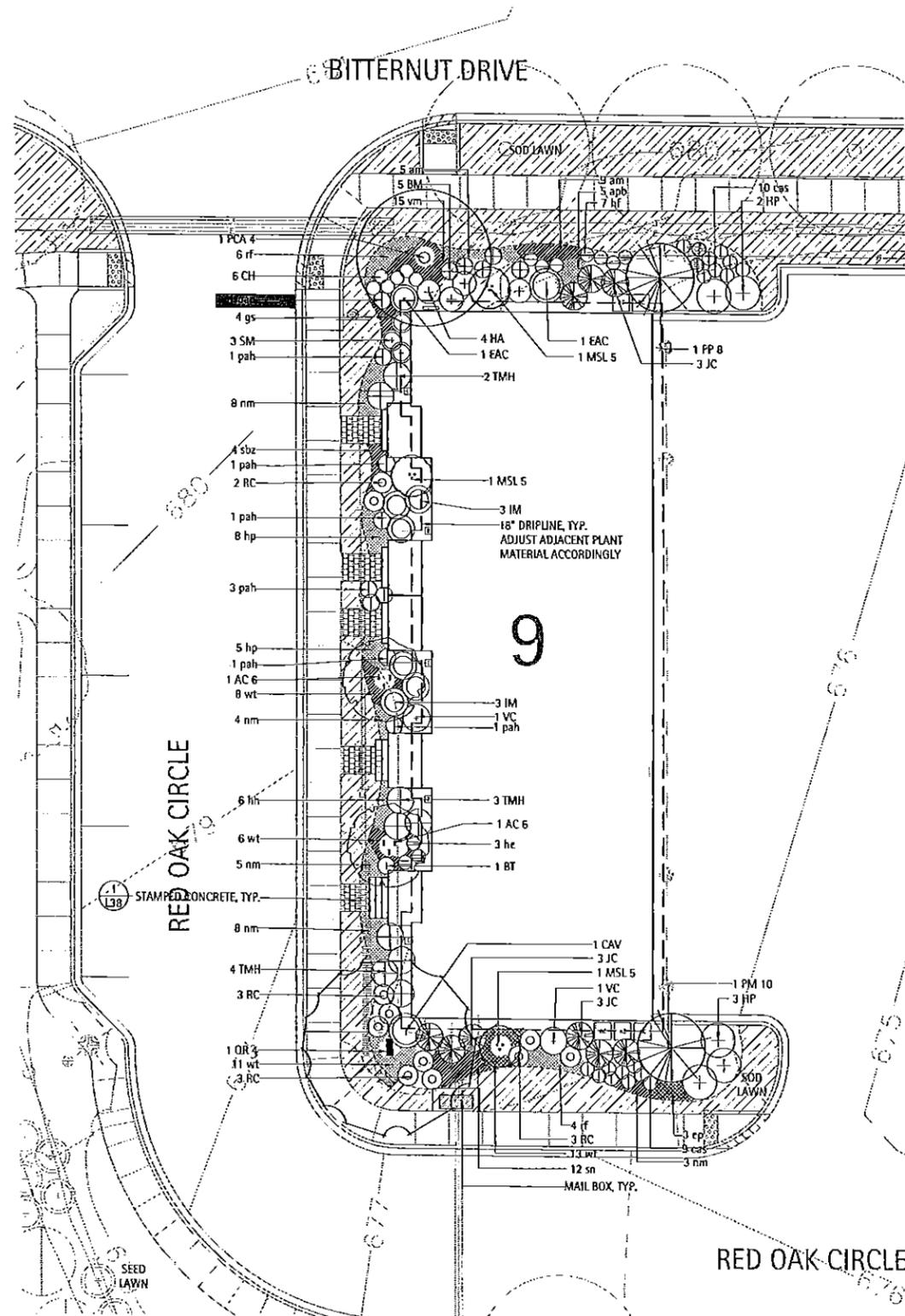
L24-00

ROWHOME #9 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
PCA 4	<i>Pyrus calleryana</i> 'Aristocrat'	Aristocrat Pear	4" caliper	BBB
QR 4	<i>Quercus rubra</i>	Red Oak	4" caliper	BBB
ORNAMENTAL TREES				
AC 6	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	6 ht.	BBB, Multi-Stem
MSL 5	<i>Magnolia stellata</i>	Star Magnolia	6 ht.	BBB, Multi-Stem
EVERGREEN TREES				
PP 8	<i>Picea pungens</i>	Green Colorado Spruce	8' ht.	BBB
FM 10	<i>Pseudotsuga menziesii</i>	Douglas Fir	10' ht.	BBB
DECIDUOUS SHRUBS				
BT	<i>Berberis thunbergii</i>	Crimson Pygmy Barberry	5 gal.	BBB or CG
CAV	<i>Cornus alba</i> 'marginala'	Variiegated Tatarian Dogwood	36-42"	BBB or CG
CH	<i>Colomenster horizontalis</i> 'Hessel'	Hess Rockspree Coloneaster	5 gal.	BBB or CG
EAC	<i>Euonymus alata</i> 'Compactus'	Dwarf Winged Euonymus	30-36" ht.	BBB or CG
HA	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	BBB or CG
HP	<i>Hydrangea paniculata</i> 'Tardiva'	Tardiva Hydrangea	5 gal.	BBB or CG
RC	<i>Rosa</i> 'Flower Carpet Pink'	Flower Carpet Pink Shrub Rose	5 gal.	CG
SM	<i>Syringa meyeri</i>	Dwarf Korean Lilac	5 gal.	BBB or CG
VC	<i>Viburnum carlesii</i>	Korean Spice Viburnum	36" ht.	BBB or CG
EVERGREEN SHRUBS				
BM	<i>Buxus microphylla</i> 'Wintergreen'	Wintergreen Boxwood	5 gal.	BBB or CG
IM	<i>Ilex meserveae</i> 'China Boy/China Girl'	China Boy/China Girl Holly (1.5 Male/Female)	24"	BBB or CG
JC	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	5 gal.	BBB or CG
TMH	<i>Taxus media</i> 'Hicks'	Hicks Yew	30" ht.	BBB or CG
PERENNIALS, ORNAMENTAL GRASSES				
am	<i>Alchemilla mollis</i>	Lady's Mantle	1 gal.	CG
apb	<i>Astilbe</i> 'Peach Blossom'	Peach Blossom Astilbe	1 gal.	CG
cas	<i>Calamagrostis acutifolia</i> 'Stricta'	Feather Reed Grass	1 gal.	CG
ep	<i>Echinacea purpurea</i> 'Magnus Pink'	Purple Coneflower	1 gal.	CG
gs	<i>Geranium sanguineum</i>	Bloody Red Cranesbill	1 gal.	CG
hh	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	1 gal.	CG
hp	<i>Heuchera mitorantha</i> 'Purple Palace'	Purple Palace Coral Bells	1 gal.	CG
he	<i>Hosta sieboldiana</i> 'Elegans'	Elegans Hosta	1 gal.	CG
hf	<i>Hosta sieboldiana</i> 'Frances William'	Frances William Hosta	1 gal.	CG
nm	<i>Nepeta x mussini</i> 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CG
psh	<i>Penisetum apeloocoides</i> 'Hamel'	Dwarf Fountain Grass	1 gal.	CG
rf	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black-eyed Susan	1 gal.	CG
sn	<i>Salvia nemorosa</i> 'East Friesland'	East Friesland Sage	1 gal.	CG
sbz	<i>Stachys byzantina</i>	Lamb's Ear	1 gal.	CG
GROUNDCOVERS				
vm	<i>Vinca minor</i> 'Bowles'	Bowles Periwinkle	quart	18" o.c. spacing
wt	<i>Waldsteinia ternata</i>	Barren Strawberry	quart	18" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.



LAKOTA

THE LAKOTA GROUP INC.
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

NOT FOR CONSTRUCTION

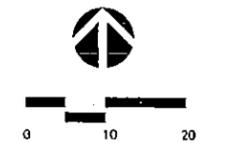
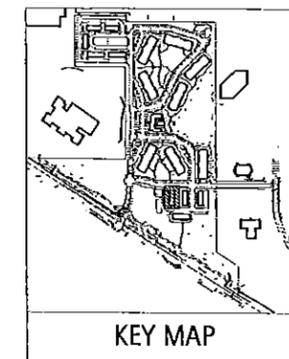
The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

ROWHOME 9
LANDSCAPE PLAN

Revisions	Date
1. TECHNICAL REVIEW	05/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	07/17/2013
4. TECHNICAL REVIEW	05/15/2013

5.
6.
7.
8.

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



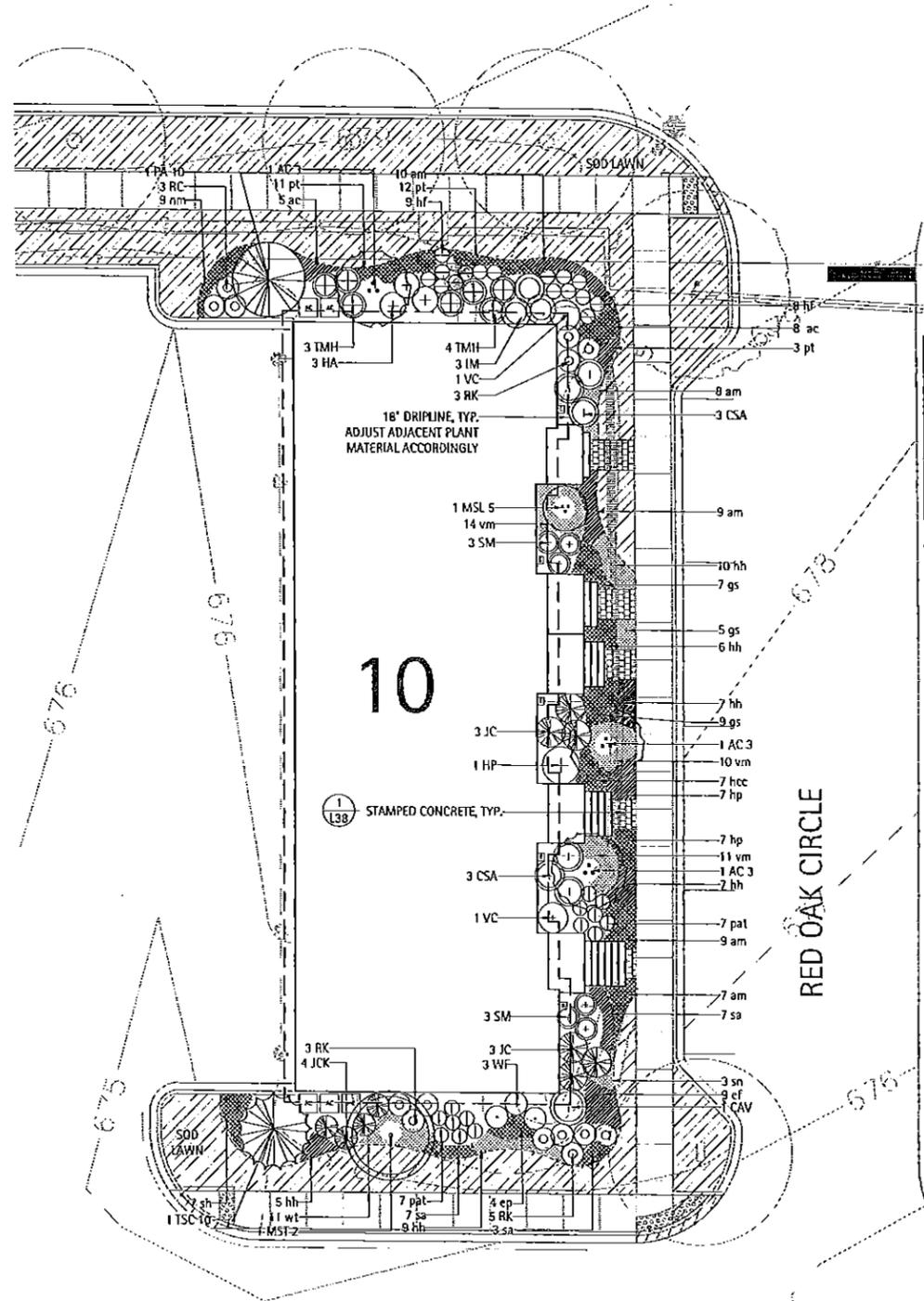
L25-00

ROWHOME #10 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
ORNAMENTAL TREES				
AC 3	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	3" caliper	BBB, Single Stem
MSL 5	<i>Magnolia stellata</i>	Star Magnolia	5' ht.	BBB, Multi Stem
MST 2	<i>Malus sargentii</i> 'Tina'	Tina Sargent Crab	2" caliper	BBB, Single Stem
EVERGREEN TREES				
PA 10	<i>Picea abies</i>	Norway Spruce	10' ht.	BBB
TSC 10	<i>Tsuga canadensis</i>	Hemlock	10' ht.	BBB
DECIDUOUS SHRUBS				
CAV	<i>Cornus alba</i> 'marginata'	Variegated Tartarian Dogwood	36-42"	BBB or CG
CSA	<i>Cornus sericea</i> 'Allema'	Allema's Compact Redtwig Dogwood	5 gal.	BBB or CG
HA	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	BBB or CG
HP	<i>Hydrangea paniculata</i> 'Tardiva'	Tardiva Hydrangea	5 gal.	BBB or CG
RC	<i>Rosa</i> 'Flower Carpet Pink'	Flower Carpet Pink Shrub Rose	5 gal.	CG
RK	<i>Rosa</i> 'Knockout'	Knockout Rose	5 gal.	CG
SM	<i>Syringa meyeri</i>	Dwarf Korean Lilac	5 gal.	BBB or CG
VC	<i>Viburnum carlesii</i>	Korean Spice Viburnum	36" ht.	BBB or CG
WF	<i>Weigela Florida</i> 'Wine and Roses'	Wine and Roses Weigela	24-30" ht.	BBB or CG
EVERGREEN SHRUBS				
BM	<i>Ilex meserveae</i> 'China Boy/China Girl'	China Boy/China Girl Holly (1-5 Male/Female)	24"	BBB or CG
JCK	<i>Juniperus chinensis</i> 'Kaltays Compacta'	Kaltays Compact Juniper	5 gal.	BBB or CG
JC	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	5 gal.	BBB or CG
TMH	<i>Taxus media</i> 'Hicks'	Hicks Yew	36" ht.	BBB or CG
PERENNIALS, ORNAMENTAL GRASSES				
am	<i>Alchemilla mollis</i>	Lady's Mantle	1 gal.	CG
ac	<i>Astilbe chinensis</i> var. <i>pumila</i>	Astilbe	1 gal.	CG
ep	<i>Echinacea purpurea</i> 'Magnus Pink'	Purple Coneflower	1 gal.	CG
gs	<i>Geranium sanguineum</i>	Blondy Red Cranesbill	1 gal.	CG
hec	<i>Hemerocallis</i> 'Cherry Cheeks'	Cherry Cheeks Daylily	1 gal.	CG
hh	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	1 gal.	CG
hp	<i>Heuchera nigrantha</i> 'Purple Palace'	Purple Palace Coral Bells	1 gal.	CG
hf	<i>Hosta sieboldiana</i> 'Frances Williams'	Frances Williams Hosta	1 gal.	CG
nm	<i>Nepeta x mussini</i> 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CG
pal	<i>Perovskia atriplicifolia</i> 'Lorgin'	Russian Sage	1 gal.	CG
sn	<i>Salvia nemorosa</i> 'East Friesland'	East Friesland Sage	1 gal.	CG
sa	<i>Sedum</i> 'Autumn Joy'	Autumn Joy Sedum	1 gal.	CG
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal.	CG
GROUNDCOVERS				
ef	<i>Euonymus fortunei</i> 'Colorata'	Purpleleaf Wintercreeper	quart	16" o.c. spacing
pl	<i>Pachysandra terminalis</i>	Japanese Flowering Spurge	quart	18" o.c. spacing
vm	<i>Vinca minor</i> 'Bowles'	Bowles Periwinkle	quart	18" o.c. spacing
wl	<i>Waldsteinia ternata</i>	Barren Strawberry	quart	18" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.



LAKOTA
THE LAKOTA GROUP INC.
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

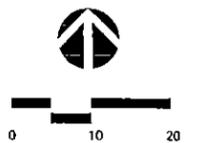
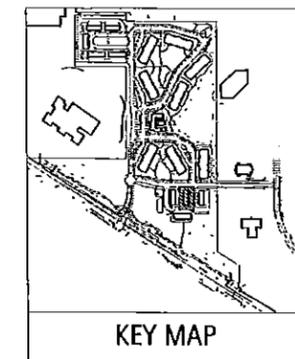
NOT FOR
CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

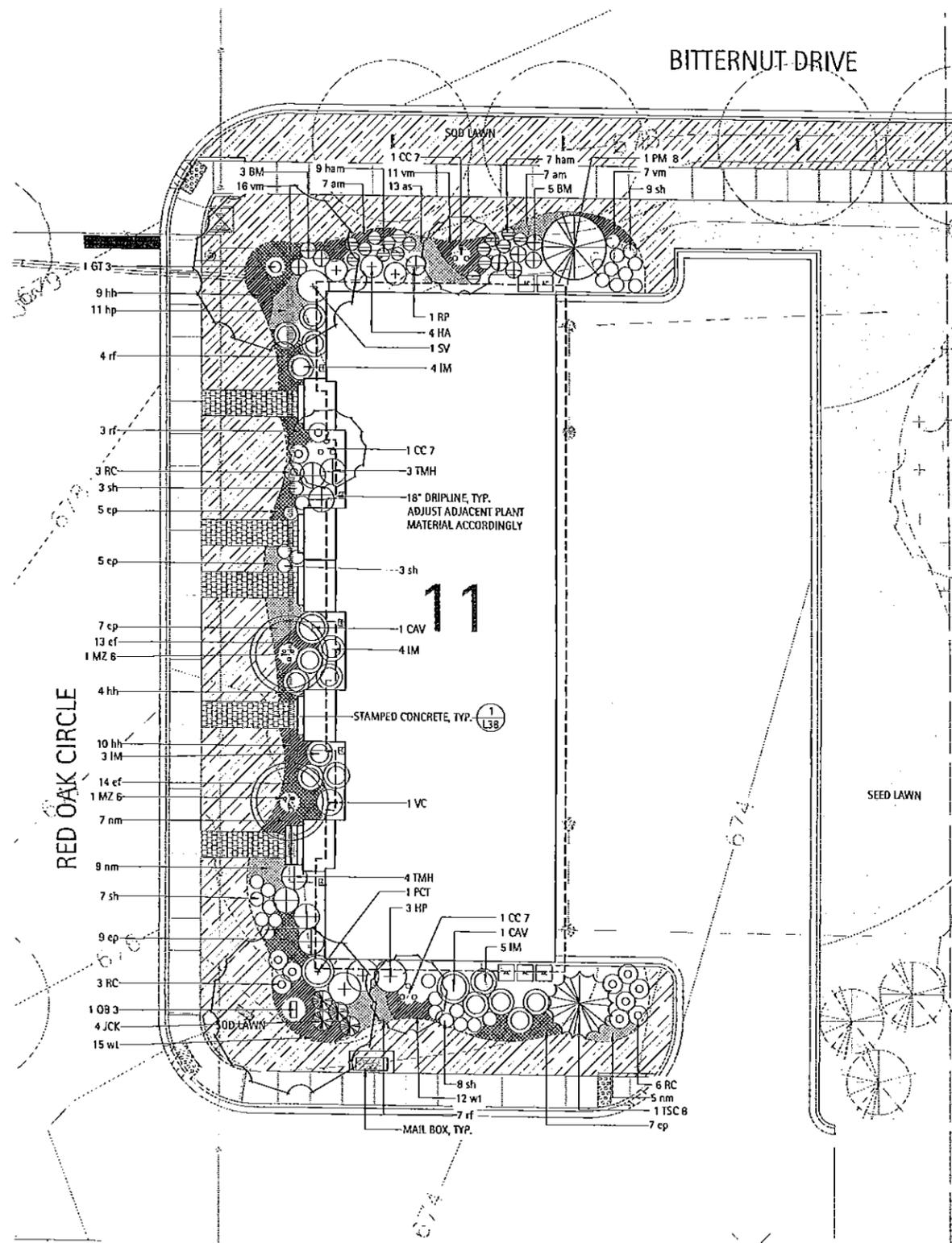
ROWHOME 10
LANDSCAPE PLAN

Revisions	
1. TECHNICAL REVIEW	05/12/2013
2. TECHNICAL REVIEW	11/01/2013
3. TECHNICAL REVIEW	03/12/2013
4. TECHNICAL REVIEW	05/15/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



L26-00



ROWHOME #11 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
GT 3	<i>Oleditesa triflorus inermis 'Skyline'</i>	Skyline Thornless Honeylocust	3" caliper	B&B
OB 3	<i>Quercus bicolor</i>	Swamp White Oak	3" caliper	B&B
ORNAMENTAL TREES				
CC 7	<i>Cercis canadensis</i>	Red bud	7' ht.	B&B, Multi-Stem
MZ 6	<i>Malus Zumi edocarpa</i>	Zumi Crabapple	6' ht.	B&B, Clump
EVERGREEN TREES				
PM 8	<i>Pseudotsuga menziesii</i>	Douglas Fir	8' ht.	B&B
TSC 8	<i>Tsuga canadensis</i>	Hemlock	8' ht.	B&B
DECIDUOUS SHRUBS				
CAV	<i>Cornus alba 'marginata'</i>	Variiegated Tatarian Dogwood	36-42"	B&B or CG
HA	<i>Hydrangea sibirica 'Annabelle'</i>	Annabelle Smooth Hydrangea	5 gal.	B&B or CG
HP	<i>Hydrangea paniculata 'Tardiva'</i>	Tardiva Hydrangea	5 gal.	B&B or CG
PCT	<i>Prunus x cistena</i>	Purple Sand Cherry	4"	B&B or CG
RP	<i>Rhododendron 'Catalpa'</i>	Catalpa Rhododendron	5 gal.	B&B
RC	<i>Rosa 'Flower Carpet Pink'</i>	Flower Carpet Pink Shrub Rose	5 gal.	CG
SV	<i>Syringa vulgaris</i>	Common Lilac	30-36" ht.	B&B or CG
VC	<i>Viburnum carlesii</i>	Korean Spice Viburnum	36" ht.	B&B or CG
EVERGREEN SHRUBS				
BM	<i>Buxus microphylla 'Wintergreen'</i>	Wintergreen Boxwood	5 gal.	B&B or CG
IM	<i>Ilex meserveae 'China Boy/China Girl'</i>	China Boy/China Girl Holly (1:5 Male/Female)	24"	B&B or CG
JCK	<i>Juniperus chinensis 'Kalays Compacta'</i>	Kalays Compact Juniper	5 gal.	B&B or CG
TMH	<i>Taxus media 'Hicks'</i>	Hicks Yew	36" ht.	B&B or CG
PERENNIALS, ORNAMENTAL GRASSES				
am	<i>Alchemilla mollis</i>	Lady's Mantle	1 gal.	CG
as	<i>Asilbe 'Sprite'</i>	Sprite Asilbe	1 gal.	CG
ep	<i>Echinacea purpurea 'Magnus Pink'</i>	Purple Coneflower	1 gal.	CG
hh	<i>Heucherella 'Happy Returns'</i>	Happy Returns Daylily	1 gal.	CG
hp	<i>Heucherella 'michaelis' 'Purple Palace'</i>	Purple Palace Coral Belts	1 gal.	CG
ham	<i>Hosta 'August Moon'</i>	August Moon Hosta	1 gal.	CG
nm	<i>Nepeta x mussini 'Blue Wonder'</i>	Blue Wonder Catmint	1 gal.	CG
rf	<i>Rudbeckia fulgida 'Goldstrum'</i>	Black-eyed Susan	1 gal.	CG
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal.	CG
GROUNDCOVERS				
ef	<i>Euonymus fortunei 'Colorata'</i>	Purpleleaf Wintercreeper	quart	16" o.c. spacing
vm	<i>Viola minor 'Bowles'</i>	Bowles Periwinkle	quart	18" o.c. spacing
wt	<i>Waldsteinia temata</i>	Barren Strawberry	quart	18" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA
THE LAKOTA GROUP INC.
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations

KINZIE
212 West Kinzie Street, 3rd Floor

NOT FOR
CONSTRUCTION

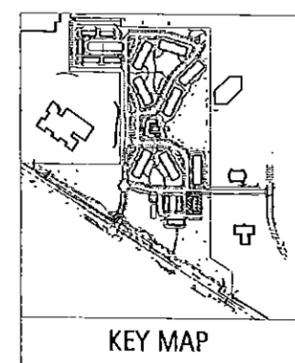
The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

ROWHOME 11
LANDSCAPE PLAN

Revisions

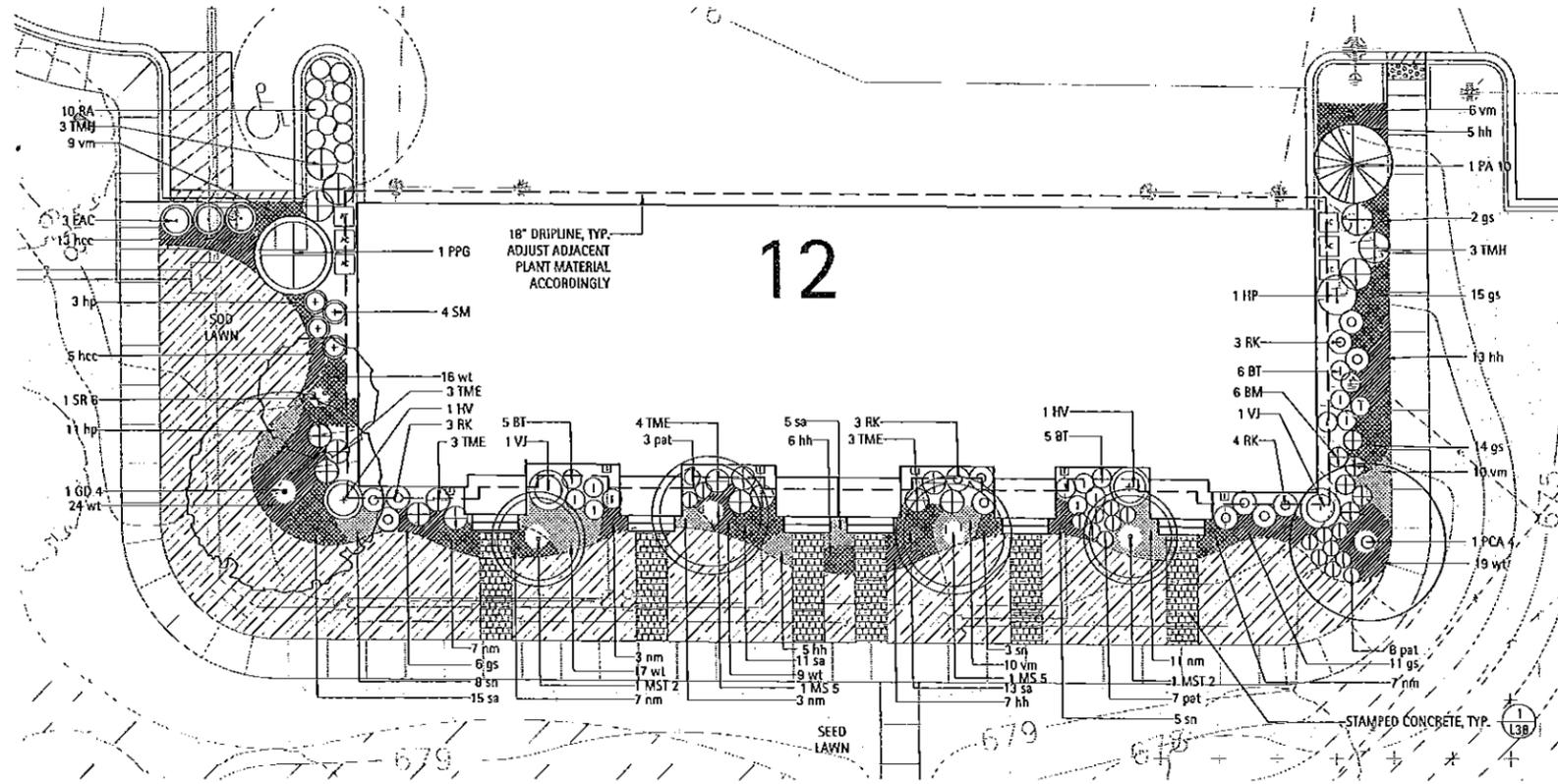
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/01/2012
3. TECHNICAL REVIEW	03/13/2013
4. TECHNICAL REVIEW	05/13/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



L27-00

ROWHOME #12 - PLANTING SCHEDULE



Symbol	Quantity	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES					
GD 4	1	<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	4" caliper	B&B
PCA 4	1	<i>Pyrus calleryana 'Aristocrat'</i>	Aristocrat Pear	4" caliper	B&B
ORNAMENTAL TREES					
MST 2	2	<i>Malus sargentii 'Tina'</i>	Tina Sargent Crab	2" caliper	B&B, Single Stem
MS 5	2	<i>Malus 'Snowdrift'</i>	White Crabapple	5' ht.	B&B, Clump
SR 6	1	<i>Syringa reticulata ' Ivory Silk'</i>	Japanese Tree Lilac	6' ht.	B&B, Multi Stem
EVERGREEN TREES					
PA 10	1	<i>Picea abies</i>	Norway Spruce	10' ht.	B&B
PPG B	1	<i>Picea pungens 'Glauca'</i>	Colorado Blue Spruce	8' ht.	B&B
DECIDUOUS SHRUBS					
BT	16	<i>Berberis thunbergii</i>	Crimson Pygmy Barberry	5 gal.	B&B or CG
EAC	3	<i>Euonymus alata 'Compactus'</i>	Dwarf Winged Euonymus	30-36" ht.	B&B or CG
HV	2	<i>Hazameli virginiana</i>	Common Witch Hazel	42-48" ht.	B&B or CG
HP	1	<i>Hydrangea paniculata 'Tardiva'</i>	Tardiva Hydrangea	5 gal.	B&B or CG
RA	10	<i>Rhus aromatica 'Gro-Low'</i>	Fragrant Sumac	5 gal.	B&B or CG
RK	13	<i>Rosa 'Knockout'</i>	Knockout Rose	5 gal.	CG
SM	4	<i>Syringa meyeri</i>	Dwarf Korean Lilac	5 gal.	B&B or CG
VJ	2	<i>Viburnum x Juddii</i>	Judd Viburnum	36" ht.	B&B or CG
EVERGREEN SHRUBS					
BM	6	<i>Buxus microphylla 'Wintergreen'</i>	Wintergreen Boxwood	5 gal.	B&B or CG
TME	13	<i>Taxus media 'EverLow'</i>	Everlow	24"	B&B or CG
TMH	6	<i>Taxus media 'Hicks'</i>	Hicks Yew	36" ht.	B&B or CG
PERENNIALS, ORNAMENTAL GRASSES					
gs	48	<i>Geranium sanguineum</i>	Bloody Red Cranesbill	1 gal.	CG
hcc	18	<i>Heimerocallis 'Cherry Cheeks'</i>	Cherry Cheeks Daylily	1 gal.	CG
hh	36	<i>Heimerocallis 'Happy Returns'</i>	Happy Returns Daylily	1 gal.	CG
hp	14	<i>Heuchera micrantha 'Purple Palace'</i>	Purple Palace Coral Bells	1 gal.	CG
nm	38	<i>Nepeta x mussinii 'Blue Wonder'</i>	Blue Wonder Catmint	1 gal.	CG
pat	10	<i>Perovskia atriplicifolia 'Lengin'</i>	Russian Sage	1 gal.	CG
sn	16	<i>Salvia nemorosa 'East Friesland'</i>	East Friesland Sage	1 gal.	CG
sa	44	<i>Sedum 'Autumn Joy'</i>	Autumn Joy Sedum	1 gal.	CG
GROUNDCOVERS					
vm	35	<i>Vinca minor 'Bowles'</i>	Bowles Periwinkle	quart	18" o.c. spacing
wt	85	<i>Waldsteinia lemata</i>	Baren Strawberry	quart	18" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA

THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

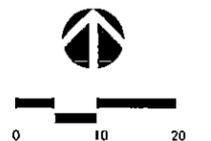
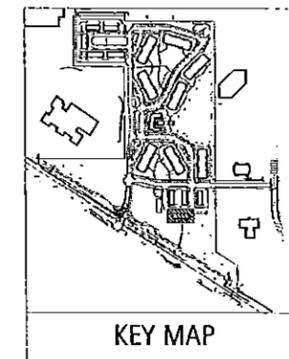
NOT FOR
CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

ROWHOME 12
LANDSCAPE PLAN

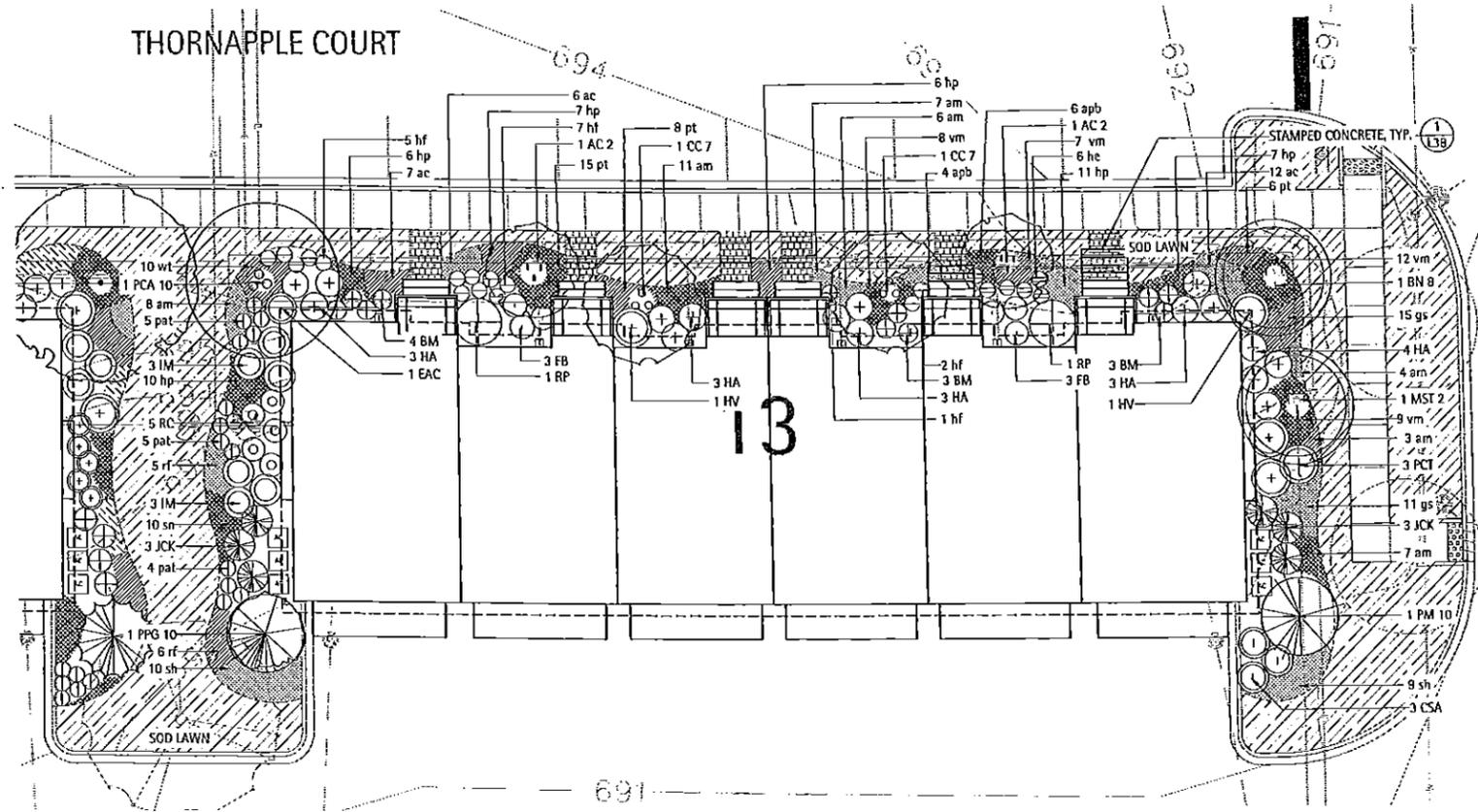
Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/01/2012
3. TECHNICAL REVIEW	03/12/2013
4. TECHNICAL REVIEW	05/15/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



L28-00

THORNAPPLE COURT



ROWHOME #13 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
ORNAMENTAL TREES				
AC 2	2 Amelanchier canadensis	Shadblow Serviceberry	2" caliper	BBB, Single Stem
BN 8	1 Betula nigra 'Heritage'	Heritage River Birch	8' ht.	BBB, Clump
CC 7	2 Cercis canadensis	Red bud	7' ht.	BBB, Multi-Stem
MST 2	1 Malus sargentii 'Tina'	Tina Sargent Crab	2" caliper	BBB, Single Stem
PCA 10	1 Pyrus calleryana 'Aristocrat'	Clump Aristocrat Pear	10' ht.	BBB, Multi-Stem
EVERGREEN TREES				
PPG 10	1 Picea pungens 'Glauca'	Colorado Blue Spruce	10' ht.	BBB
PM 10	1 Pseudotsuga menziesii	Douglas Fir	10' ht.	BBB
DECIDUOUS SHRUBS				
CSA	3 Cornus sericea 'Alleghans'	Alleghans Compact Redtwig Dogwood	5 gal.	BBB or CG
EAC	1 Euonymus alata 'Compactus'	Dwarf Winged Euonymus	30-36" ht.	BBB or CG
FB	6 Fothergilla gardenii 'Beaver Creek'	Beaver Creek Dwarf Bottlebrush Fothergilla	5 gal.	BBB or CG
HV	2 Hamamelis virginiana	Common Witch Hazel	42-48" ht.	BBB or CG
HA	16 Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	BBB or CG
PCT	3 Prunus x cistena	Purple Sand Cherry	48"	BBB or CG
RP	2 Rhododendron 'Catawba'	Catawba Rhododendron	5 gal.	BBB
RC	5 Rosa 'Flower Carpet Pink'	Flower Carpet Pink Shrub Rose	5 gal.	CG
EVERGREEN SHRUBS				
BM	10 Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	5 gal.	BBB or CG
IM	6 Ilex mesicocarpa 'China Boy/China Girl'	China Boy/China Girl Holly (1:5 Male/Female)	24"	BBB or CG
JCK	6 Juniperus chinensis 'Kallays Compacta'	Kallays Compact Juniper	5 gal.	BBB or CG
PERENNIALS, ORNAMENTAL GRASSES				
am	46 Alchemilla mollis	Lady's Mantle	1 gal.	CG
ac	25 Astilbe chinensis var. pumila	Astilbe	1 gal.	CG
apb	10 Astilbe 'Peach Blossom'	Peach Blossom Astilbe	1 gal.	CG
gs	26 Geranium sanguineum	Bloody Red Cranesbill	1 gal.	CG
hp	47 Heuchera m. 'Purple Palace'	Purple Palace Coral Bells	1 gal.	CG
hc	6 Hosta sieboldiana 'Elegans'	Elegans Hosta	1 gal.	CG
hf	15 Hosta sieboldiana 'Frances William'	Frances William Hosta	1 gal.	CG
pal	14 Perovskia atriplicifolia 'Longin'	Russian Sage	1 gal.	CG
rf	11 Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 gal.	CG
sn	10 Salvia nemorosa 'East Friesland'	East Friesland Sage	1 gal.	CG
sh	19 Sporobolus heterotepis	Prairie Dropseed	1 gal.	CG
GROUNDCOVERS				
pt	29 Pachysandra terminalis	Japanese Flowering Spurge	quart	18" o.c. spacing
vm	36 Vinca minor 'Bowles'	Bowles Periwinkle	quart	18" o.c. spacing
wt	10 Waldsteiria ternata	Seven Strawberry	quart	18" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA
THE LAKOTA GROUP INC
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

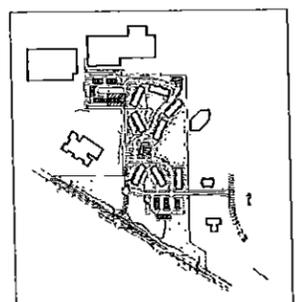
NOT FOR
CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

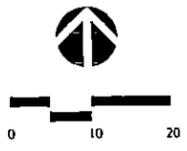
ROWHOME 13
LANDSCAPE PLAN

Revisions		
1.	TECHNICAL REVIEW	08/12/2012
2.	TECHNICAL REVIEW	11/07/2012
3.	TECHNICAL REVIEW	03/12/2013
4.	TECHNICAL REVIEW	05/15/2013
5.		
6.		
7.		
8.		

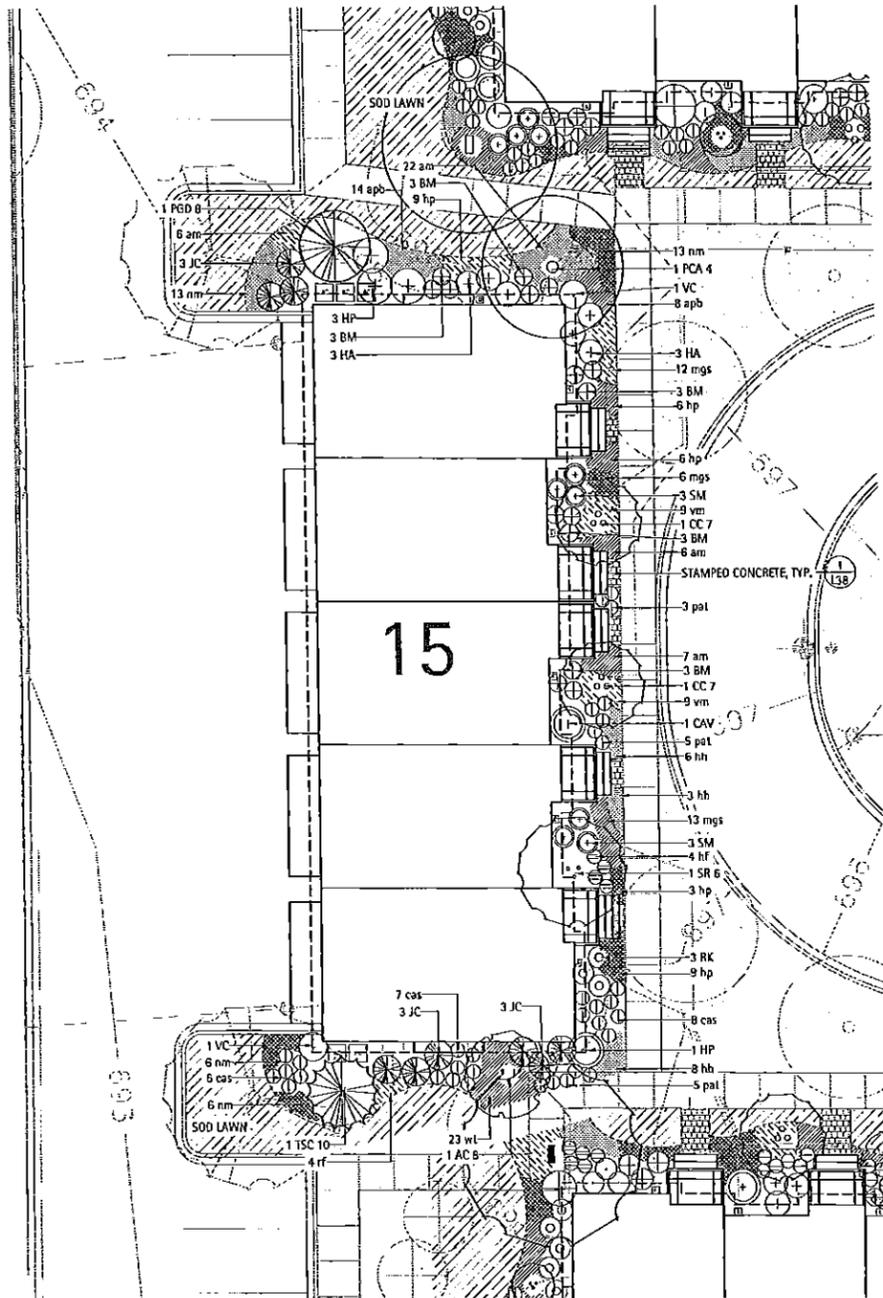
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L29-00



ROWHOME #15 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
PCA 4	1 Pyrus calleryana 'Aristocrat'	Aristocrat Pear	4" caliper	B&B
ORNAMENTAL TREES				
AC 8	1 Amelanchier canadensis	Shadblow Serviceberry	8' ht.	B&B, Multi-Stem
CC 7	2 Cercis canadensis	Red bud	7' ht.	B&B, Multi-Stem
SR 6	1 Syringa reticulata 'Wavy Silk'	Japanese Tree Lilac	6' ht.	B&B, Multi-Stem
EVERGREEN TREES				
FGD 8	1 Picea glauca 'Densata'	Black Hills Spruce	8' ht.	B&B
TSC 10	1 Tsuga canadensis	Hemlock	10' ht.	B&B
DECIDUOUS SHRUBS				
CAV	1 Cornus alba 'marginata'	Variiegated Tatarian Dogwood	36-42"	B&B or CG
HA	6 Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	B&B or CG
HP	4 Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea	5 gal.	B&B or CG
RK	3 Rosa 'Knockout'	Knockout Rose	5 gal.	CG
SM	6 Syringa meyeri	Dwarf Korean Lilac	5 gal.	B&B or CG
VC	2 Viburnum carlesii	Korean Spice Viburnum	36" ht.	B&B or CG
EVERGREEN SHRUBS				
BM	15 Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	5 gal.	B&B or CG
JC	9 Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	B&B or CG
PERENNIALS, ORNAMENTAL GRASSES				
am	41 Alchemilla mollis	Lady's Mantle	1 gal.	CG
apb	22 Astilbe 'Peach Blossom'	Peach Blossom Astilbe	1 gal.	CG
cas	21 Calamagrostis sordifolia 'Stricta'	Feather Reed Grass	1 gal.	CG
hh	17 Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.	CG
hp	37 Heuchera micrantha 'Purple Palace'	Purple Palace Coral Bells	1 gal.	CG
hf	4 Hosta sieboldiana 'Frances William'	Frances William Hosta	1 gal.	CG
mgs	31 Monarda 'Gardenview Scarlet'	Gardenview Scarlet Bee Balm	1 gal.	CG
nm	38 Nepeta x mussini 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CG
pat	13 Perovskia atriplicifolia 'Longin'	Russian Sage	1 gal.	CG
GROUNDCOVERS				
vm	10 Vinca minor 'Bowles'	Bowles Periwinkle	quart	18" o.c. spacing
wt	23 Waldsteinia ternata	Barren Strawberry	quart	18" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA
THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

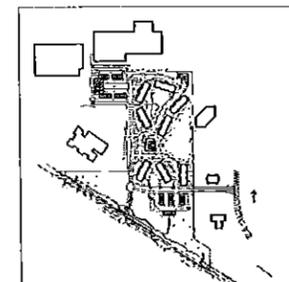
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

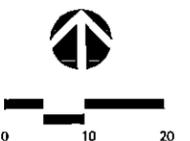
ROWHOME 15
LANDSCAPE PLAN

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/02/2012
3. TECHNICAL REVIEW	02/13/2013
4. TECHNICAL REVIEW	04/15/2013
5.	
6.	
7.	
8.	

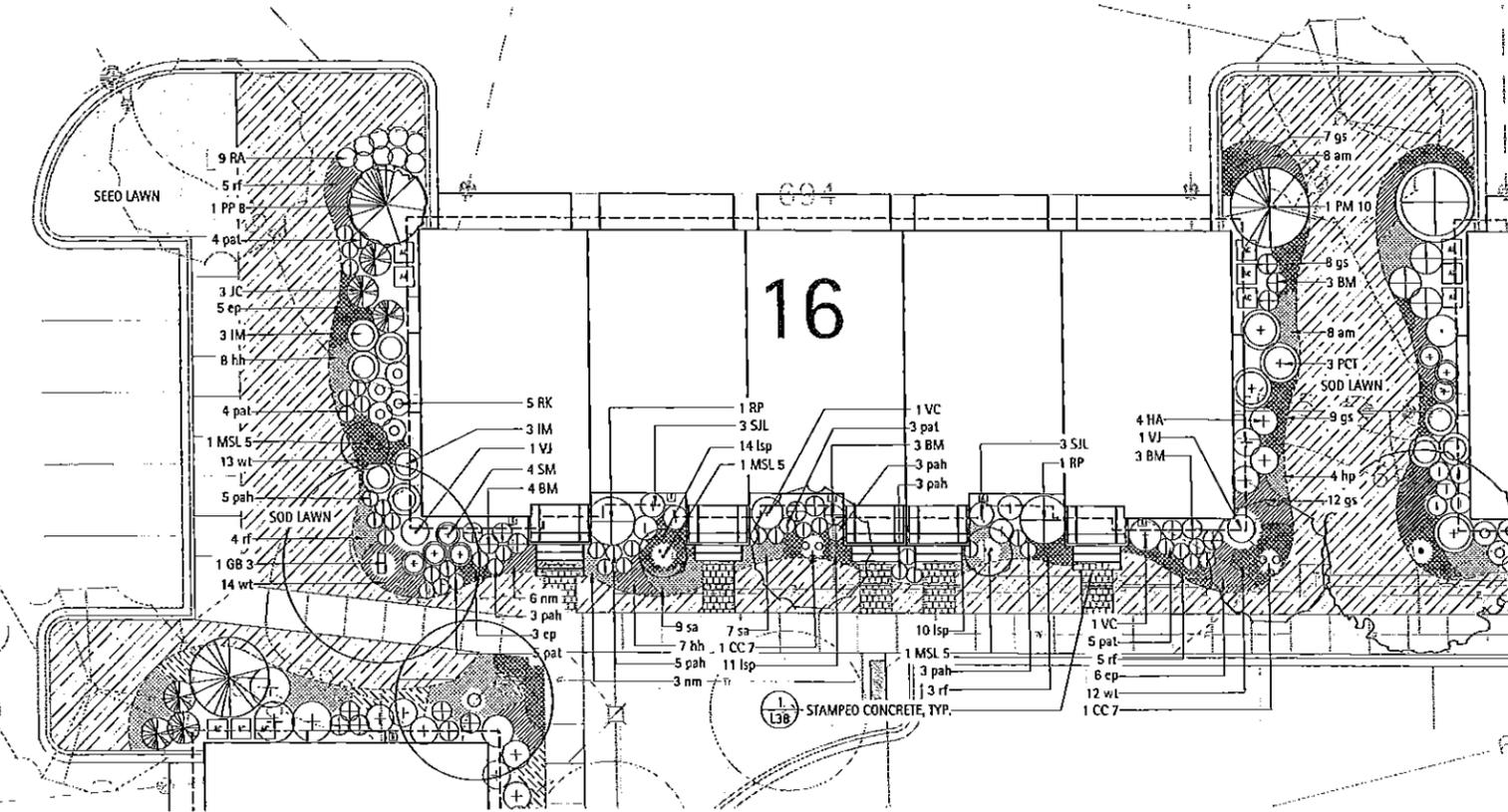
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L31-00



ROWHOME #16 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
GB 3	1 Ginkgo biloba	Ginkgo (Male)	3" caliper	B&B
ORNAMENTAL TREES				
CC 7	2 Cercis canadensis	Red bud	7' ht.	B&B, Multi-Stem
MSL 5	3 Magnolia stellata	Star Magnolia	5' ht.	B&B, Multi-Stem
EVERGREEN TREES				
PP B	1 Picea pungens	Green Colorado Spruce	8' ht.	B&B
PM 10	1 Pseudotsuga menziesii	Douglas Fir	10' ht.	B&B
DECIDUOUS SHRUBS				
HA	4 Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	B&B or CG
PCT	3 Prunus x cistena	Purple Sand Cherry	48"	B&B or CG
RP	2 Rhododendron 'Catawba'	Catawba Rhododendron	5 gal.	B&B
RA	9 Rhus aromatica 'Gro-Low'	Fragrant Sumac	5 gal.	B&B or CG
RK	5 Rosa 'Knockout'	Knockout Rose	5 gal.	CG
SJL	6 Spiraea japonica 'Lemon Princess'	Lemon Princess Spirea	15-24" spr.	B&B or CG
SM	4 Syringa meyeri	Dwarf Korean Lilac	5 gal.	B&B or CG
VC	2 Viburnum carlesii	Korean Spice Viburnum	36" ht.	B&B or CG
VI	2 Viburnum x juddii	Judd Viburnum	36" ht.	B&B or CG
EVERGREEN SHRUBS				
BM	13 Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	5 gal.	B&B or CG
IM	6 Ilex meserveae 'China Boy/China Girl'	China Boy/China Girl Holly (1.5 Male/Female)	24"	B&B or CG
JC	3 Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	B&B or CG
PERENNIALS, ORNAMENTAL GRASSES				
am	16 Alchemilla mollis	Lady's Mantle	1 gal.	CG
ep	14 Echinacea purpurea 'Magnus Pink'	Purple Coneflower	1 gal.	CG
gs	36 Geranium sanguineum	Bloody Red Cranesbill	1 gal.	CG
hh	15 Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.	CG
hp	4 Heuchera micrantha 'Purple Palace'	Purple Palace Coral Bells	1 gal.	CG
lsp	35 Liriope spicata	Lilyturf	1 gal.	CG
nm	9 Nepeta x mussini 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CG
pah	22 Penisetum apiculoides 'Hamel's'	Dwarf Fountain Grass	1 gal.	CG
pat	21 Perovskia atriplicifolia 'Longin'	Russian Sage	1 gal.	CG
rf	17 Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 gal.	CG
sa	16 Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gal.	CG
GROUNDCOVERS				
wl	39 Waldsteinia ternata	Barren Strawberry	quart	18" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA
THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

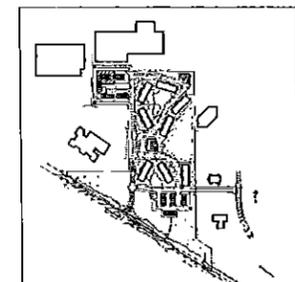
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

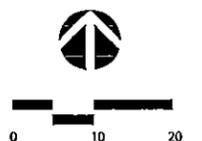
ROWHOME 16
LANDSCAPE PLAN

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/13/2013
4. TECHNICAL REVIEW	05/15/2013
5.	
6.	
7.	
8.	

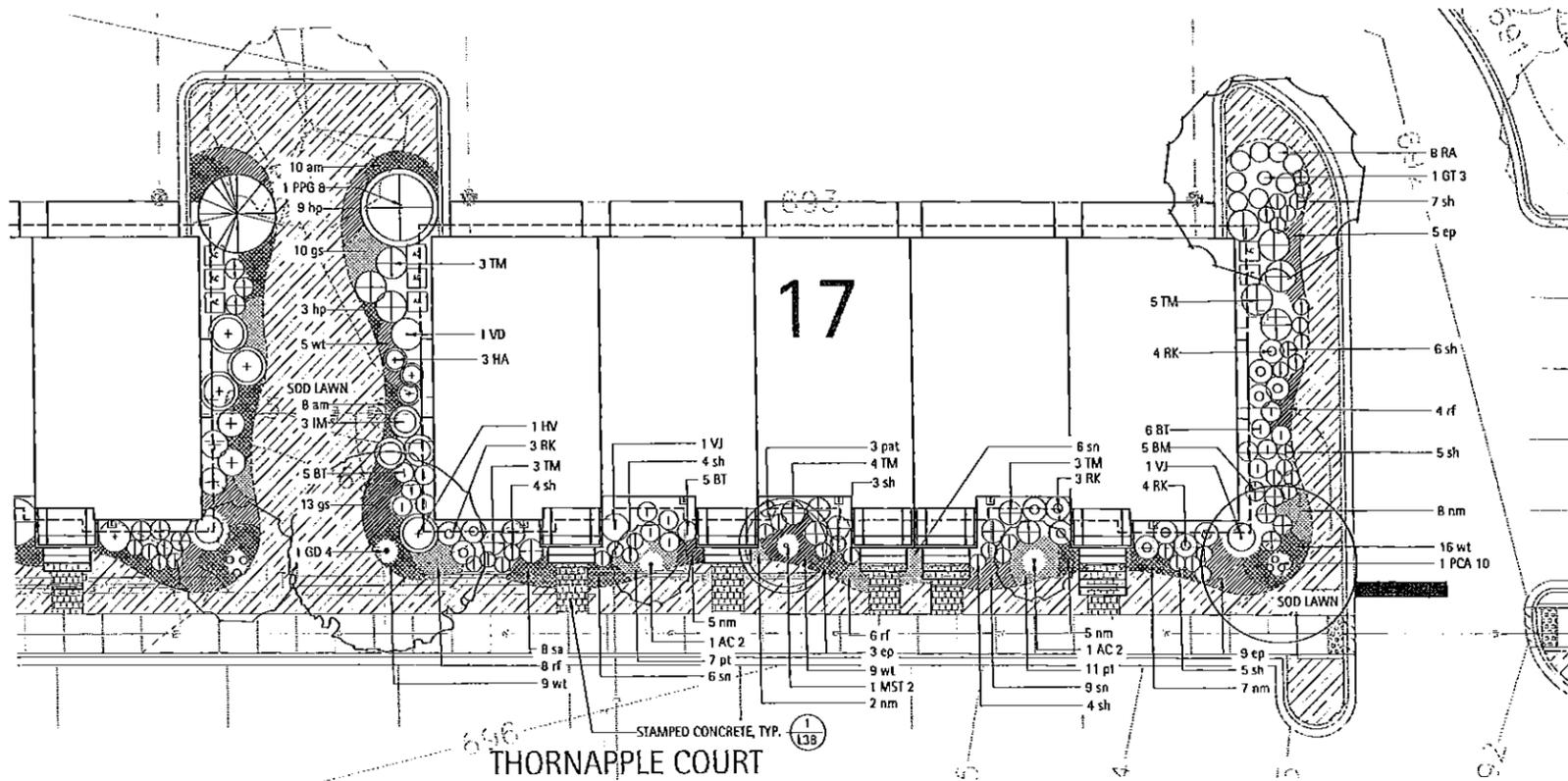
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L32-00



ROWHOME #17 - PLANTING SCHEDULE

Symbol	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES				
GT 3	<i>Gleditsia triacanthos</i> 'Inermis' 'Skyline'	Skyline Thornless Honeylocust	3" caliper	BBB
GD 4	<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	4" caliper	BBB, Multi-Stem
ORNAMENTAL TREES				
AC 2	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	2" caliper	BBB, Single Stem
MST 2	<i>Malus sargentii</i> 'Tina'	Tina Sargent Crab	2" caliper	BBB, Single Stem
PCA 10	<i>Pyrus calleryana</i> 'Aristocrat'	Clump Aristocrat Pear	10' ht.	BBB, Multi-Stem
EVERGREEN TREES				
PPG 8	<i>Picea pungens</i> 'Glauca'	Colorado Blue Spruce	8' ht.	BBB
DECIDUOUS SHRUBS				
BT	<i>Berberis thunbergii</i>	Crimson Pygmy Barberry	5 gal.	BBB or CB
HV	<i>Hamamelis virginiana</i>	Common Witch Hazel	42-48" ht.	BBB or CB
HA	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	BBB or CB
RA	<i>Ribes aromatica</i> 'Gra-Low'	Fragrant Sumac	5 gal.	BBB or CB
RK	<i>Rosa</i> 'Knockout'	Knockout Rose	5 gal.	CB
VD	<i>Viburnum dentatum</i>	Arrowwood Viburnum	30-36" ht.	BBB
VJ	<i>Viburnum x juddii</i>	Judd Viburnum	36" ht.	BBB or CB
EVERGREEN SHRUBS				
BM	<i>Buxus microphylla</i> 'Wintergreen'	Wintergreen Boxwood	5 gal.	BBB or CB
IM	<i>Ilex miserveae</i> 'China Boy/China Girl'	China Boy/China Girl Holly (1:5 Male/Female)	24"	BBB or CB
TM	<i>Taxus media</i> 'Densiformis'	Dense Yew	36" spr.	BBB or CB
PERENNIALS, ORNAMENTAL GRASSES				
am	<i>Alchemilla mollis</i>	Lady's Mantle	1 gal.	CB
ep	<i>Echinacea purpurea</i> 'Maquis Pink'	Purple Coneflower	1 gal.	CB
gs	<i>Geranium sanguineum</i>	Bloody Red Cranebill	1 gal.	CB
hp	<i>Heuchera micrantha</i> 'Purple Palace'	Purple Palace Coral Bells	1 gal.	CB
nm	<i>Nepeta x mussinii</i> 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CB
pal	<i>Perovskia atriplicifolia</i> 'Longin'	Russian Sage	1 gal.	CB
rf	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black-eyed Susan	1 gal.	CB
sn	<i>Salvia nemorosa</i> 'East Friesland'	East Friesland Sage	1 gal.	CB
sa	<i>Sedum</i> 'Autumn Joy'	Autumn Joy Sedum	1 gal.	CB
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal.	CB
GROUNDCOVERS				
pt	<i>Pachysandra terminalis</i>	Japanese Flowering Spurge	quart	18" o.c. spacing
wt	<i>Waldsteinia ternata</i>	Barren Strawberry	quart	18" o.c. spacing

NOTES

1. IF SIDE YARD GRADES CONDITIONS WARRANT, BOULDER OUTCROPPING SHOULD BE PLACED TO ADDRESS GRADE CHANGES.

LAKOTA
THE LAKOTA GROUP INC
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

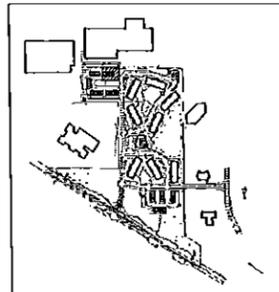
NOT FOR CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

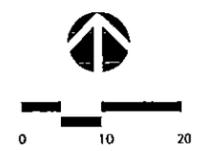
ROWHOME 17
LANDSCAPE PLAN

Revisions	
1.	TECHNICAL REVIEW 06/12/2012
2.	TECHNICAL REVIEW 11/07/2012
3.	TECHNICAL REVIEW 03/13/2013
4.	TECHNICAL REVIEW 05/15/2013
5.	
6.	
7.	
8.	

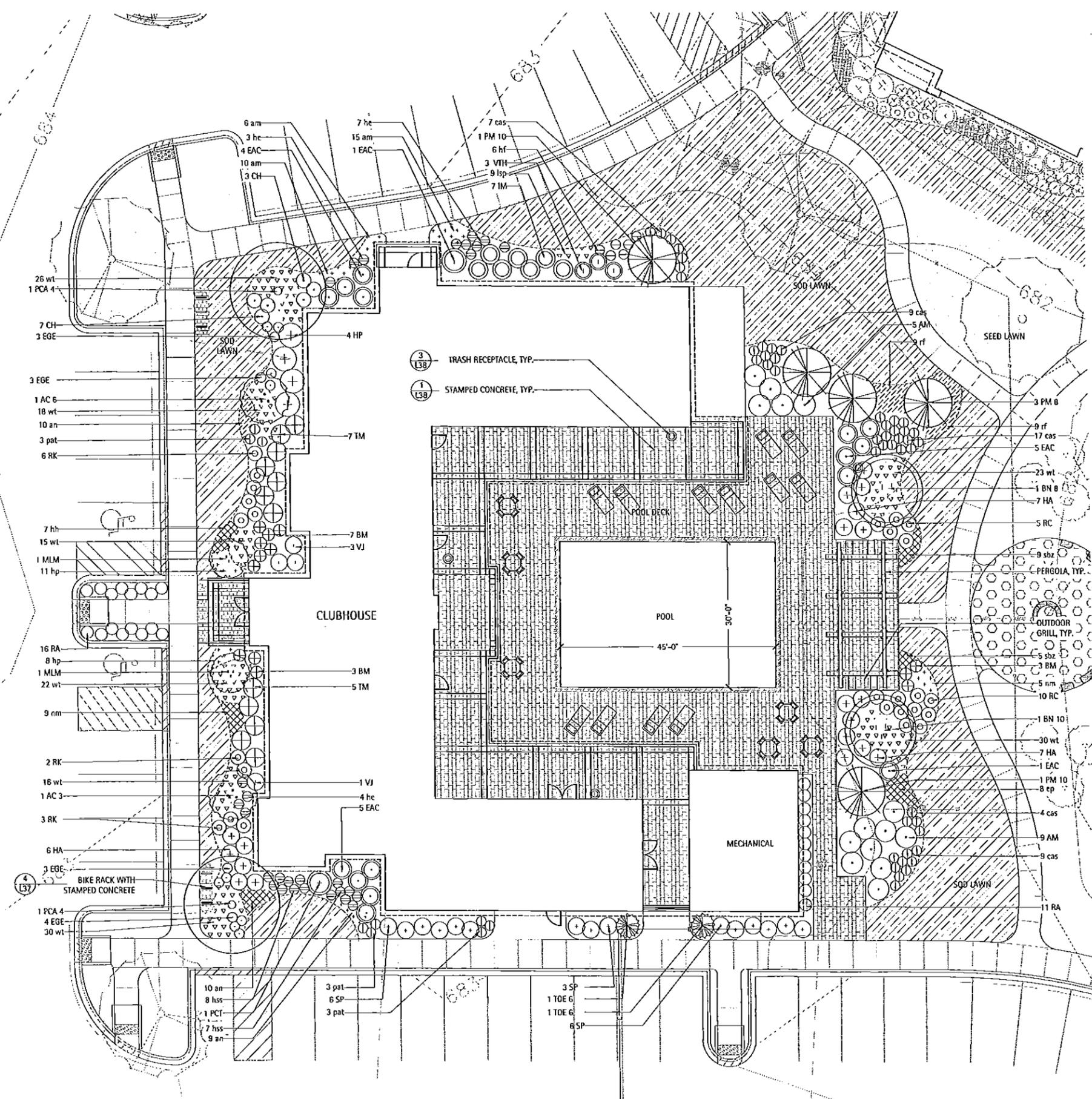
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



KEY MAP



L33-00



CLUB HOUSE - PLANTING SCHEDULE

Symbol	TOTAL	Botanic Name	Common Name	Size	Remarks
DECIDUOUS SHADE TREES					
PCA 4	2	<i>Pyrus calleryana</i> 'Aristocrat'	Aristocrat Pear	4" caliper	B&B
ORNAMENTAL TREES					
AC 3	1	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	3" caliper	B&B, Single Stem
AC 6	1	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	6" ht.	B&B, Multi-Stem
BN 8	1	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	8" ht.	B&B, Clump
BN 10	1	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	10" ht.	B&B, Clump
MLM	2	<i>Magnolia x lebanensis</i> 'Meril'	Dr. Meril Magnolia	6-7' ht.	B&B, Multi-Stem
EVERGREEN TREES					
PM 8	3	<i>Pseudotsuga menziesii</i>	Douglas Fir	8' ht.	B&B
PM 10	2	<i>Pseudotsuga menziesii</i>	Douglas Fir	10' ht.	B&B
DECIDUOUS SHRUBS					
AM	14	<i>Amnia melanocarpa</i>	Glossy Black Chokeberry	24-30" ht.	B&B or CG or BR
CH	10	<i>Cotoneaster horizontalis</i> 'Hesse'	Hesse Rockspray Cotoneaster	5 gal.	B&B or CG
EAC	16	<i>Euonymus alata</i> 'Compactus'	Dwarf Winged Euonymus	20-35" ht.	B&B or CG
EGE	13	<i>Euonymus fortunei</i> 'Emerald 'N Gold'	Emerald 'N Gold Euonymus	15-18" spr.	B&B
HA	20	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	B&B or CG
HP	4	<i>Hydrangea paniculata</i> 'Tardiva'	Tardiva Hydrangea	5 gal.	B&B or CG
PCT	1	<i>Prunus x cistena</i>	Purple Sand Cherry	30-36" ht.	B&B or CG
RA	27	<i>Rhus aromatica</i> 'Grd-Low'	Fragrant Sumac	5 gal.	B&B or CG
RC	15	<i>Rosa</i> 'Flower Carpet Pink'	Flower Carpet Pink Shrub Rose	5 gal.	CG
RK	11	<i>Rosa</i> 'Knockout'	Knockout Rose	5 gal.	CG
SP	15	<i>Syringa patula</i> 'Ms. Kim'	Ms. Kim Lilac	30-36" ht.	B&B
VTH	3	<i>Viburnum trilobum</i> 'Idaho'	Hask American Cranberrybush Viburnum	24-30" ht.	B&B or CG
VJ	4	<i>Viburnum x Judii</i>	Judd Viburnum	36" ht.	B&B or CG
EVERGREEN SHRUBS					
BM	13	<i>Buxus microphylla</i> 'Wintergreen'	Wintergreen Boxwood	5 gal.	B&B or CG
IM	7	<i>Ilex meserveae</i> 'China Boy/China Girl'	China Boy/China Girl Holly (1.5 Male/Female)	24"	B&B or CG
TM	12	<i>Taxus media</i> 'Densiformis'	Dense Yew	36" spr.	B&B or CG
TOE 6	2	<i>Thuja occidentalis</i> 'Emerald Green'	Mission Arborvitae	6" ht.	B&B
PERENNIALS, ORNAMENTAL GRASSES					
an	31	<i>Alchemilla mollis</i>	Lady's Mantle	1 gal.	CG
an	29	<i>Aster novae-angliae</i>	Purple Dome New England Aster	1 gal.	CG
cas	46	<i>Calamagrostis acutifolia</i> 'Stricta'	Feather Reed Grass	1 gal.	CG
ep	8	<i>Echinacea purpurea</i> 'Magnus Pink'	Purple Coneflower	1 gal.	CG
hh	7	<i>Heimerocallis</i> 'Happy Returns'	Happy Returns Daylily	1 gal.	CG
hp	19	<i>Heuchera micrantha</i> 'Purple Palace'	Purple Palace Coral Bells	1 gal.	CG
he	14	<i>Hosta sieboldiana</i> 'Elegans'	Elegans Hosta	1 gal.	CG
hf	6	<i>Hosta sieboldiana</i> 'Frances Williams'	Frances Williams Hosta	1 gal.	CG
hss	15	<i>Hosta Sum and Substance</i>	Sum and Substance Hosta	1 gal.	CG
lsp	9	<i>Liriope spicata</i>	Lilyturf	1 gal.	CG
nm	14	<i>Nepeta x mussinii</i> 'Blue Wonder'	Blue Wonder Catmint	1 gal.	CG
pat	9	<i>Perovskia atriplicifolia</i> 'Longin'	Russian Sage	1 gal.	CG
rf	10	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black-eyed Susan	1 gal.	CG
shz	14	<i>Stachys byzantina</i>	Lambear	1 gal.	CG
GROUNDCOVERS					
wt	180	<i>Waldsteinia ternata</i>	Baren Strawberry	quart	16" o.c. spacing

LAKOTA
THE LAKOTA GROUP INC
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

NOT FOR CONSTRUCTION

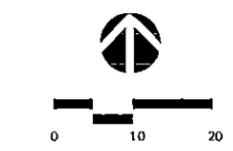
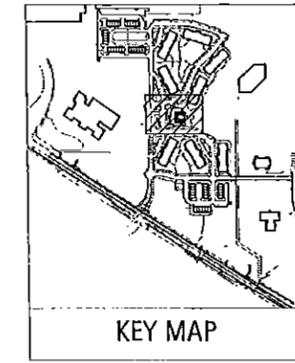
The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

CLUBHOUSE
LANDSCAPE
PLAN

Revisions

1.	TECHNICAL REVIEW	09/12/2012
2.	TECHNICAL REVIEW	11/02/2012
3.	TECHNICAL REVIEW	02/13/2013
4.	TECHNICAL REVIEW	05/13/2013
5.		
6.		
7.		
8.		

Date: 05/03/2013
Drawn By: JA
Checked By: ZM

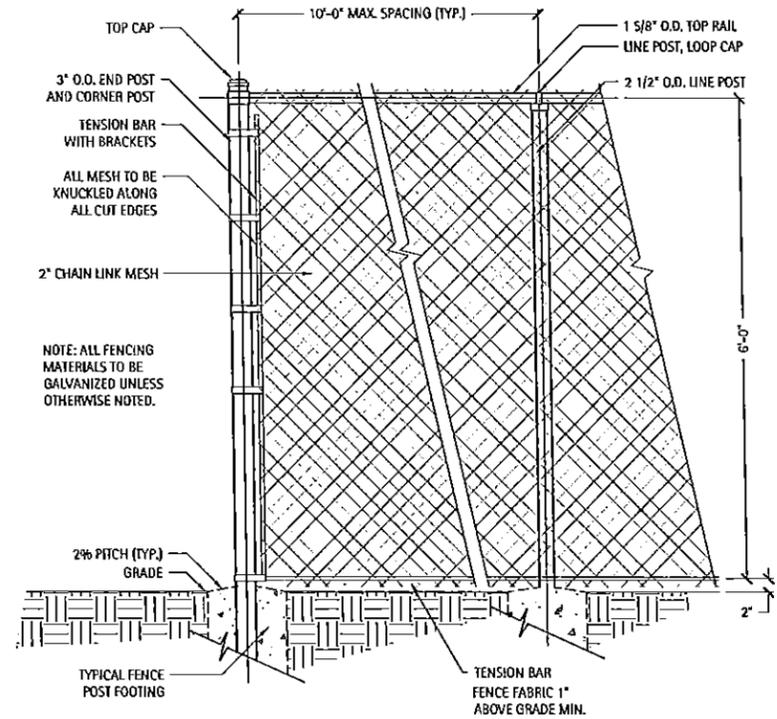


L34-00



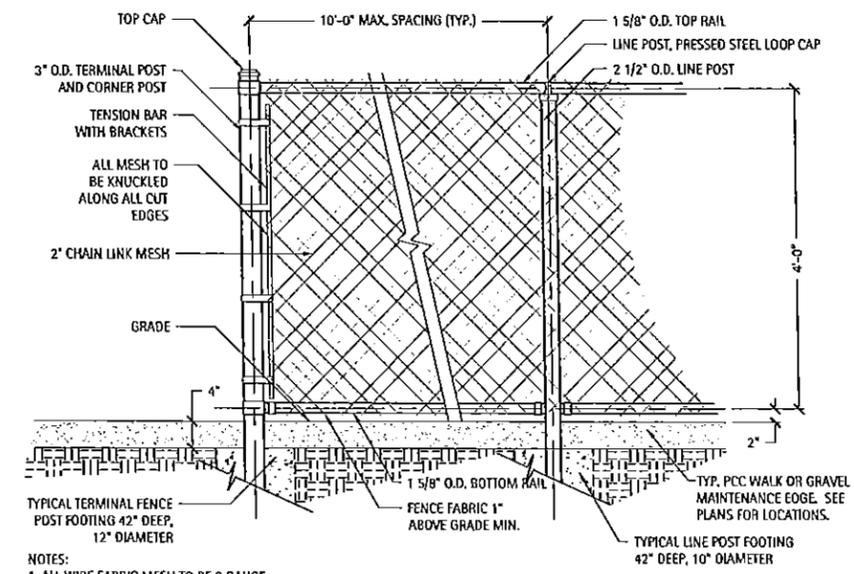
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL



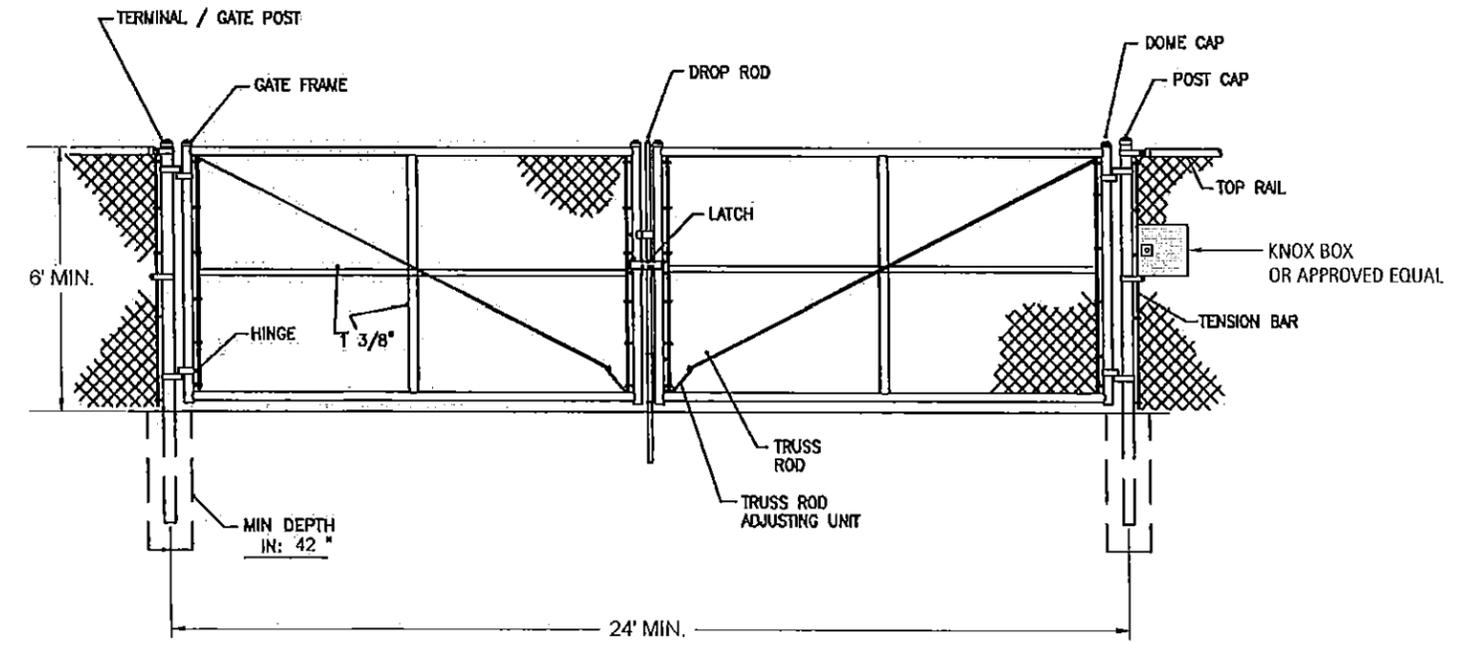
NOTE: ALL WIRE FABRIC MESH TO BE 9 GAUGE. ALL FENCE MATERIAL TO BE FILLED SS40 OR EQUAL CONFORMING TO CLFMI SPECIFICATIONS.

2 TYPICAL 6' HT BLACK VINYL CHAIN LINK FENCE DETAIL
SCALE: NTS



NOTES:
1. ALL WIRE FABRIC MESH TO BE 9 GAUGE.
2. ALL TIES TO BE PVC-COATED 9 GAUGE O.D. STEEL.
3. ALL FENCING MATERIALS TO BE GALVANIZED WITH FUSED BONDED BLACK VINYL COATING UNLESS OTHERWISE NOTED.

1 TYPICAL 4' HT BLACK VINYL CHAIN LINK FENCE DETAIL
SCALE: NTS



3 TYPICAL ACCESSIBLE EMERGENCY / TEMPORARY GATE DETAIL
SCALE: NTS

FENCE DETAILS

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/13/2013
4. TECHNICAL REVIEW	05/15/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM



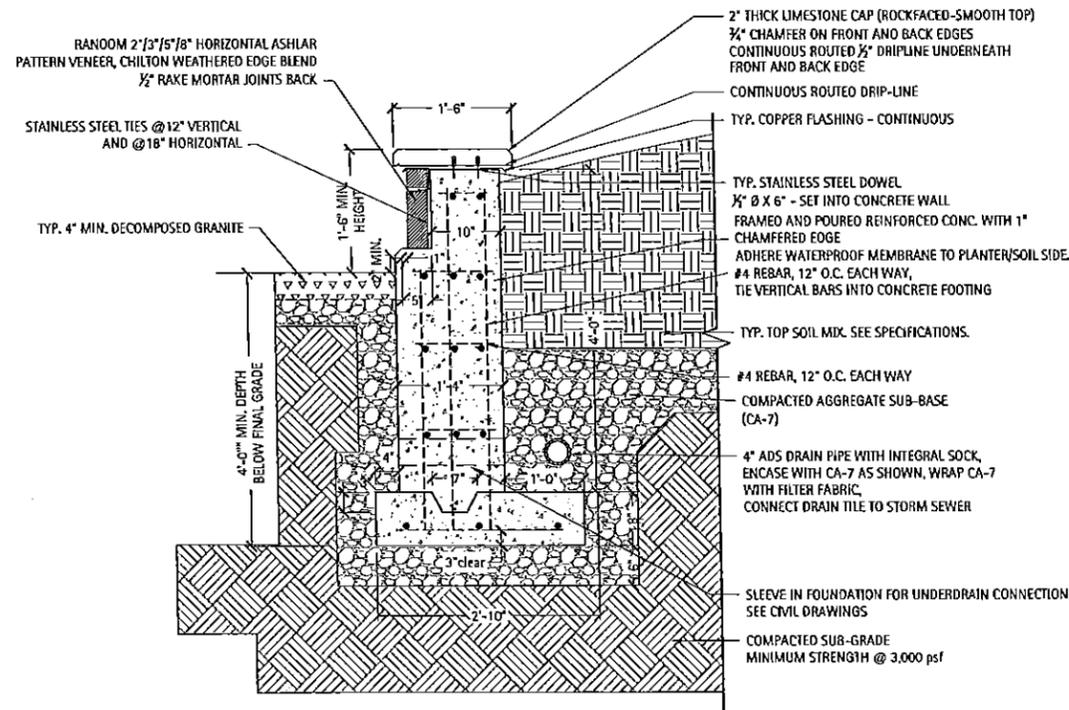
**NOT FOR
CONSTRUCTION**

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

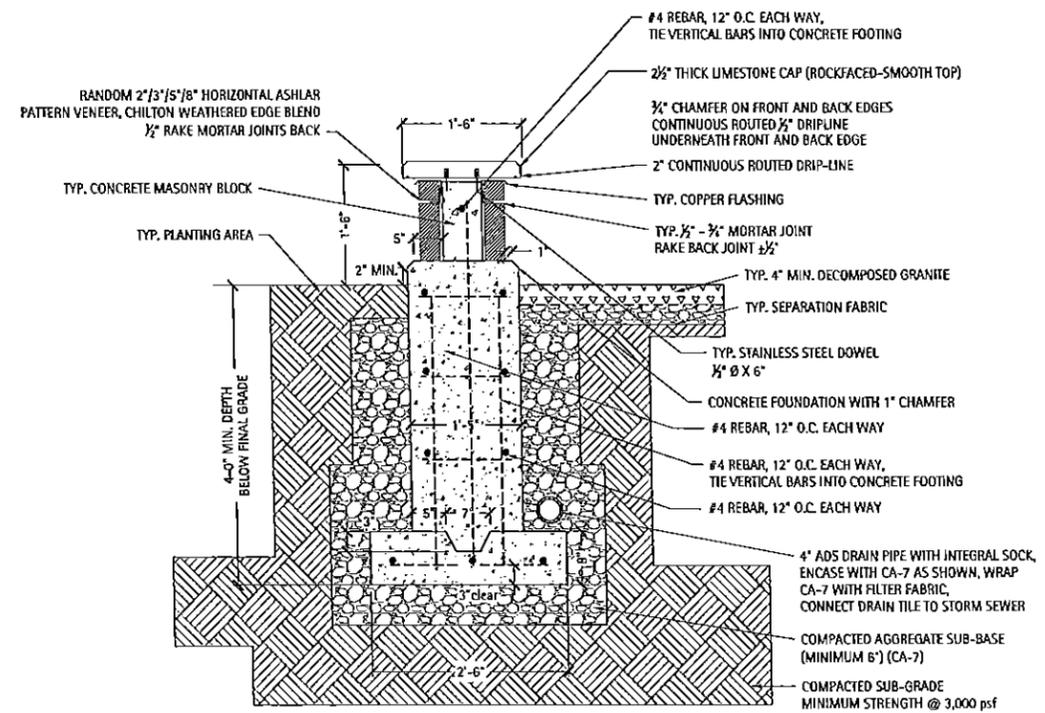
**SEAT WALL
DETAILS**

Revisions	
1.	TECHNICAL REVIEW 08/12/2012
2.	TECHNICAL REVIEW 11/07/2012
3.	TECHNICAL REVIEW 03/12/2013
4.	TECHNICAL REVIEW 05/15/2013
5.	
6.	
7.	
8.	

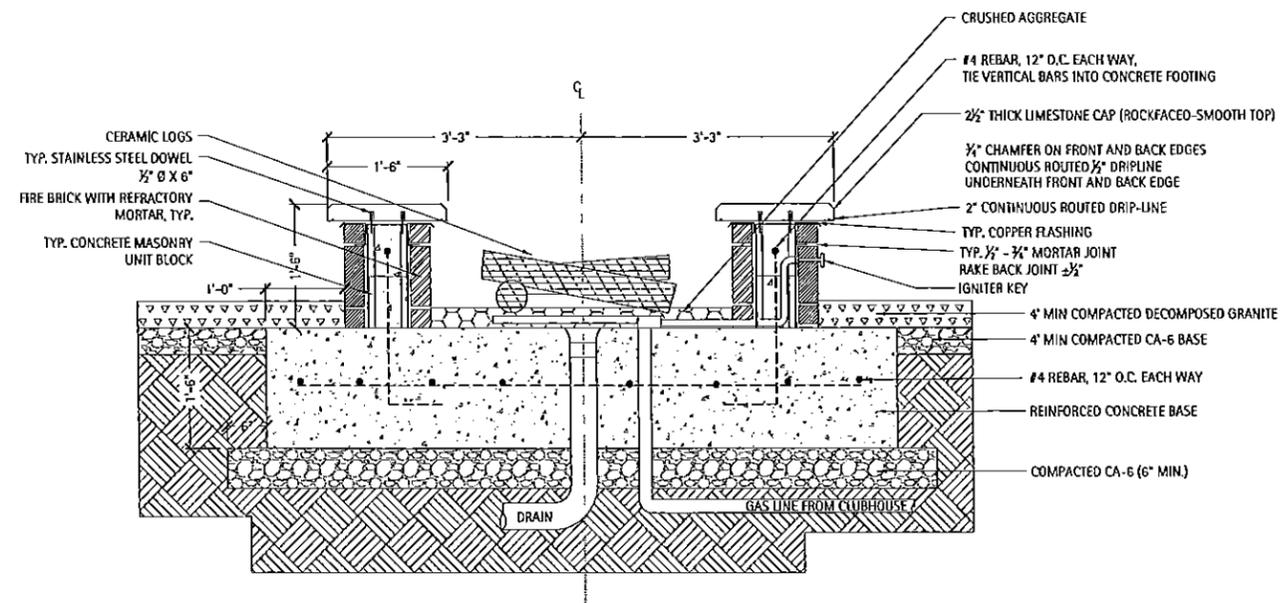
Date: 05/03/2013
Drawn By: JA
Checked By: ZM



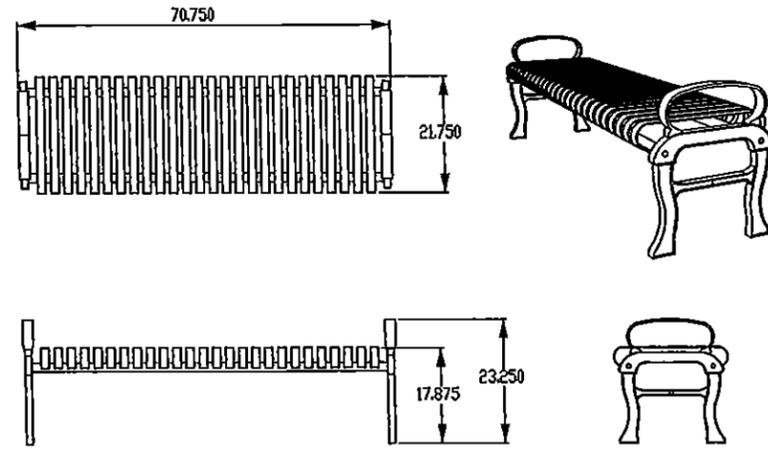
2 Typical Seat Wall Detail @ Council Ring
Scale: NTS



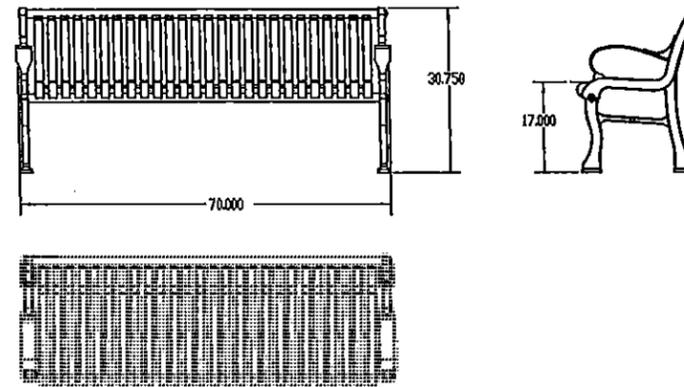
1 Typical Seat Wall Detail - Section
Scale: NTS



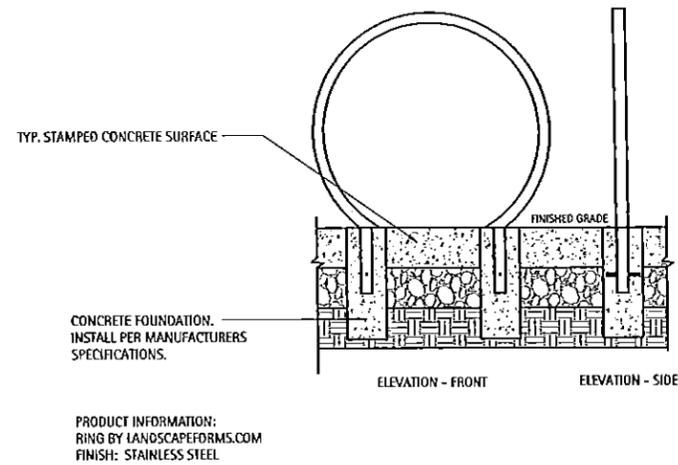
3 TYPICAL FIRE PIT - ELEVATION
SCALE: NTS



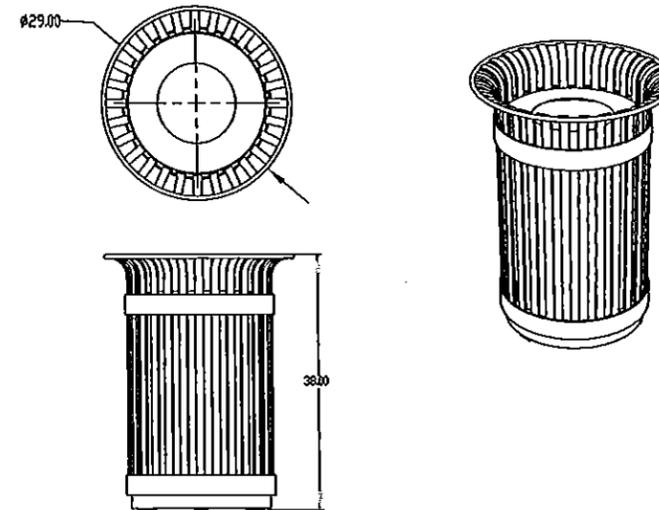
② TYP. BENCH (OPTIONAL BACKLESS MODEL - MAGLIN MLB300MB)
NTS



① TYP. BENCH (MAGLIN MLB300MH)
NTS



④ TYP. BIKE RACK DETAIL
NTS



③ TYP. TRASH RECEPTACLE (MAGLIN MLWR200-32)
NTS

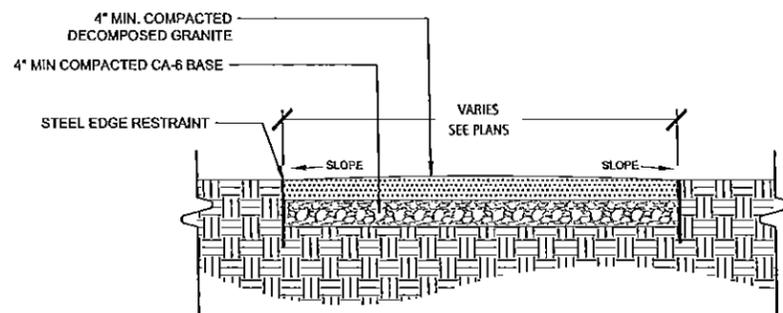


Revisions		
1.	TECHNICAL REVIEW	08/12/2012
2.	TECHNICAL REVIEW	11/07/2012
3.	TECHNICAL REVIEW	03/12/2013
4.	TECHNICAL REVIEW	05/15/2013
5.		
6.		
7.		
8.		

Date: 05/03/2013
Drawn By: JA
Checked By: ZM

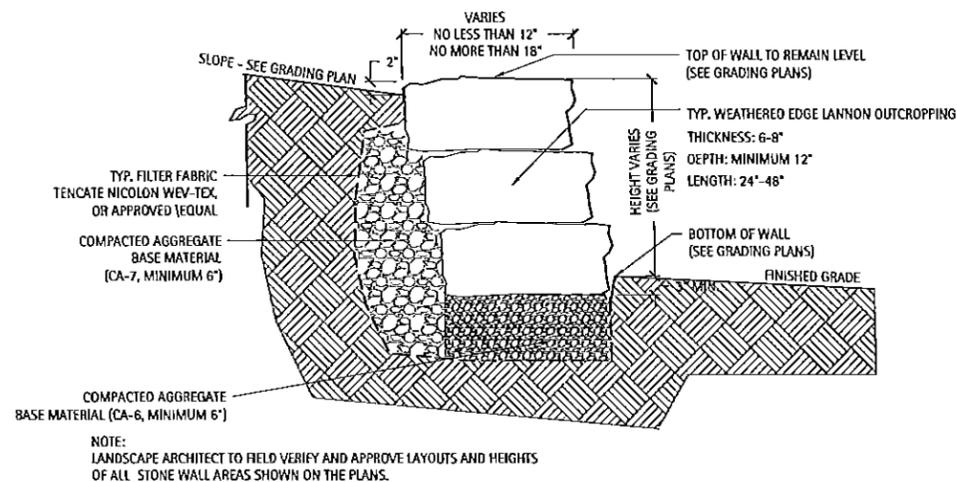


**NOT FOR
CONSTRUCTION**



2 TYPICAL CRUSHED AGGREGATE SURFACE DETAIL
SCALE: NTS

NOTE: LOCATED AT PATH / COUNCIL RING / FIRE PIT AREA

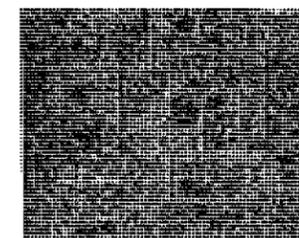


4 TYPICAL OUTCROPPING STONE WALL DETAIL
SCALE: NTS

NOTE:
LANDSCAPE ARCHITECT TO FIELD VERIFY AND APPROVE LAYOUTS AND HEIGHTS
OF ALL STONE WALL AREAS SHOWN ON THE PLANS.



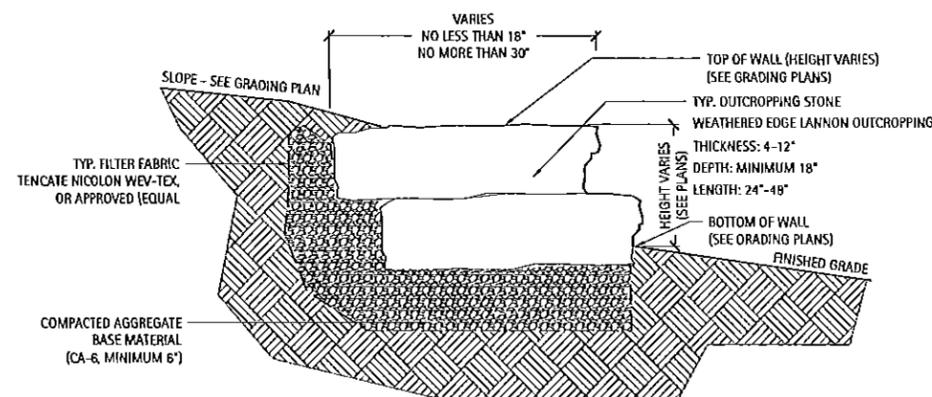
POOL PATTERN: SLATE
COLOR: TAN OR APPROVED EQUAL



WALK PATTERN: ASHLAR
COLOR: TAN OR APPROVED EQUAL

NOTE:
1. CONTRACTOR SHALL PROVIDE 10' X 10' TINTED/STAMPED CONCRETE MOCKUP FOR APPROVAL PRIOR TO CONSTRUCTION.
ALL INTEGRAL CONCRETE COLORS AND SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND UNO PRIOR TO ORDERING.
2. EXPANSION JOINTS TO BE APPROPRIATELY SPACED AT LANDSCAPE ARCHITECT'S APPROVAL AND NO GREATER THAN 30'-0" O.C.

1 TYPICAL STAMPED CONCRETE DETAIL
SCALE: NTS



3 TYPICAL OUTCROPPING STONE DETAIL
SCALE: NTS

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

LANDSCAPE
DETAILS

Revisions	
1. TECHNICAL REVIEW	09/17/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/13/2013
4. TECHNICAL REVIEW	05/15/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM

DECIDUOUS TREE PLANTING NOTES:

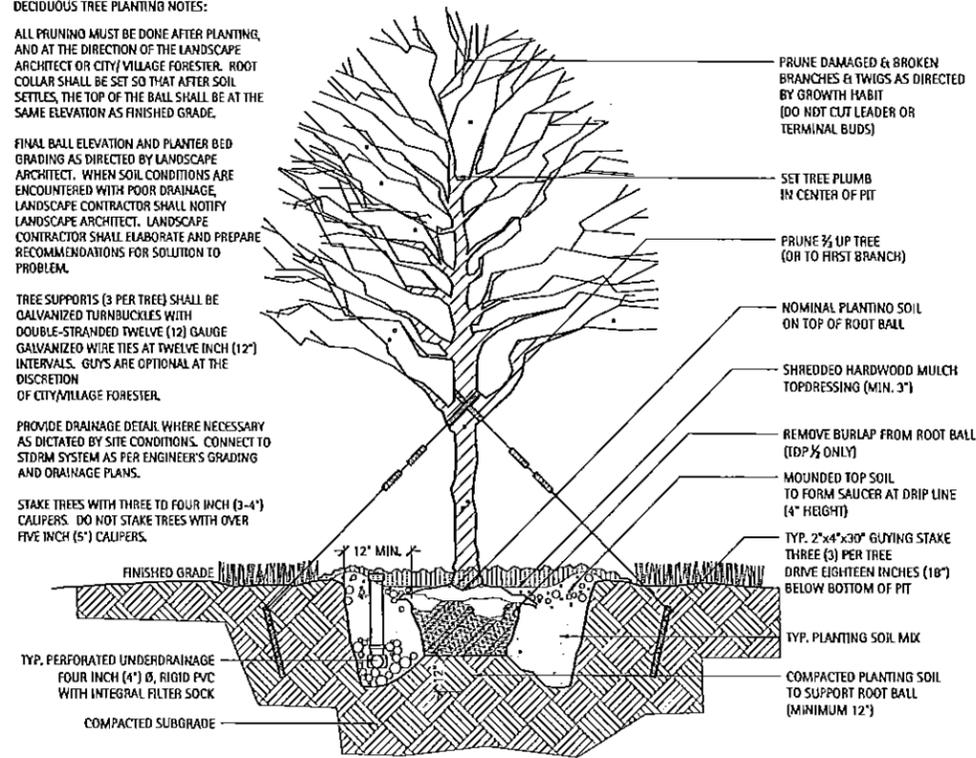
ALL PRUNING MUST BE DONE AFTER PLANTING, AND AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR CITY/VILLAGE FORESTER. ROOT COLLAR SHALL BE SET SO THAT AFTER SOIL SETTLES, THE TOP OF THE BALL SHALL BE AT THE SAME ELEVATION AS FINISHED GRADE.

FINAL BALL ELEVATION AND PLANTER BED GRADING AS DIRECTED BY LANDSCAPE ARCHITECT. WHEN SOIL CONDITIONS ARE ENCOUNTERED WITH POOR DRAINAGE, LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL ELABORATE AND PREPARE RECOMMENDATIONS FOR SOLUTION TO PROBLEM.

TREE SUPPORTS (3 PER TREE) SHALL BE GALVANIZED TURNBUCKLES WITH DOUBLE-STRANDED TWELVE (12) GAUGE GALVANIZED WIRE TIES AT TWELVE INCH (12") INTERVALS. GUYS ARE OPTIONAL AT THE DISCRETION OF CITY/VILLAGE FORESTER.

PROVIDE DRAINAGE DETAIL WHERE NECESSARY AS DICTATED BY SITE CONDITIONS. CONNECT TO STORM SYSTEM AS PER ENGINEER'S GRADING AND DRAINAGE PLANS.

STAKE TREES WITH THREE TO FOUR INCH (3-4") CALIPERS. DO NOT STAKE TREES WITH OVER FIVE INCH (5") CALIPERS.



1 Typical Deciduous Tree Planting Detail

Scale: NTS

ORNAMENTAL TREE PLANTING NOTES:

FINAL BALL ELEVATION AND PLANTER BED GRADING AS DIRECTED BY LANDSCAPE ARCHITECT. WHEN SOIL CONDITIONS ARE ENCOUNTERED WITH POOR DRAINAGE, LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL ELABORATE AND PREPARE RECOMMENDATIONS FOR SOLUTION TO PROBLEM.

SHREDDED HARDWOOD MULCH TOPDRESSING (MIN. 3")

MOUNDED TOP SOIL TO FORM SAUCER AT DRIP LINE (4" HEIGHT)

FINISHED GRADE

TYP. PERFORATED UNDERDRAINAGE FOUR INCH (4") Ø, RIGID PVC WITH INTEGRAL FILTER SOCK

COMPACTED SUBGRADE



3 Typical Ornamental Tree Planting Detail

Scale: NTS

SHRUB PLANTING NOTES:

FINAL BALL ELEVATION AND PLANTER BED GRADING AS DIRECTED BY LANDSCAPE ARCHITECT. WHEN SOIL CONDITIONS ARE ENCOUNTERED WITH POOR DRAINAGE, LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL ELABORATE AND PREPARE RECOMMENDATIONS FOR SOLUTION TO PROBLEM.

FINISHED GRADE

TYP. PERFORATED UNDERDRAINAGE FOUR INCH (4") Ø, RIGID PVC WITH INTEGRAL FILTER SOCK

COMPACTED SUBGRADE

MINIMUM 3" SHREDDED HARDWOOD MULCH AS SPECIFIED (ALL SHRUBS)

MINIMUM 3" MUSHROOM COMPOST AS SPECIFIED (ALL PERENNIALS)

TYP. CULTIVATED EDGE (AT ALL PLANTING BEDS)

TYP. PLANTING SOIL MIX (SEE SPECIFICATIONS)

LOOSEN SOIL ALONG PIT BOTTOM

COMPACTED SUBGRADE

PLANTS SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS TO PREVIOUS GRADE

REMOVE BINDING FROM STEMS ONLY REMOVE TWINE AROUND ROOT COLLAR AND BRANCHES, TURN BURLAP TOP DOWN

TOPSOIL SAUCER (ON LOW-SIDE ONLY) ORIGINAL SLOPE

MODIFIED SLOPE

TYP. PLANTING SOIL MIX (SEE SPECIFICATIONS)

COMPACTED SUBGRADE

SLOPE ELEVATION

5 Typical Shrub Planting Detail (Slope)

Scale: NTS

EVERGREEN TREE PLANTING NOTES:

FINAL BALL ELEVATION AND PLANTER BED GRADING AS DIRECTED BY LANDSCAPE ARCHITECT. WHEN SOIL CONDITIONS ARE ENCOUNTERED WITH POOR DRAINAGE, LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL ELABORATE AND PREPARE RECOMMENDATIONS FOR SOLUTION TO PROBLEM.

TREE SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS TO PREVIOUS GRADE

SHREDDED HARDWOOD MULCH TOPDRESSING (MIN. 3")

FINISHED GRADE

TYP. PERFORATED UNDERDRAINAGE FOUR INCH (4") Ø, RIGID PVC WITH INTEGRAL FILTER SOCK

COMPACTED SUBGRADE

DO NOT REMOVE BURLAP OR BINDING FROM ROOT BALL REMOVE BINDING FROM TRUNK ONLY

MOUNDED TOP SOIL TO FORM SAUCER AT DRIP LINE (4" HEIGHT)

TYP. PLANTING SOIL MIX

LOOSEN SOIL ALONG PIT BOTTOM

TYP. 1/2" Ø RUBBER HOSE (REINFORCED) OVER GALVANIZED WIRE

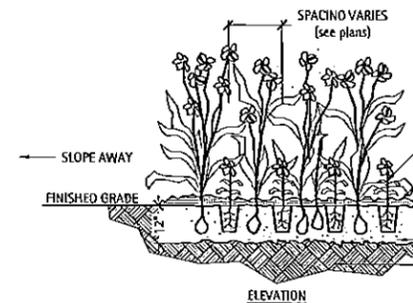
TYP. GALVANIZED TURNBUCKLES (THREE PER TREE) WITH DOUBLE-STRANDED TWELVE (12) GAUGE GALVANIZED WIRE TIES AT 12" INTERVALS (OPTIONAL AT THE DISCRETION OF VILLAGE FORESTER)

2 Typical Evergreen Tree Planting Detail

Scale: NTS

4 Typical Shrub Planting Detail

Scale: NTS



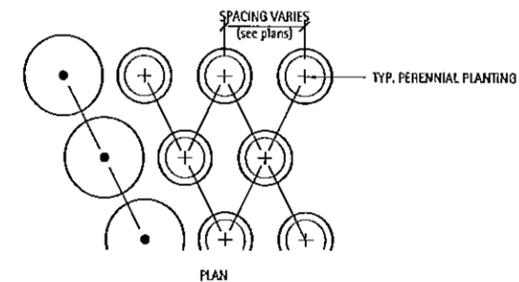
NOTES:

FINAL BALL ELEVATION AND PLANTER BED GRADING AS DIRECTED BY LANDSCAPE ARCHITECT. WHEN SOIL CONDITIONS ARE ENCOUNTERED WITH POOR DRAINAGE, LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL ELABORATE AND PREPARE RECOMMENDATIONS FOR SOLUTION TO PROBLEM.

PERENNIAL PLANTING LAYOUTS TO BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

6 Typical Groundcover & Perennial Planting Detail

Scale: NTS



NOTE:

ALL GUYING MUST BE REMOVED PRIOR TO FINAL APPROVAL OF LANDSCAPE. VILLAGE ORDINANCE REQUIRES GUYING FOR ALL EVERGREEN TREES SIX FEET AND OVER, AND DECIDUOUS SHADE TREES 3 INCH CALIPER AND OVER.

LAKOTA

THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

NOT FOR
CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

PLANTING DETAILS

Revisions	
1.	TECHNICAL REVIEW 09/12/2011
2.	TECHNICAL REVIEW 11/07/2012
3.	TECHNICAL REVIEW 03/13/2013
4.	TECHNICAL REVIEW 02/15/2013
5.	
6.	
7.	
8.	

Date: 05/03/2013
Drawn By: JA
Checked By: ZM

L39-00

GENERAL NATIVE SEEDING AREA - MAINTENANCE SCHEDULE

Naturalized Seed Areas - Maintenance Steps

- o Year One
 - o May
 - Analyze seed performance
 - Apply seed in bare or damaged areas until established
 - Selective hand weeding of invasive weed species to establish healthy, dominant species composition
 - Overseed and install additional seed as needed to establish desired species composition
 - o September
 - Analyze seed performance
 - Apply seed in bare or damaged areas until established
 - Selective hand weeding of invasive weed species to establish healthy, dominant species composition
 - Overseed and install additional seed as needed to establish desired species composition
 - o October
 - Mow at end of growing season
 - Mow at six inches when the oats set seed heads. Mow again when competitive weeds are at eight inches to 12 inches in height. Cut back to six inches with flail-type mower two or three times during the first season.
- o Year Two
 - o May
 - Analyze seed performance
 - Apply seed in bare or damaged areas until established
 - Selective hand weeding of invasive weed species to establish healthy, dominant species composition
 - Overseed and install additional seed as needed to establish desired species composition
 - o September
 - Analyze seed performance
 - Apply seed in bare or damaged areas until established
 - Selective hand weeding of invasive weed species to establish healthy, dominant species composition
 - Overseed and install additional seed as needed to establish desired species composition
 - o October
 - Mow at end of growing season
 - Keep area mowed at 12 inches to control weed competition. Mow in late May and late June. Maintain goose barrier control for two years if required. Then remove fencing, lathe, and monofilament if required.
- o Year Three
 - o May
 - Analyze seed performance
 - Apply seed in bare or damaged areas until established
 - o September
 - Analyze seed performance
 - Apply seed in bare or damaged areas until established
 - o October
 - Mow at end of growing season
 - Keep area mowed at 12 inches to control weed competition. Mow in late May and late June.
 - o Year Four
 - o Controlled burning in the spring at appropriate site/climate conditions as prescribed, performed by a Certified Technician
 - o Mow at end of growing season
 - o If burning is not an option, mow again to control weeds but remove the clippings. Do not burn or mow after new plant growth has reached 12 inches or taller.
 - o Year Five and beyond
 - o Mow yearly at the end of the growing season
 - o Controlled burning every three to five years in Spring, performed by a Certified Technician
 - o If burning is not an option, mow again to control weeds but remove the clippings. Do not burn or mow after new plant growth has reached 12 inches or taller.
 - o manage prairie plantings and control species deemed detrimental such as purple loosestrife, Canada thistle, reed canary grass, Queen Anne's lace, sweet clover, calltails, common teasel, ragweeds, buckthorn, and sandbar willow.

GENERAL NOTES

1. Landscape Contractor shall verify all utility locations (existing and proposed) along with existing conditions and grades (existing and proposed), and note any discrepancies to owner, Engineer, and Landscape Architect immediately, before proceeding with any work.
2. Base information for these plans was taken from Engineer's site survey, geometric, and grading plans. Contractor shall verify all dimensions and locations of existing and proposed features, and familiarize themselves with any obstacles encumbering the installation of this project.
3. Any existing tree surveys or locations for these plans were prepared by the Engineer or a certified arborist. See plans for information.
4. All soil/underground conditions shall be referred to soil testing reports prepared by the owner's consultant.
5. Any archeological information relevant to these plans shall be referred to archeological survey and reports (if appropriate to job site) by the owner's consultant.
6. All surface drainage shall be diverted away from structures and noted site features in all areas as shown on the Civil Engineer's grading plans. Surface drainage shall be diverted to existing or proposed basin structures or inlets as directed by the grading plans. Any site underdrainage as shown in the landscape drawings shall be provided at Landscape Architect's direction. Where poor subsurface drainage conditions occur in the field, Contractor shall notify Landscape Architect immediately and make recommendations for solutions to drainage issues before proceeding with work.
7. Where possible, and at Engineer's approval and per code, all underdrainage shall be tied into existing or proposed storm structures.
8. Landscape accent lighting as shown on these plans is for general location and intent only. The specified fixture and wattage shall be provided and installed on the desired feature at Landscape Architect's direction. Contractor shall field stake all accent lighting locations and obtain Landscape Architect's approval before final installation. Please refer to electrical plans for conduit or low-voltage cable routing and power-source (timer, transformers, switch boxes, etc.).

GENERAL PLANTING NOTES

GENERAL CONDITIONS

1. Contractor shall familiarize themselves with all landscape specifications prior to commencement of work. Any questions or concerns shall be directed to Project Engineer or Landscape Architect in writing prior to landscape work commencement.
2. All project limits shall be fenced with temporary plastic fencing at 48" height, staked at 4' on center, and clearly signed for construction activities. All existing, protected vegetation shall be fenced at a minimum of the plants drip line or as approved by Landscape Architect.
3. The Landscape Contractor shall keep all areas clean and orderly at all times.
4. The Landscape Contractor shall keep all roadways and walkways clear of mud and debris that result from landscape operations.

SITE GRADING & BERMING

5. Berming shall occur along all noted landscape areas to the designed berming heights shown on the plans. All grading, drainage, and utilities shall be evaluated in the field for conflict points with designed berming. Landscape Architect and Project Engineer shall review and approve prior to finished grading. Finished shape and contouring shall be at Landscape Architect's direction.
6. All grading and drainage shall be properly pitched to existing or proposed drainage swales and structures. Landscape Architect and Project Engineer shall field verify and approve.
7. All stone work to be approved by Landscape Architect in field. All stone color samples shall be approved by Landscape Architect prior to ordering.

SOIL & PLANTING MIX

8. All soil planting mix for backfill or beds, whether from on-site stockpile or new imported soil, shall be tested for approved specified pH levels and nutrient content. Submit testing agency with laboratory report to project Landscape Architect for approval, along with recommendations to amending soil as appropriate for use in planting.
9. Topsoil shall be clean, pulverized soil from an acceptable source. Topsoil shall be free of debris, stones, and other material not more than one inch (1") diameter in size. Contractor shall provide the Landscape Architect with receipt of soil source and soil test results from a qualified lab upon request.
10. It is anticipated that all planting areas, including lawn, shall be thoroughly tilled to a minimum of 12-18" depth. All on-site topsoil shall be amended and reused as approved, or removed off-site and disposed of properly. New planting soil mix consisting of pulverized topsoil and mushroom compost shall be installed and properly compacted to the following depths noted in the specifications and landscape planting details.
11. Clean topsoil mix should have a tested and approved pH of 6.0 -- 7.0
12. All planting beds shall be thoroughly tilled and amended with topsoil/compost mix to a minimum of 12" depth.
13. The Landscape Contractor shall prepare planting beds by adding soil amendments to approved on-site or imported topsoil mix in the following quantities:
Trees and Shrubs: three (3) parts topsoil, (1) part peat, and one (1) part sand
Perennials and Groundcovers: three (3) parts topsoil, one (1) part peat, and two (2) parts decomposed mushroom compost. (See Specifications)
14. All excess materials and spoils resulting from the landscape work shall be legally disposed of off-site by the Landscape Contractor.

PLANTING STANDARDS

15. All plant material shall be top-quality grade, free of defects, and meet accepted horticultural standards established by the American Nurserymen's Association (AAN) and as deemed appropriate by Landscape Architect. Landscape Architect shall have the right to reject any, and all, plant material delivered to the site that does not meet acceptable standards.
16. Sizes shown on plant schedule are minimum acceptable sizes.
17. All plants to be balled-in-burlap or container-grown as specified in plant schedule. All plastic root wrapping material and metal wire baskets shall be removed.
18. All new and transplanted plants to be sprayed with an antidesiccant within twenty-four (24) hours after planting. Anti-transpirant shall be "Wiltpruf" or an approved equal.
19. Landscape Architect shall field verify and approve all final staked tree, shrub, and perennial bed locations prior to installation.
20. The Landscape Contractor shall repair to its original condition any plant material which becomes damaged as a result of landscape operations.
21. All perennials shall be planted at least two (2) feet from the tree trunks planted within planting areas.
22. Landscape Architect shall approve all plant materials for quality, condition and specified sizes. Plant material shall be approved at nursery location, during tagging or before removal and transport to job site. Shrubs, perennials and groundcovers shall be approved at job site prior to installation.

FERTILIZER & MULCHING

23. Prior to mulching tree and shrub planting areas, apply time-release fertilizer by broadcasting over entire planting areas. Rate is to manufacturer's recommendations. Fertilizer is to have no less than 10% available phosphoric acid, and 3-8% total nitrogen soluble potash.
24. All plantings shall receive a slow-release fertilizer with a ratio of 10/10/10.
25. All trees and shrub beds shall receive a minimum of 3" thick shredded hardwood mulch top-dressing.
26. All perennials and groundcover beds shall be top-dressed with two inches (2") minimum of mushroom compost.

MAINTENANCE & WARRANTIES

27. All plants shall be thoroughly watered in at time of planting and watered and maintained throughout construction until final acceptance by owner. Contractor shall water all plants immediately after planting. Flood plants twice during the first twenty-four (24) hours after planting.
28. Landscape Contractor shall warrant all trees, shrubs, perennials, and ornamental grasses under this contract will be healthy and in flourishing condition of active growth one year from date of final acceptance.
29. All newly sodded or seeded areas shall be maintained, watered, and mowed throughout their growing seasons during construction and until final acceptance by owner.

LAKOTA
THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



212 West Kinzie Street, 3rd Floor

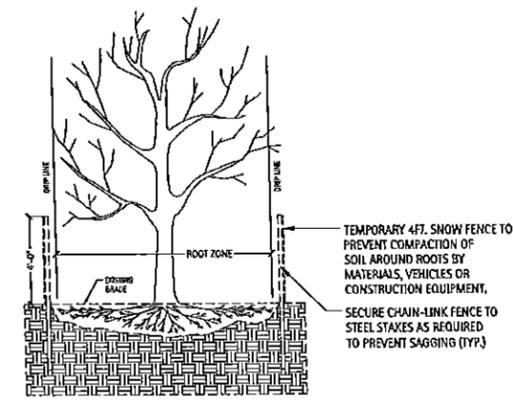
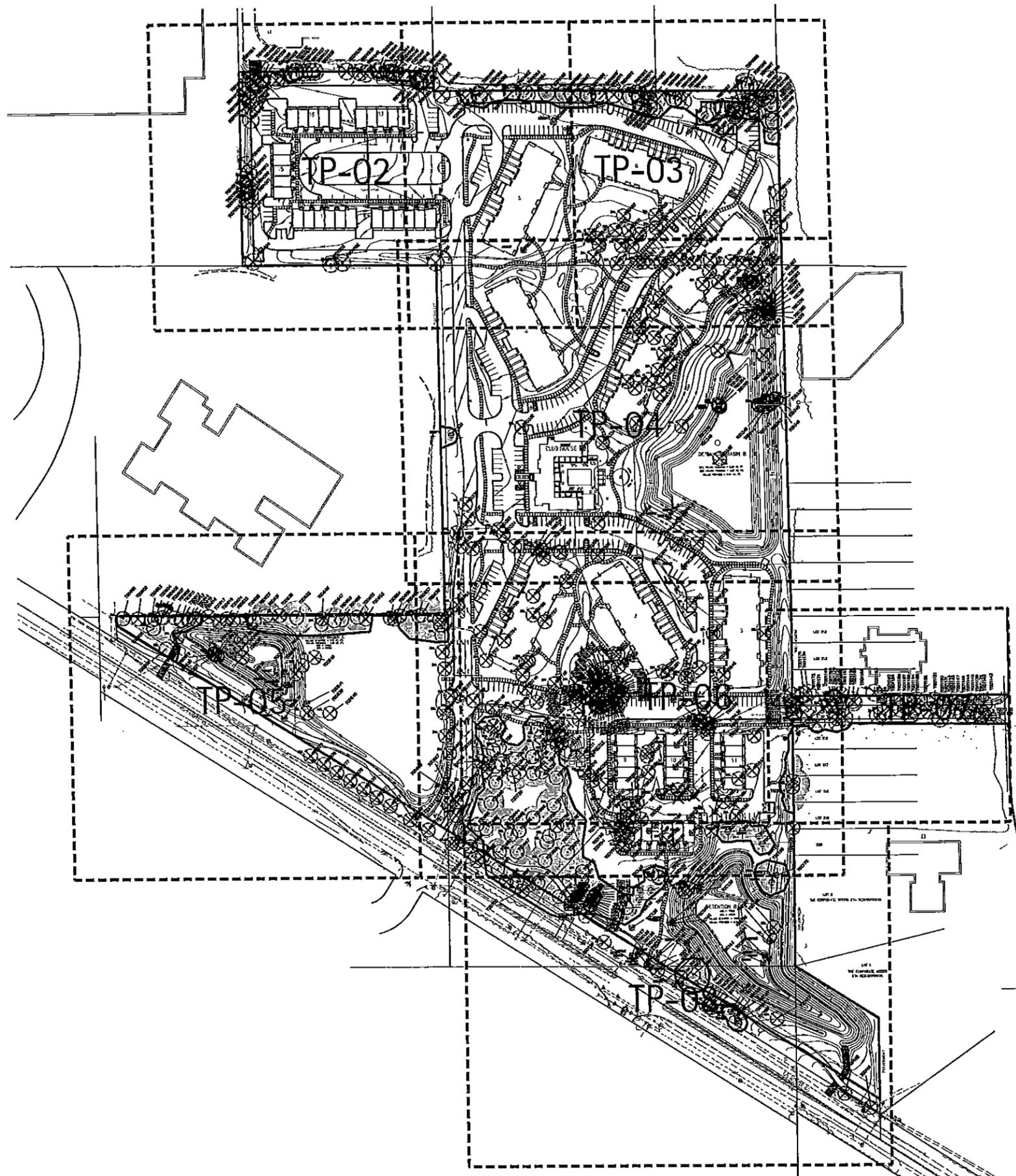
NOT FOR
CONSTRUCTION

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

PLANTING NOTES

Revisions	
1. TECHNICAL REVIEW	09/17/2012
2. TECHNICAL REVIEW	11/07/2012
3. TECHNICAL REVIEW	03/12/2013
4. TECHNICAL REVIEW	09/15/2013
5.	
6.	
7.	
8.	
Date:	05/03/2013
Drawn By:	JA
Checked By:	ZM

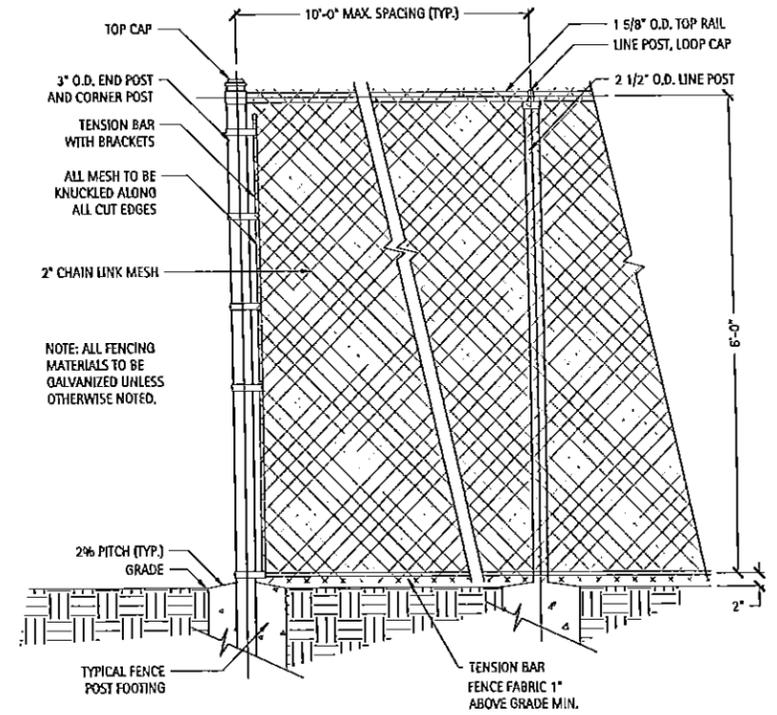
L41-00



NOTE:
ALL TREES DESIGNATED TO BE SAVED SHALL BE ANALYZED BY LANDSCAPE ARCHITECT AND VILLAGE STAFF. AT THAT TIME IT WILL BE DETERMINED WHICH TREES SHALL BE CROWN CLEANED AND VISTA PRUNED.

ALL RHAMNUS CATHARTICA (BUCKTHORN) SHALL BE REMOVED FROM PROPERTY.

TYPICAL TREE PRESERVATION DETAIL
SCALE: NTS



NOTE: ALL WIRE FABRIC MESH TO BE 9 GAUGE. ALL FENCE MATERIAL TO BE FILLED SS40 OR EQUAL CONFORMING TO CLFMI SPECIFICATIONS.

TYPICAL 6' HT PROPERTY PERIMETER CHAIN LINK FENCE
SCALE: NTS

- LEGEND**
- LIMITS OF CONSTRUCTION
 - TREES TO BE PRESERVED
 - ⊗ TREES TO BE REMOVED
 - TREES TO BE PROTECTED
 - ||||| SNOW FENCE
 - CHAIN LINK FENCE

TREE PRESERVATION SUMMARY

	Quantity of Trees	Caliper Inches or Height in Feet
Deciduous Trees to be Preserved	62	2,586"
Evergreen Trees to be Preserved	23	755'
Deciduous Trees Removed Due to Condition or Species	192	3,071"
Evergreen Trees Removed Due to Condition or Species	9	205'
Deciduous Trees Removed Due to Construction	237	3,736"
Evergreen Trees Removed Due to Construction	57	2,068'

See Tree Preservation Matrix for additional detail

LAKO
THE LAKOTA GROUP
212 West Kinzie Street
Chicago, Ill
p 31
f 31
info@thelakota.com

Landscape Architecture
Community

KINZIE
REAL ESTATE GROUP
212 West Kinzie Street

The Oaks of Vernon Hills

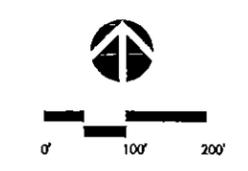
Rt. 45 / Vernon Hill
ORDINANCE 2013-034 EXHIBIT C-7- Tree Preservation Plan
prepared by The Lakota Group, Inc with a revised date of 5/15/13
and consisting of pages TP-01 thru TP-08.

TREE PRESERVATION PLAN

Revisions

1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/01/2012
3. DEMOLITION PERMIT	07/26/2013
4. DEMOLITION PERMIT	03/13/2013
5. DEMOLITION PERMIT	02/11/2013
6. DEMOLITION PERMIT UPDATE	06/02/2013
7.	
8.	

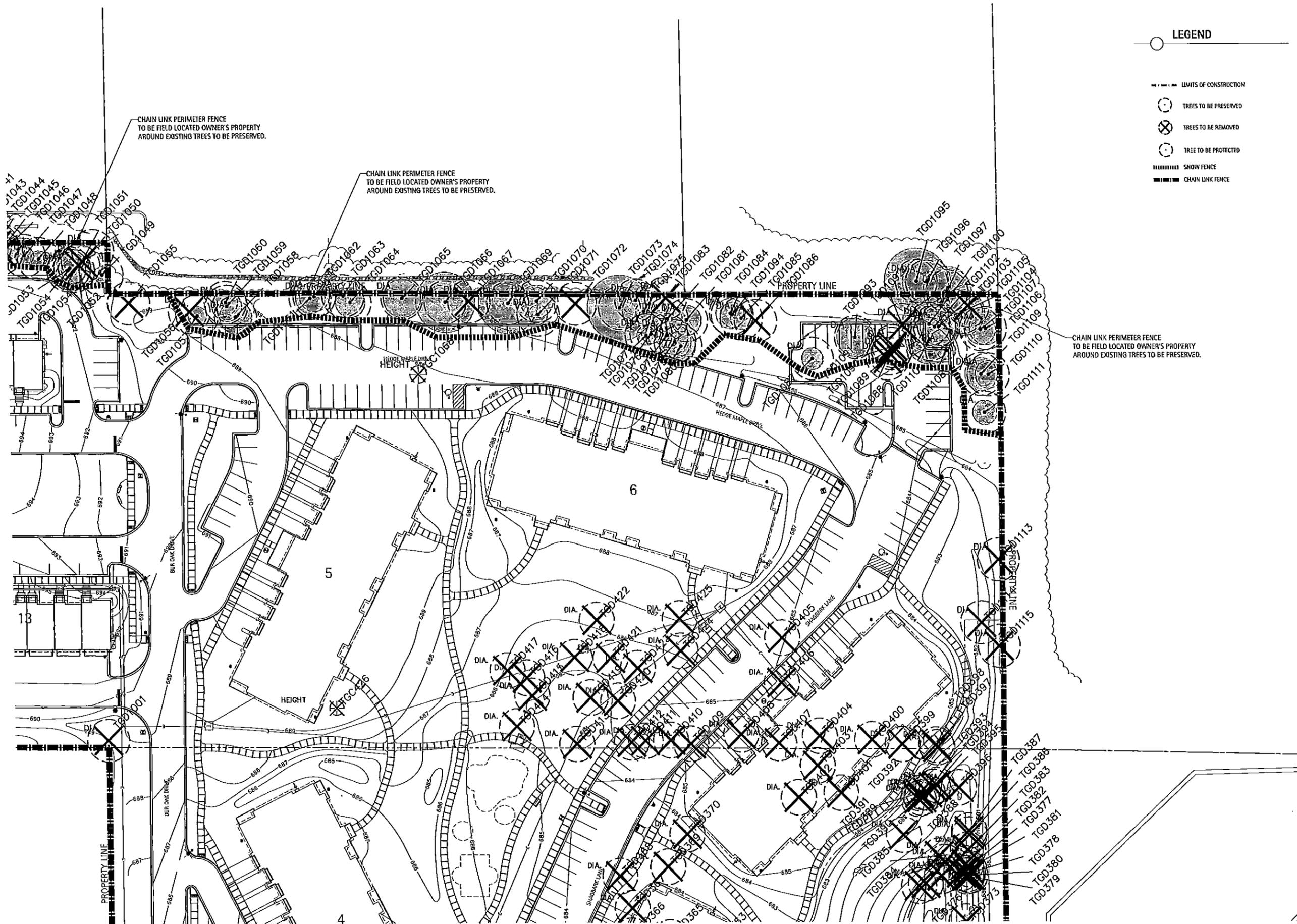
Date: 06/06/2013
Drawn By: ZM
Checked By: DQ





LEGEND

- LIMITS OF CONSTRUCTION
- TREES TO BE PRESERVED
- ⊗ TREES TO BE REMOVED
- TREE TO BE PROTECTED
- ||||| SNOW FENCE
- ▬ CHAIN LINK FENCE

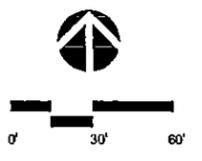


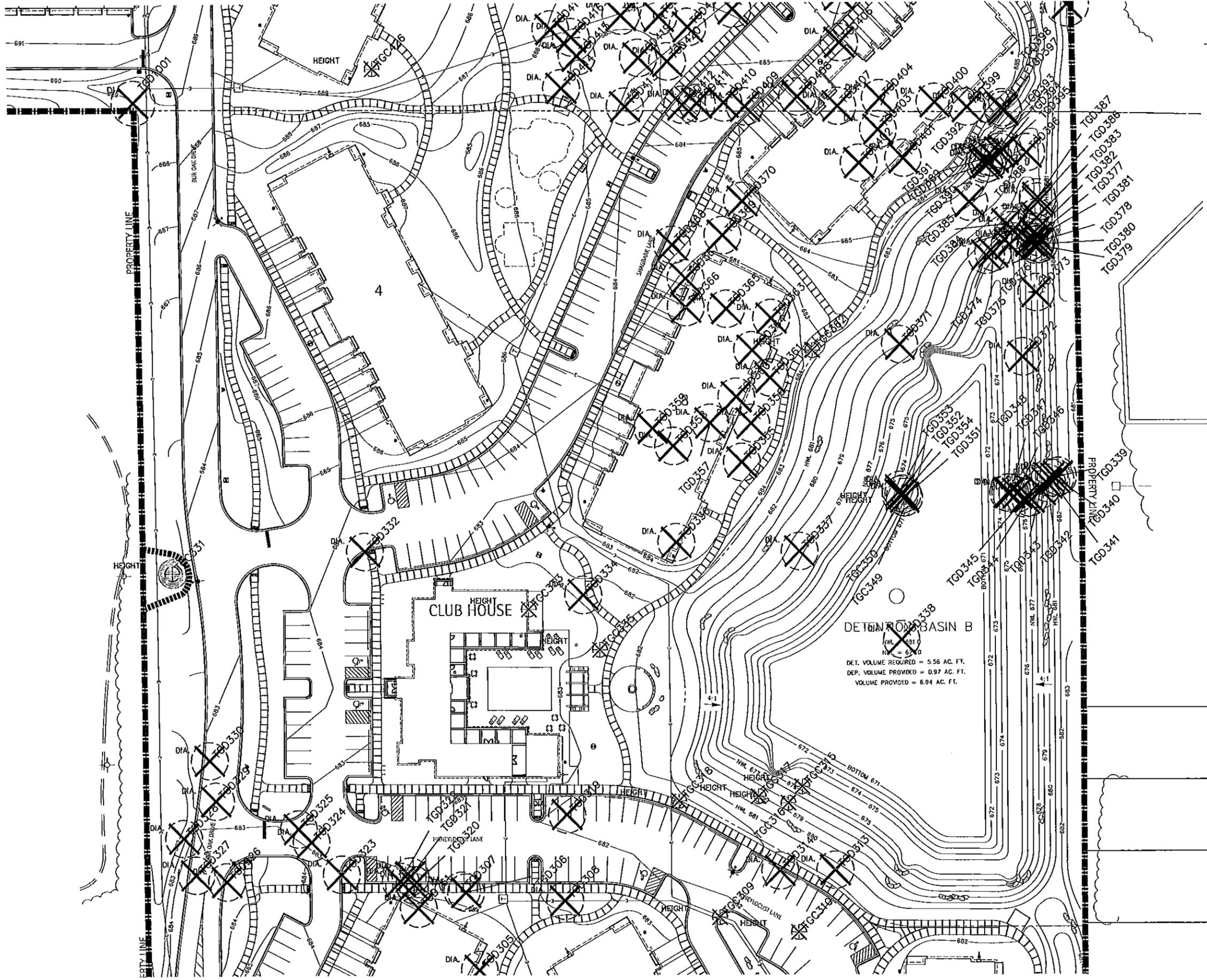
The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

TREE PRESERVATION PLAN

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. DEMOLITION PERMIT	01/29/2013
4. DEMOLITION PERMIT	03/13/2013
5. DEMOLITION PERMIT	05/14/2013
6. DEMOLITION PERMIT UPDATE	05/06/2013
7.	
8.	

Date: 06/05/2013
Drawn By: ZM
Checked By: DQ





LAKOTA

THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
 Chicago, Illinois 60610
 p 312.467.5445
 f 312.467.5484
 info@thelakotagroup.com

Planning
 Urban Design
 Landscape Architecture
 Community Relations



212 West Kinzie Street, 3rd Floor

LEGEND

- LIMITS OF CONSTRUCTION
- TREES TO BE PRESERVED
- TREES TO BE REMOVED
- TREE TO BE PROTECTED
- SNOW FENCE
- CHAIN LINK FENCE

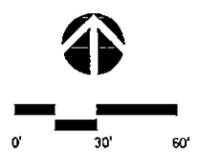
The Oaks of Vernon Hills

Rt. 45 / Vernon Hills, IL

TREE PRESERVATION PLAN

Revisions		
1. TECHNICAL REVIEW	06/12/2012	
2. TECHNICAL REVIEW	11/07/2012	
3. DEMOLITION PERMIT	02/28/2013	
4. DEMOLITION PERMIT	03/13/2013	
5. DEMOLITION PERMIT	05/15/2013	
6. DEMOLITION PERMIT/UPDATE	06/06/2013	
7.		
8.		

Date: 06/06/2013
 Drawn By: ZM
 Checked By: DG

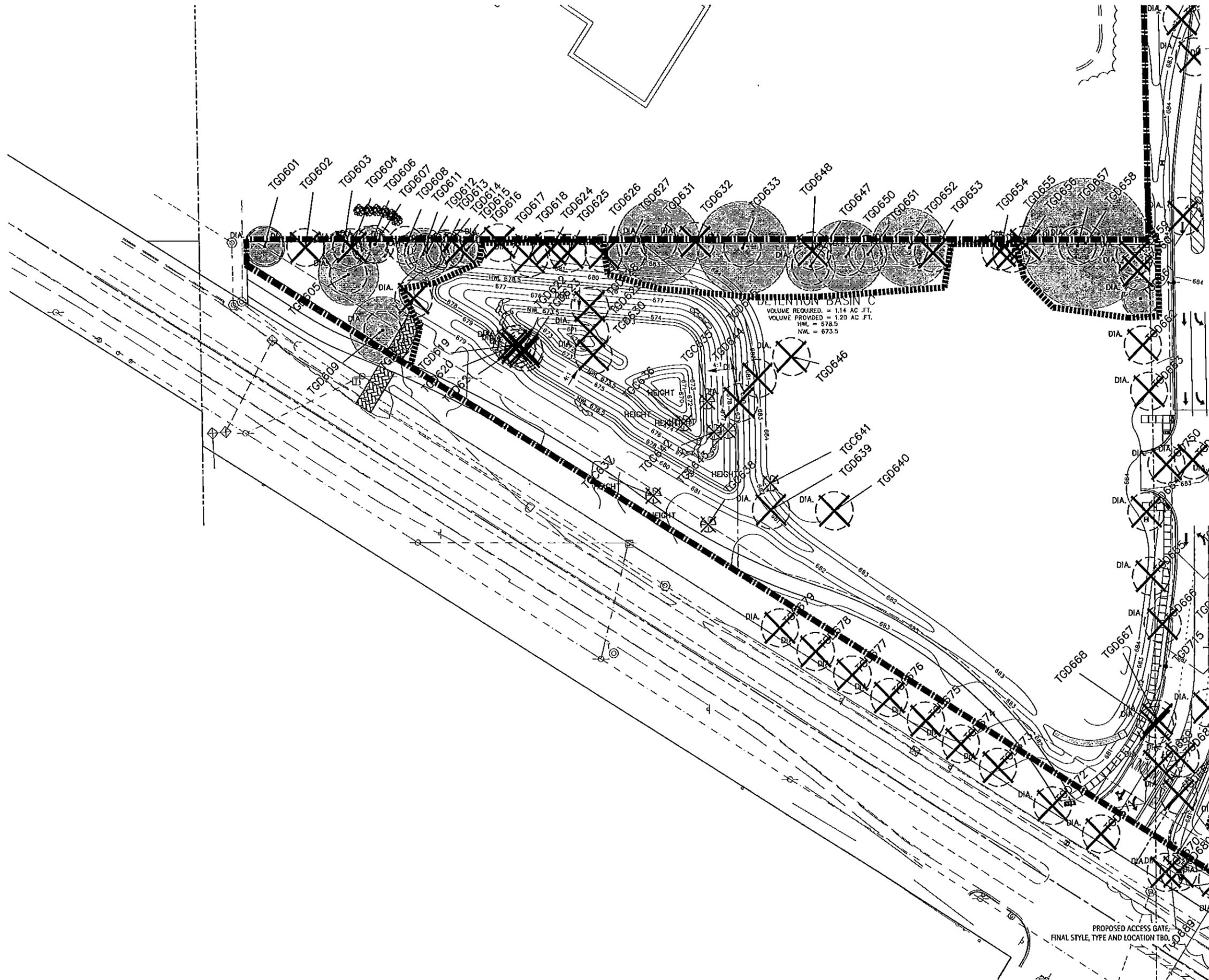


TP-04



LEGEND

- LIMITS OF CONSTRUCTION
- TREES TO BE PRESERVED
- ⊗ TREES TO BE REMOVED
- ⊙ TREE TO BE PROTECTED
- ||||| SNOW FENCE
- ▬ CHAIN LINK FENCE

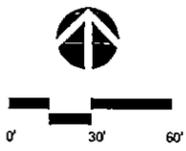


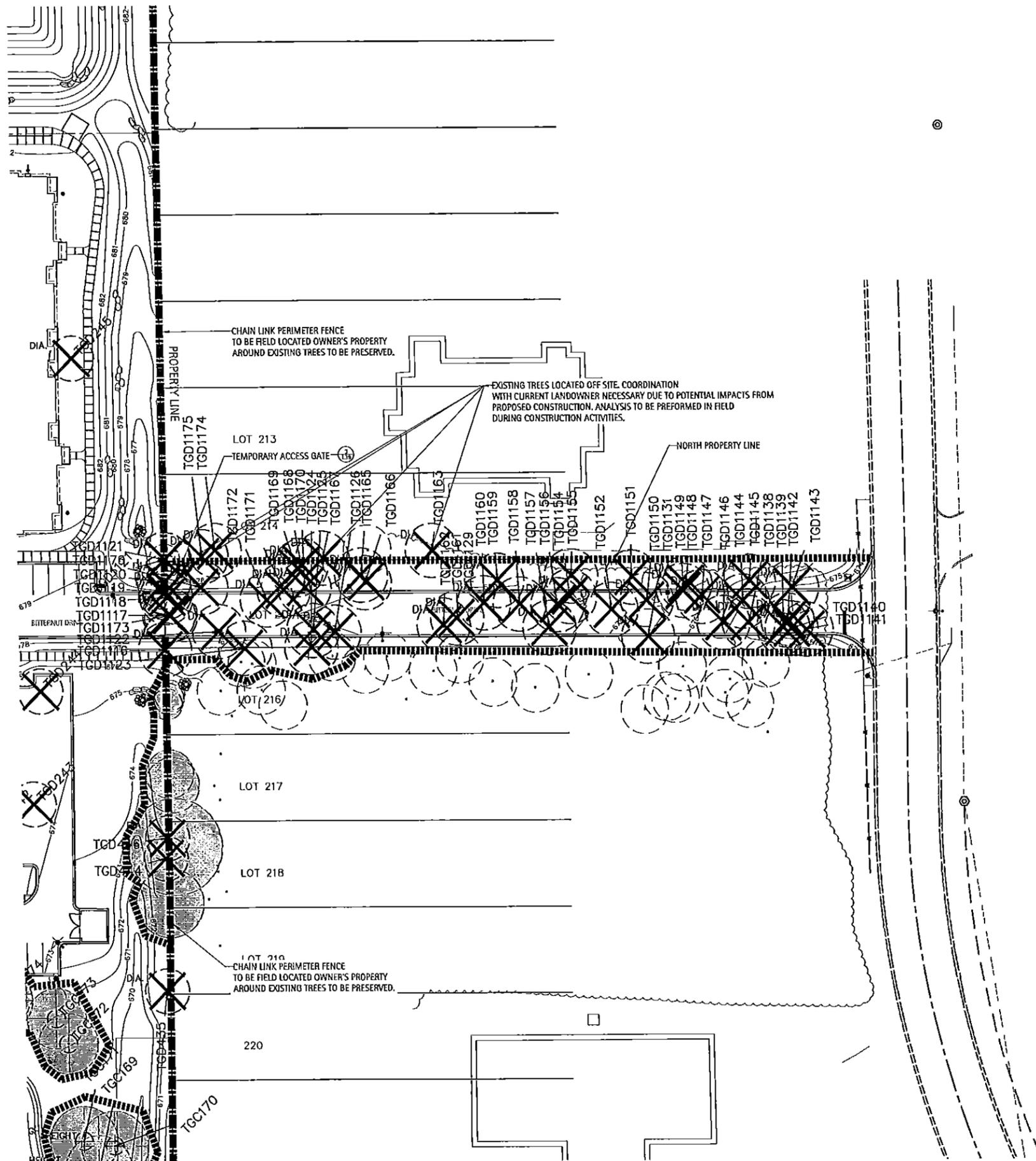
The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

TREE PRESERVATION PLAN

Revisions		
1.	TECHNICAL REVIEW	09/12/2012
2.	TECHNICAL REVIEW	11/07/2012
3.	DEMOLITION PERMIT	02/24/2013
4.	DEMOLITION PERMIT	03/13/2013
5.	DEMOLITION PERMIT	05/15/2013
6.	DEMOLITION PERMIT UPDATE	06/06/2013
7.		
8.		

Date: 06/06/2013
Drawn By: ZM
Checked By: DG





NOTES

- 1. TREE PRESERVATION AND REMOVALS TO OCCUR DURING PHASE II

LEGEND

- LIMITS OF CONSTRUCTION
- TREES TO BE PRESERVED
- ⊗ TREES TO BE REMOVED
- TREES TO BE PROTECTED
- SNOW FENCE
- CHAIN LINK FENCE

LAKOTA
THE LAKOTA GROUP INC

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations

KINZIE
FIELD ESTATE GROUP

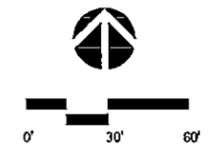
212 West Kinzie Street, 3rd Floor

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

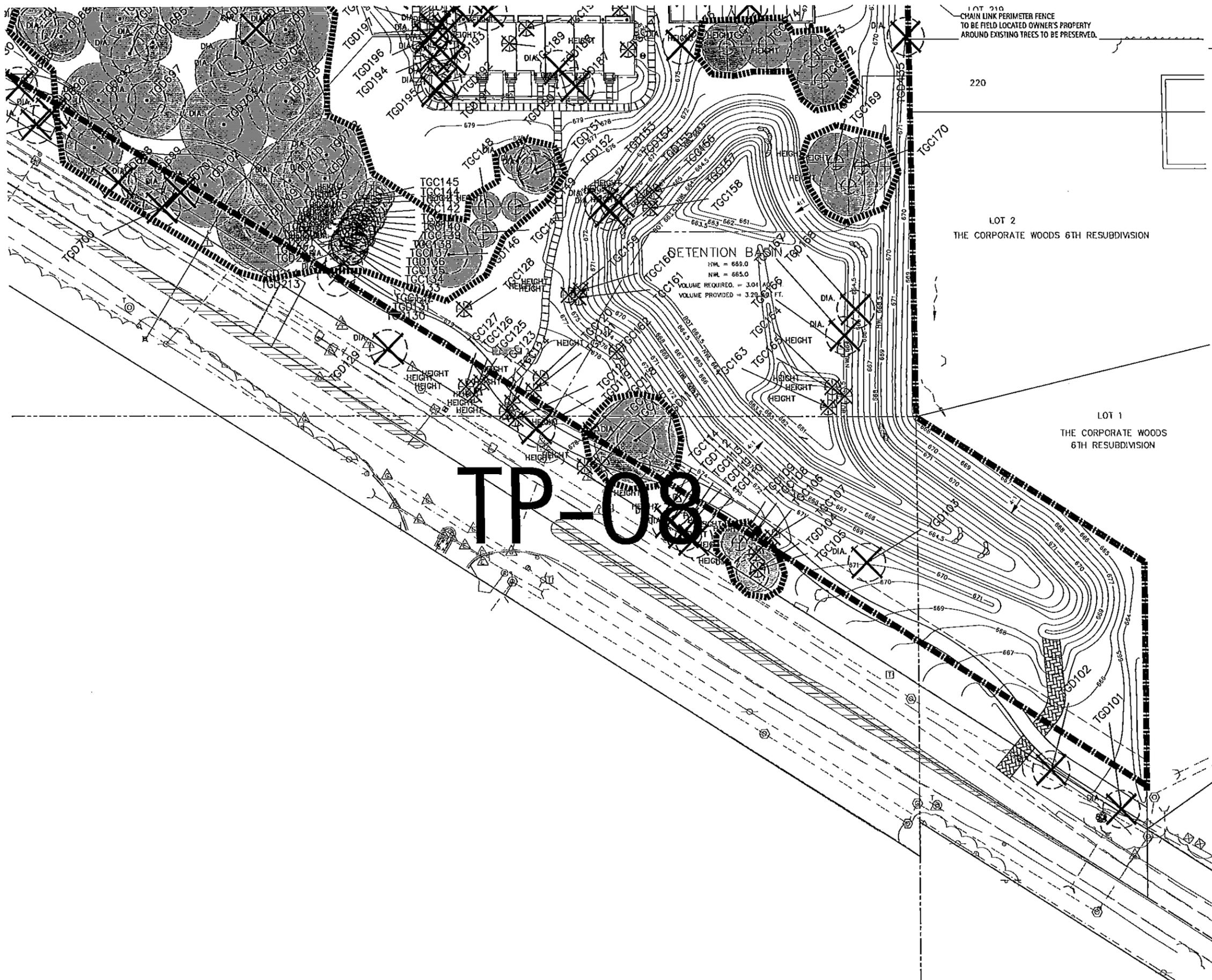
TREE PRESERVATION PLAN

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. DEMOLITION PERMIT	02/07/2013
4. DEMOLITION PERMIT	03/13/2013
5. DEMOLITION PERMIT	05/14/2013
6. DEMOLITION PERMIT/FURFURGATE	06/06/2013
7.	
8.	

Date: 06/08/2013
Drawn By: ZM
Checked By: DG



TP-07



LOT 210
CHAIN LINK PERIMETER FENCE
TO BE FIELD LOCATED OWNER'S PROPERTY
AROUND EXISTING TREES TO BE PRESERVED.

LEGEND

- LIMITS OF CONSTRUCTION
- TREES TO BE PRESERVED
- ⊗ TREES TO BE REMOVED
- TREES TO BE PROTECTED
- ||||| SNOW FENCE
- CHAIN LINK FENCE

RETENTION BASIN
HWL = 669.0
NWL = 665.0
VOLUME REQUIRED = 3.04 AC FT.
VOLUME PROVIDED = 3.29 AC FT.

TP-08

LAKOTA
THE LAKOTA GROUP INC
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
Info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations



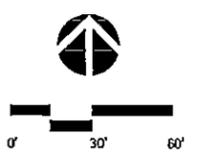
212 West Kinzie Street, 3rd Floor

The Oaks of Vernon Hills
Rt. 45 / Vernon Hills, IL

TREE PRESERVATION PLAN

Revisions	
1. TECHNICAL REVIEW	09/12/2012
2. TECHNICAL REVIEW	11/07/2012
3. DEMOLITION PERMIT	02/28/2013
4. DEMOLITION PERMIT	03/13/2013
5. DEMOLITION PERMIT	05/15/2013
6. DEMOLITION PERMIT/UPDATE	06/04/2013
7.	
8.	

Date: 06/06/2013
Drawn By: ZM
Checked By: DG



TP-08

DEVELOPER:
 KINZIE REAL ESTATE GROUP
 212 W KINZIE ST
 CHICAGO, IL 60604
 312-555-5555

Final Plan Improvements for THE OAKS OF VERNON HILLS

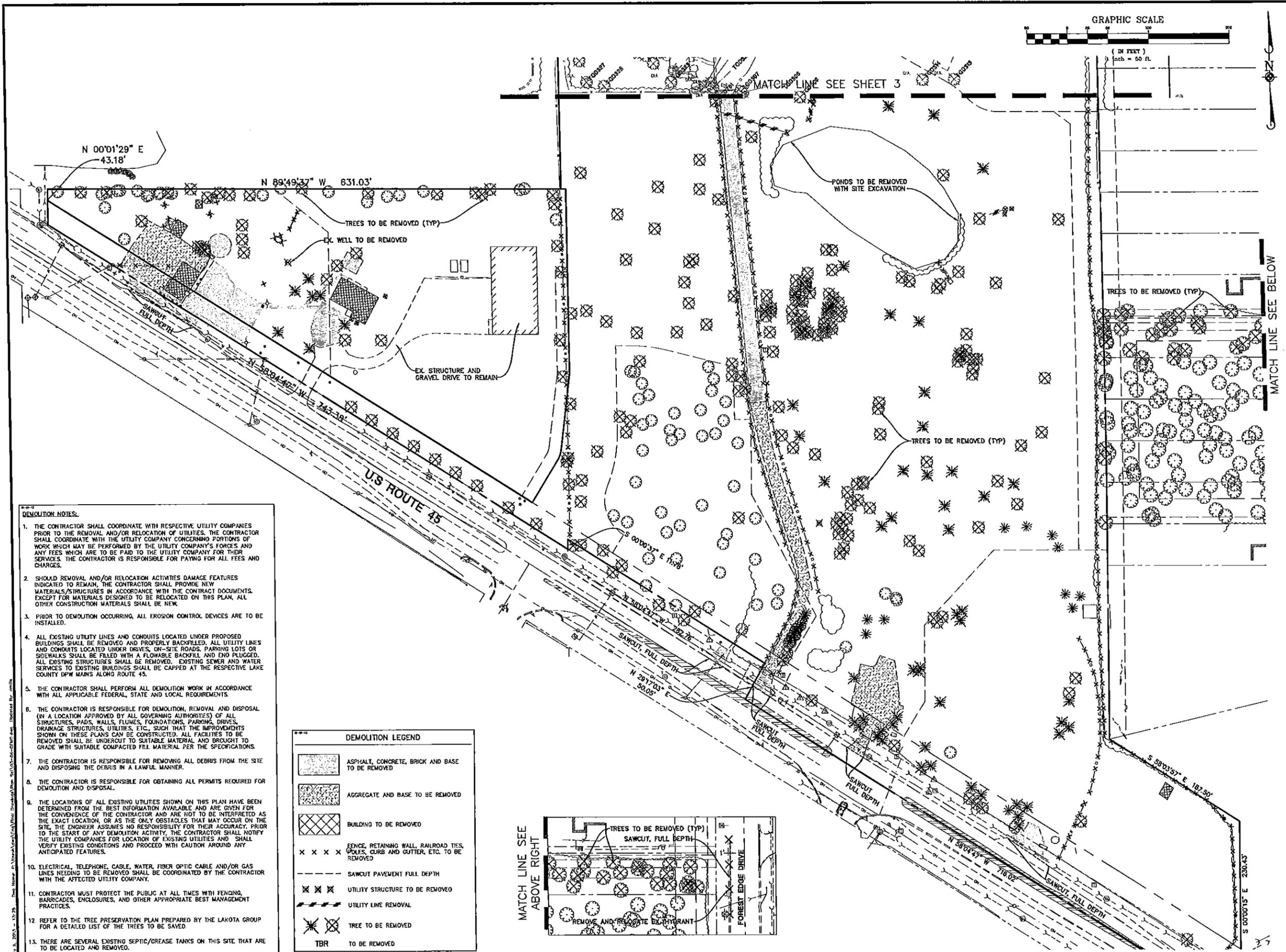
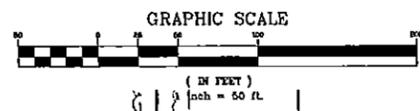
Village of Vernon Hills, Illinois

STANDARD SYMBOLS

EXISTING	PROPOSED

ABBREVIATIONS

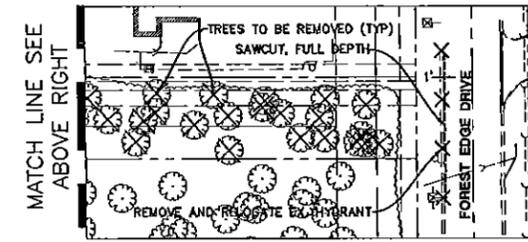
A	ADJUST	F/L	FLOW LINE	PVC	POINT OF VERTICAL CURVATURE
AG	AGGREGATE GRAVEL	FM	FORCE MAIN	PM	POINT OF VERTICAL INTERSECTION
B-B	BY: AS-BUILT	FO	FOOT OF GROUND	PUT	POINT OF VERTICAL TANGENCY
BB	BACK TO BACK	G	GAS	R	RECONSTRUCT
BBB	BACK TO BACK	G/F	GAS AT FOUNDATION	R/W	RIGHT-OF-WAY
BC	BENCHMARK	GW	GROUND WATER	RT	RIGHT
BD	BOTTOM OF DUCTILE IRON PIPE	H/W	HEADWALL	SA	SANITARY SEWER
BE	BY OTHERS	HWL	HANDWALL	SEW	SEWER
BF	BOTTOM OF PIPE	HWL	HANDWALL	SF	SQUARE FOOT
BK	BACK OF WALK	HWL	HANDWALL	SH	SHOULDER
BL	BOTTOM OF WALK	HWL	HANDWALL	SI	STANDARD
BM	BENCHMARK	HWL	HANDWALL	ST	STATION
BO	BOTTOM OF CURB	HWL	HANDWALL	STD	STANDARD
BP	BOTTOM OF PIPE	HWL	HANDWALL	STN	STATION
BS	BOTTOM OF SIDEWALK	HWL	HANDWALL	STN	STATION
BT	BOTTOM OF TRENCH	HWL	HANDWALL	STN	STATION
BU	BOTTOM OF UTILITY	HWL	HANDWALL	STN	STATION
CA	CATCH BASIN	HWL	HANDWALL	STN	STATION
CB	CATCH BASIN	HWL	HANDWALL	STN	STATION
CC	CATCH BASIN	HWL	HANDWALL	STN	STATION
CD	CATCH BASIN	HWL	HANDWALL	STN	STATION
CE	CATCH BASIN	HWL	HANDWALL	STN	STATION
CF	CATCH BASIN	HWL	HANDWALL	STN	STATION
CG	CATCH BASIN	HWL	HANDWALL	STN	STATION
CH	CATCH BASIN	HWL	HANDWALL	STN	STATION
CI	CATCH BASIN	HWL	HANDWALL	STN	STATION
CJ	CATCH BASIN	HWL	HANDWALL	STN	STATION
CK	CATCH BASIN	HWL	HANDWALL	STN	STATION
CL	CATCH BASIN	HWL	HANDWALL	STN	STATION
CM	CATCH BASIN	HWL	HANDWALL	STN	STATION
CN	CATCH BASIN	HWL	HANDWALL	STN	STATION
CO	CATCH BASIN	HWL	HANDWALL	STN	STATION
CP	CATCH BASIN	HWL	HANDWALL	STN	STATION
CQ	CATCH BASIN	HWL	HANDWALL	STN	STATION
CR	CATCH BASIN	HWL	HANDWALL	STN	STATION
CS	CATCH BASIN	HWL	HANDWALL	STN	STATION
CT	CATCH BASIN	HWL	HANDWALL	STN	STATION
CU	CATCH BASIN	HWL	HANDWALL	STN	STATION
CV	CATCH BASIN	HWL	HANDWALL	STN	STATION
CW	CATCH BASIN	HWL	HANDWALL	STN	STATION
CX	CATCH BASIN	HWL	HANDWALL	STN	STATION
CY	CATCH BASIN	HWL	HANDWALL	STN	STATION
CZ	CATCH BASIN	HWL	HANDWALL	STN	STATION
DA	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DB	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DC	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DD	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DE	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DF	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DG	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DH	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DI	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DJ	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DK	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DL	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DM	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DN	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DO	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DP	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DQ	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DR	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DS	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DT	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DU	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DV	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DW	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DX	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DY	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
DZ	DUCTILE IRON PIPE	HWL	HANDWALL	STN	STATION
EA	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EB	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EC	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
ED	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EE	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EF	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EG	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EH	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EI	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EJ	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EK	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EL	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EM	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EN	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EO	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EP	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EQ	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
ER	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
ES	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
ET	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EU	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EV	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EW	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EX	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EY	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
EZ	EDGE TO EDGE	HWL	HANDWALL	STN	STATION
FA	FACE TO FACE	HWL	HANDWALL	STN	STATION
FB	FACE TO FACE	HWL	HANDWALL	STN	STATION
FC	FACE TO FACE	HWL	HANDWALL	STN	STATION
FD	FACE TO FACE	HWL	HANDWALL	STN	STATION
FE	FACE TO FACE	HWL	HANDWALL	STN	STATION
FF	FACE TO FACE	HWL	HANDWALL	STN	STATION
FG	FACE TO FACE	HWL	HANDWALL	STN	STATION
FH	FACE TO FACE	HWL	HANDWALL	STN	STATION
FI	FACE TO FACE	HWL	HANDWALL	STN	STATION
FJ	FACE TO FACE	HWL	HANDWALL	STN	STATION
FK	FACE TO FACE	HWL	HANDWALL	STN	STATION
FL	FACE TO FACE	HWL	HANDWALL	STN	STATION
FM	FACE TO FACE	HWL	HANDWALL	STN	STATION
FN	FACE TO FACE	HWL	HANDWALL	STN	STATION
FO	FACE TO FACE	HWL	HANDWALL	STN	STATION
FP	FACE TO FACE	HWL	HANDWALL	STN	STATION
FQ	FACE TO FACE	HWL	HANDWALL	STN	STATION
FR	FACE TO FACE	HWL	HANDWALL	STN	STATION
FS	FACE TO FACE	HWL	HANDWALL	STN	STATION
FT	FACE TO FACE	HWL	HANDWALL	STN	STATION
FU	FACE TO FACE	HWL	HANDWALL	STN	STATION
FV	FACE TO FACE	HWL	HANDWALL	STN	STATION
FW	FACE TO FACE	HWL	HANDWALL	STN	STATION
FX	FACE TO FACE	HWL	HANDWALL	STN	STATION
FY	FACE TO FACE	HWL	HANDWALL	STN	STATION
FZ	FACE TO FACE	HWL	HANDWALL	STN	STATION
GA	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GB	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GC	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GD	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GE	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GF	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GG	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GH	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GI	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GJ	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GK	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GL	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GM	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GN	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GO	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GP	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GQ	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GR	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GS	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GT	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GU	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GV	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GW	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GX	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GY	FLARED END SECTION	HWL	HANDWALL	STN	STATION
GZ	FLARED END SECTION	HWL	HANDWALL	STN	STATION
HA	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HB	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HC	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HD	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HE	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HF	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HG	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HH	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HI	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HJ	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HK	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HL	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HM	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HN	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HO	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HP	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HQ	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HR	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HS	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HT	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HU	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HV	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HW	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HX	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HY	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
HZ	FRESHED FLOOR	HWL	HANDWALL	STN	STATION
IA	POINT OF VERTICAL CURVATURE	HWL	HANDWALL	STN	STATION
IB	POINT OF VERTICAL CURVATURE	HWL	HANDWALL	STN	STATION
IC	POINT OF VERTICAL CURVATURE	HWL	HANDWALL	STN	STATION
ID	POINT OF VERTICAL CURVATURE				



- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL FEES AND CHARGES.
 2. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FEATURES INDICATED TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
 3. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
 4. ALL EXISTING UTILITY LINES AND CONDUITS LOCATED UNDER PROPOSED BUILDINGS SHALL BE REMOVED AND PROPERLY BACKFILLED. ALL UTILITY LINES AND CONDUITS LOCATED UNDER DRIVES, ON-SITE ROADS, PARKING LOTS OR SIDEWALKS SHALL BE FILLED WITH A FLOWABLE BACKFILL AND END PLUGGED. ALL EXISTING STRUCTURES SHALL BE REMOVED. EXISTING SEWER AND WATER SERVICES TO EXISTING BUILDINGS SHALL BE CAPPED AT THE RESPECTIVE LAKE COUNTY DPW MAINS ALONG ROUTE 45.
 5. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.
 6. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PAVES, WALLS, FLUES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THESE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
 7. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER.
 8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 9. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATION OF EXISTING UTILITIES AND SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
 10. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED SHALL BE COORDINATED BY THE CONTRACTOR WITH THE AFFECTED UTILITY COMPANY.
 11. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES.
 12. REFER TO THE TREE PRESERVATION PLAN PREPARED BY THE LAKOTA GROUP FOR A DETAILED LIST OF THE TREES TO BE SAVED.
 13. THERE ARE SEVERAL EXISTING SEPTIC/GREASE TANKS ON THIS SITE THAT ARE TO BE LOCATED AND REMOVED.

DEMOLITION LEGEND

	ASPHALT, CONCRETE, BRICK AND BASE TO BE REMOVED
	AGGREGATE AND BASE TO BE REMOVED
	BUILDING TO BE REMOVED
	FENCE, RETAINING WALL, RAILROAD TIES, POLES, CURBS AND GUTTER, ETC. TO BE REMOVED
	SAWCUT PAVEMENT FULL DEPTH
	UTILITY STRUCTURE TO BE REMOVED
	UTILITY LINE REMOVAL
	TREE TO BE REMOVED
	TBR TO BE REMOVED



Manhard CONSULTING LTD

2023 MANHARD CONSULTING LTD. ALL RIGHTS RESERVED.

PROJ. NO. 03-11-13
 PROJ. ASSOC. EM
 DRAWN BY: RPL
 DATE: 03-11-13
 SCALE: 1"=50'

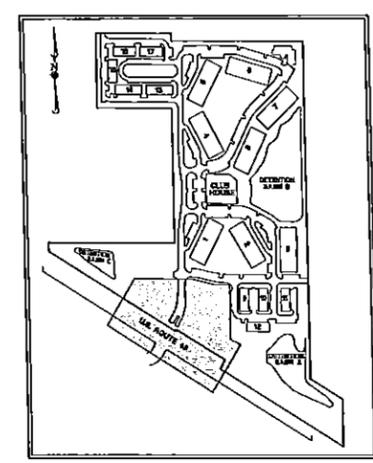
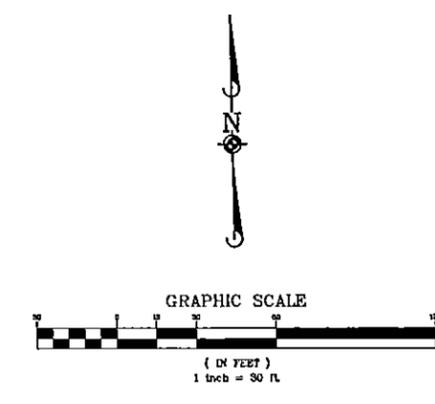
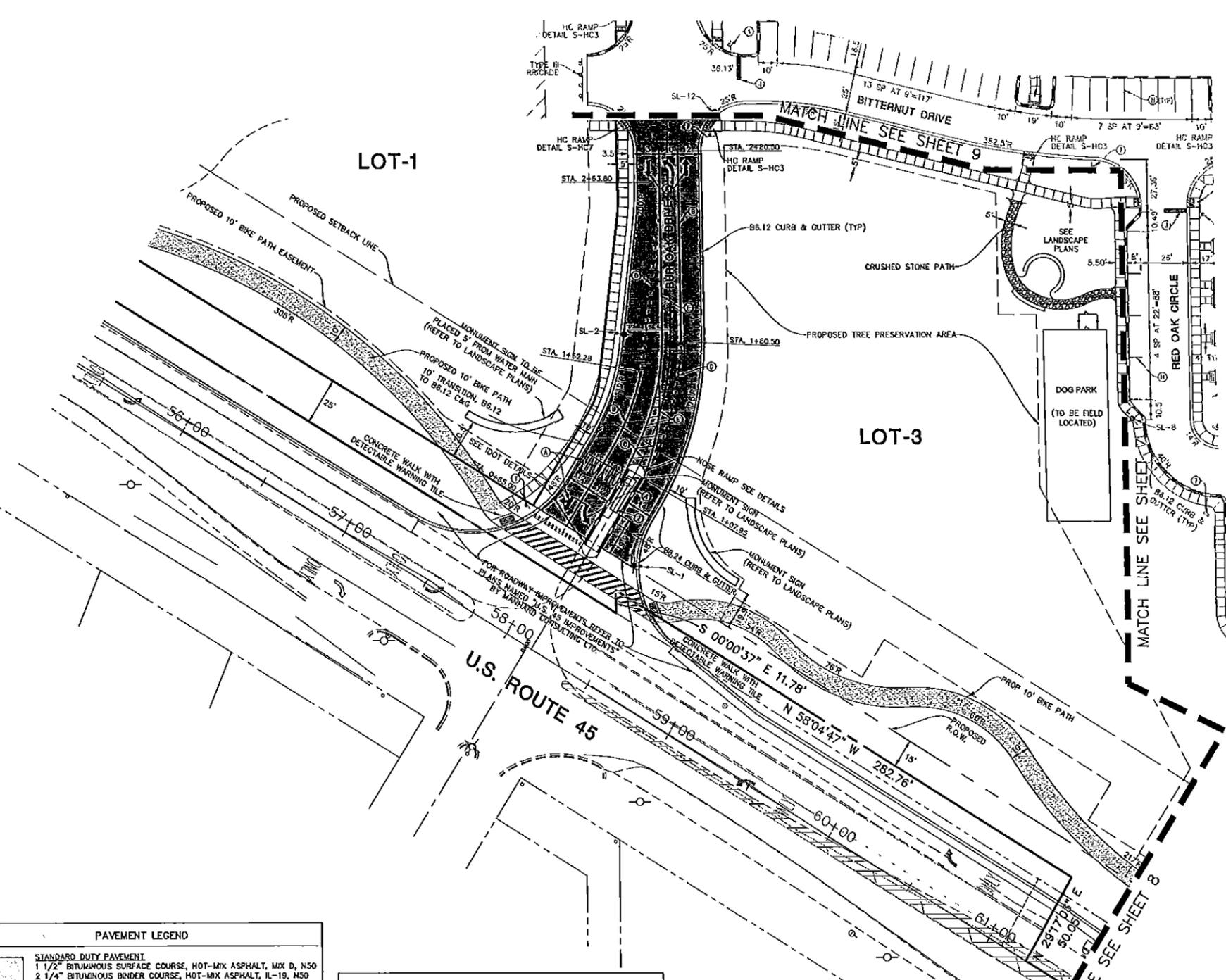
SHEET 4 OF 50
 KNZYH 110660

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 DEMOLITION PLAN - SOUTH

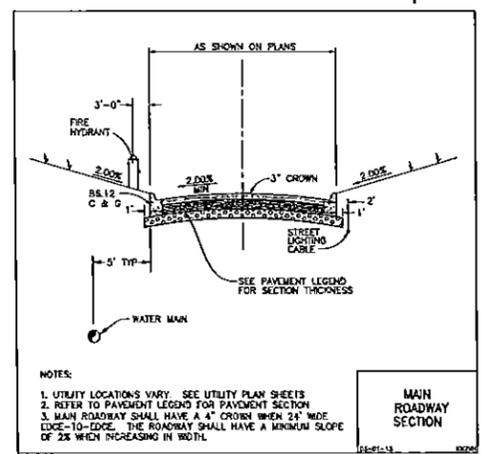
Manhard CONSULTING LTD
 600 Westmore Parkway, Vernon Hills, IL 60061
 Civil Engineers • Surveyors • Urban Planning • Interior & Washburn Engineers
 Construction Management • Environmental Staircases • Landscape Architecture • Planners

PENDING APPROVAL-NOT FOR CONSTRUCTION

Date Plotted: 03/11/13 Plot Name: 24 Vernon Hills (Civil) - 13136.dwg Plot Scale: 1"=30' Plot Date: 03/11/13



PAVEMENT LEGEND	
	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, H50 10" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	DRIVEWAY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 (TO BE INSTALLED IN TWO LIFTS) 6" AGGREGATE BASE COURSE, CA-6, CRUSHED LIMESTONE, TYPE B
	BIKE PATH PAVEMENT 3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 6" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK PAVEMENT 5" PCC 4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
	SIDEWALK PAVEMENT IN DRIVEWAY 6" PCC 4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
	DECOMPOSED GRANITE PATH SEE LANDSCAPE PLAN FOR DETAILS



PAVEMENT MARKING LEGEND	
Ⓐ	LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
Ⓑ	6" SOLID WHITE - THERMOPLASTIC
Ⓒ	12" SOLID YELLOW - THERMOPLASTIC
Ⓓ	6" WHITE (6" SKIP-2" DASH) - THERMOPLASTIC
Ⓔ	4" SOLID YELLOW - THERMOPLASTIC
Ⓕ	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)
Ⓖ	4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
Ⓗ	4" SOLID YELLOW LINE
Ⓙ	4" SOLID YELLOW LINE - THERMOPLASTIC
Ⓚ	24" SOLID WHITE STOP BAR

ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+81 TO STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.

SIGN LEGEND	
①	R1-1 STOP SIGN
②	R7-8 HANDICAP PARKING SIGN
③	FIRE LANE - NO PARKING SIGN
④	RS-1 00 HOT ENTER
⑤	RS-25 ONE WAY
⑥	RS-5 VAN PARKING ONLY
⑦	ENTRANCE MONUMENT, (SEE LANDSCAPE/ARCH. PLANS)
⑧	BUILDING IDENTITY SIGN, (SEE LANDSCAPE/ARCH. PLANS)
⑨	WAYFINDING SIGN, (SEE LANDSCAPE/ARCH. PLANS)

- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE 88.12 UNLESS OTHERWISE NOTED.
 - ALL CURB RADIUS SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 - THE CONTRACTOR SHALL CONTACT JULLIE (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

MANHARD CONSULTING, LTD. ALL OTHERS RESERVED

Manhard CONSULTING

Professional Engineers, Surveyors, Water Resources Engineers, Water & Wastewater Engineers, Planners, Civil Engineers, Surveyors, Water Resources Engineers, Environmental Scientists, Landscaping Architects, Construction Managers

THE OAKS OF VERNON HILLS
VILLAGE OF VERNON HILLS, ILLINOIS
SITE DIMENSIONAL & PAVING PLAN - SOUTHWEST

DATE: 03-11-13
SCALE: 1"=30'

SHEET
6 OF 50
KNZH 110660

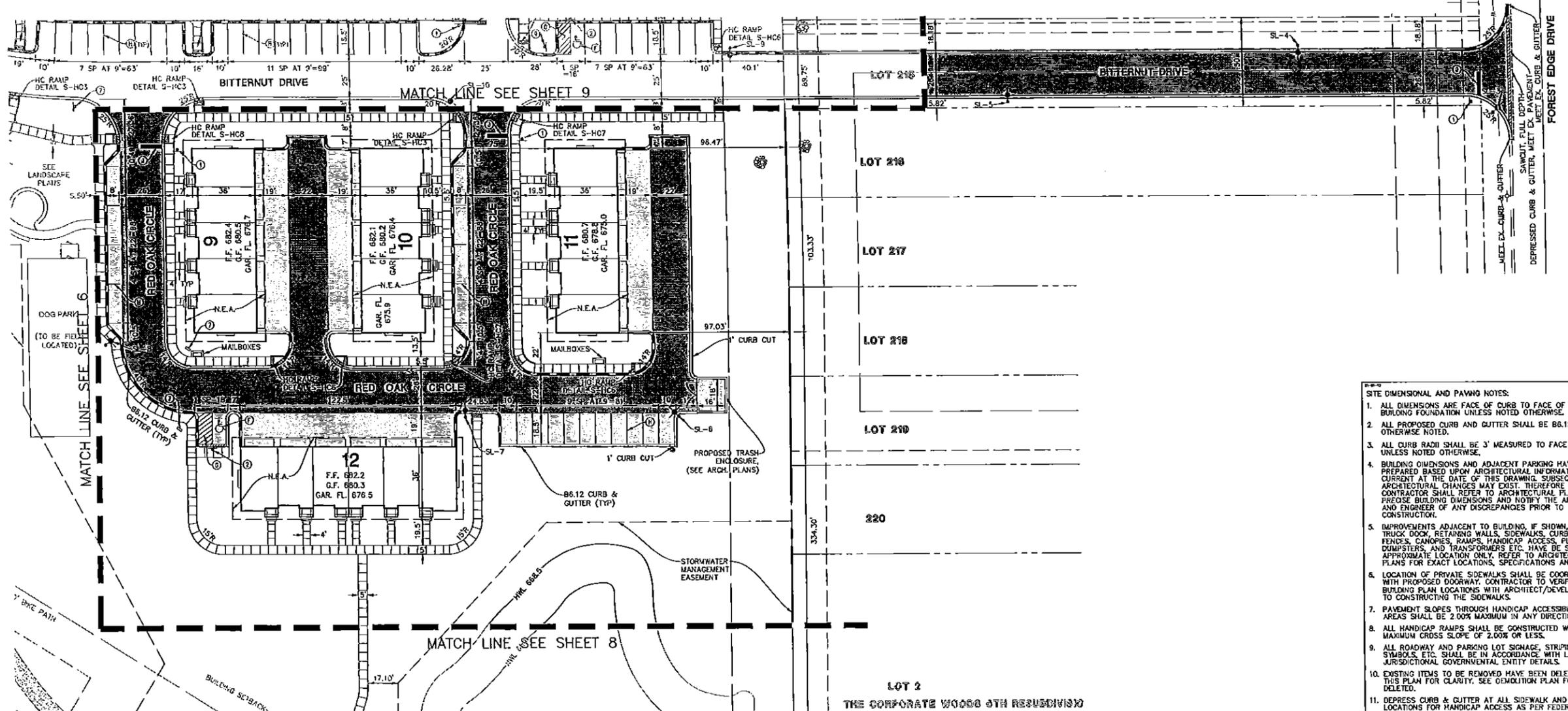
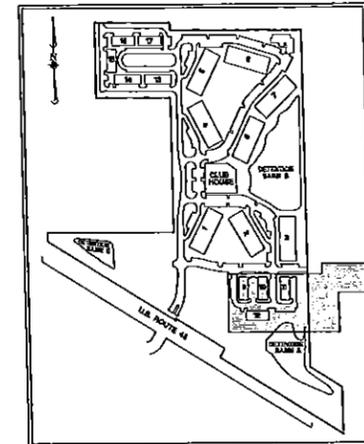
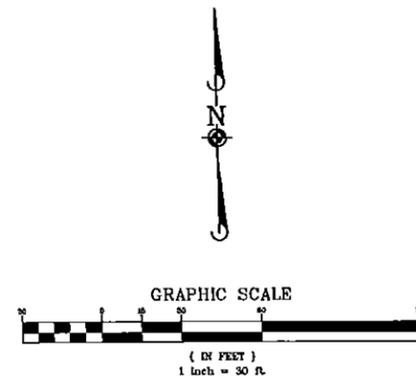
PENDING APPROVAL-NOT FOR CONSTRUCTION

- SIGN LEGEND**
- ① R1-1 STOP SIGN
 - ② R7-6 HANDICAP PARKING SIGN
 - ③ FIRE LANE - NO PARKING SIGN
 - ④ R5-1 DO NOT ENTER
 - ⑤ R6-25 ONE WAY
 - ⑥ R3-5 VAN PARKING ONLY
 - ⑦ ENTRANCE MONUMENT, (SEE LANDSCAPE/ARCH PLANS)
 - ⑧ BUILDING IDENTITY SIGN, (SEE LANDSCAPE/ARCH PLANS)
 - ⑨ WAYFINDING SIGN, (SEE LANDSCAPE/ARCH PLANS)

- PAVEMENT MARKING LEGEND**
- Ⓐ LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
 - Ⓑ 6" SOLID WHITE - THERMOPLASTIC
 - Ⓒ 12" SOLID YELLOW - THERMOPLASTIC
 - Ⓓ 6" WHITE (6' SKIP-2' DASH) - THERMOPLASTIC
 - Ⓔ 4" SOLID YELLOW - THERMOPLASTIC
 - Ⓕ ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)
 - Ⓖ 4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
 - Ⓖ 4" SOLID YELLOW LINE
 - Ⓖ 4" SOLID YELLOW LINE - THERMOPLASTIC
 - Ⓖ 24" SOLID WHITE STOP BAR
- ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0481 TP STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.

N.E.A. = NON-EASEMENT AREA

- PAVEMENT LEGEND**
- STANDARD DUTY PAVEMENT**
1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50
10" AGGREGATE BASE COURSE, TYPE B
 - HEAVY DUTY PAVEMENT**
1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50
12" AGGREGATE BASE COURSE, TYPE B
 - DRIVEWAY PAVEMENT**
2 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
(TO BE INSTALLED IN TWO LIFTS)
6" AGGREGATE BASE COURSE, CA-6, CRUSHED LIMESTONE, TYPE B
 - BIKE PATH PAVEMENT**
3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
6" AGGREGATE BASE COURSE, TYPE B
 - SIDEWALK PAVEMENT**
5" PCC
4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
 - SIDEWALK PAVEMENT IN DRIVEWAY**
6" PCC
4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
 - DECOMPOSED GRANITE PATH**
SEE LANDSCAPE PLAN FOR DETAILS



- SITE DIMENSIONAL AND PAVING NOTES:**
1. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 2. ALL PROPOSED CURBS AND GUTTER SHALL BE 86.12 UNLESS OTHERWISE NOTED.
 3. ALL CURB RADIUS SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 4. BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 5. IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, COMPSTERS, AND TRANSFORMERS ETC., HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 6. LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 7. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 8. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 9. ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 10. COSTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 11. DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 12. THE CONTRACTOR SHALL CONTACT A.U.L.L.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 13. DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 14. ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

Manhard CONSULTING P.C.
500 Westmoreland Avenue, Vernon Hills, IL 60061
Civil Engineers • Surveyors • Water Resources Engineers • Environmental Scientists • Landscape Architects • Planners
Construction Managers

**THE OAKS OF VERNON HILLS
VILLAGE OF VERNON HILLS, ILLINOIS
SITE DIMENSIONAL & PAVING PLAN - SOUTH**

PROJ.#: 03-11-13
DATE: 03-11-13
SCALE: 1"=30'

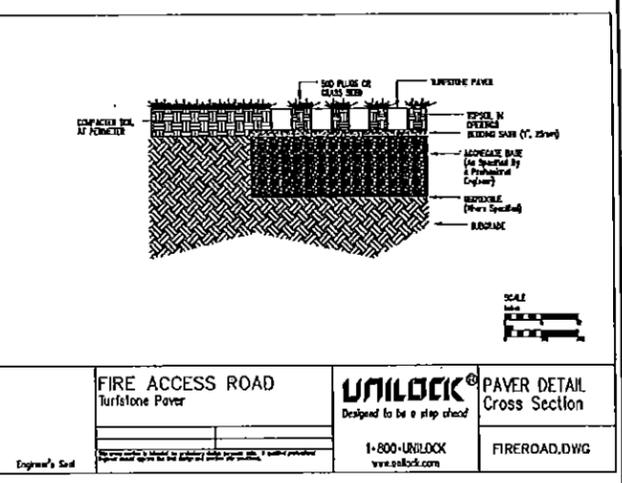
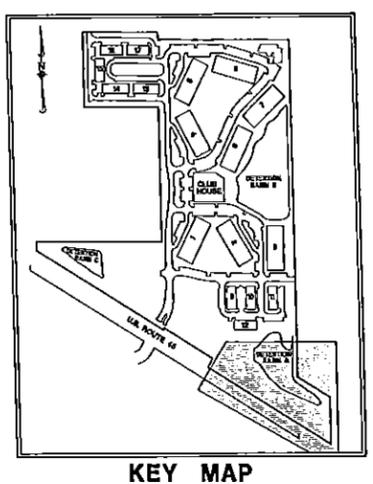
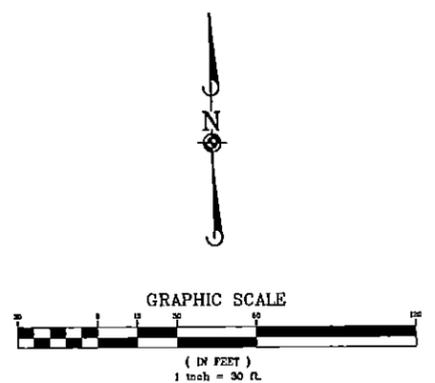
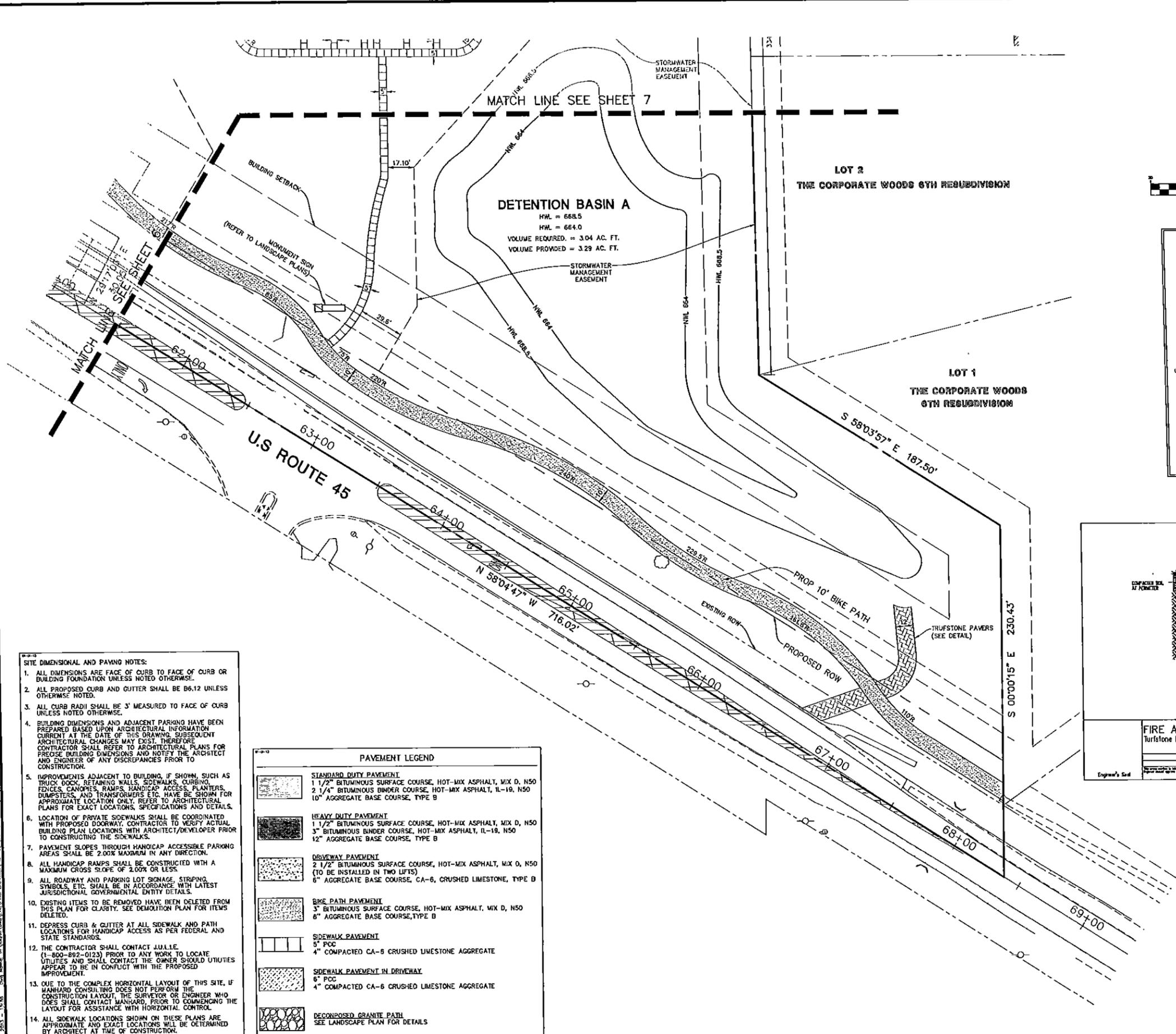
SHEET
7 OF **50**
KNZVH 110660

REVISIONS

NO. 1
DATE
BY
DESCRIPTION

5-7-13 REVISED PER VILLAGE & LODGE REVIEW

PENDING APPROVAL-NOT FOR CONSTRUCTION



- SITE DIMENSIONAL AND PAVING NOTES:**
1. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 2. ALL PROPOSED CURB AND GUTTER SHALL BE 06.12 UNLESS OTHERWISE NOTED.
 3. ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 4. BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 5. IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 6. LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 7. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 8. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 9. ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 10. EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 11. DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 12. THE CONTRACTOR SHALL CONTACT JULIE (1-800-882-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 13. DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 14. ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

PAVEMENT LEGEND

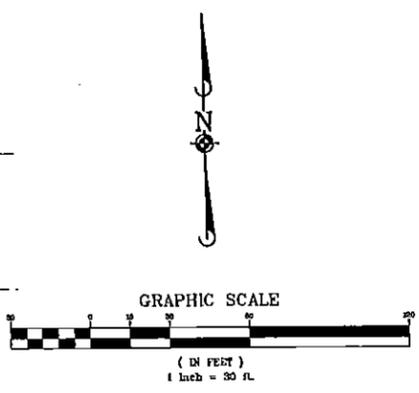
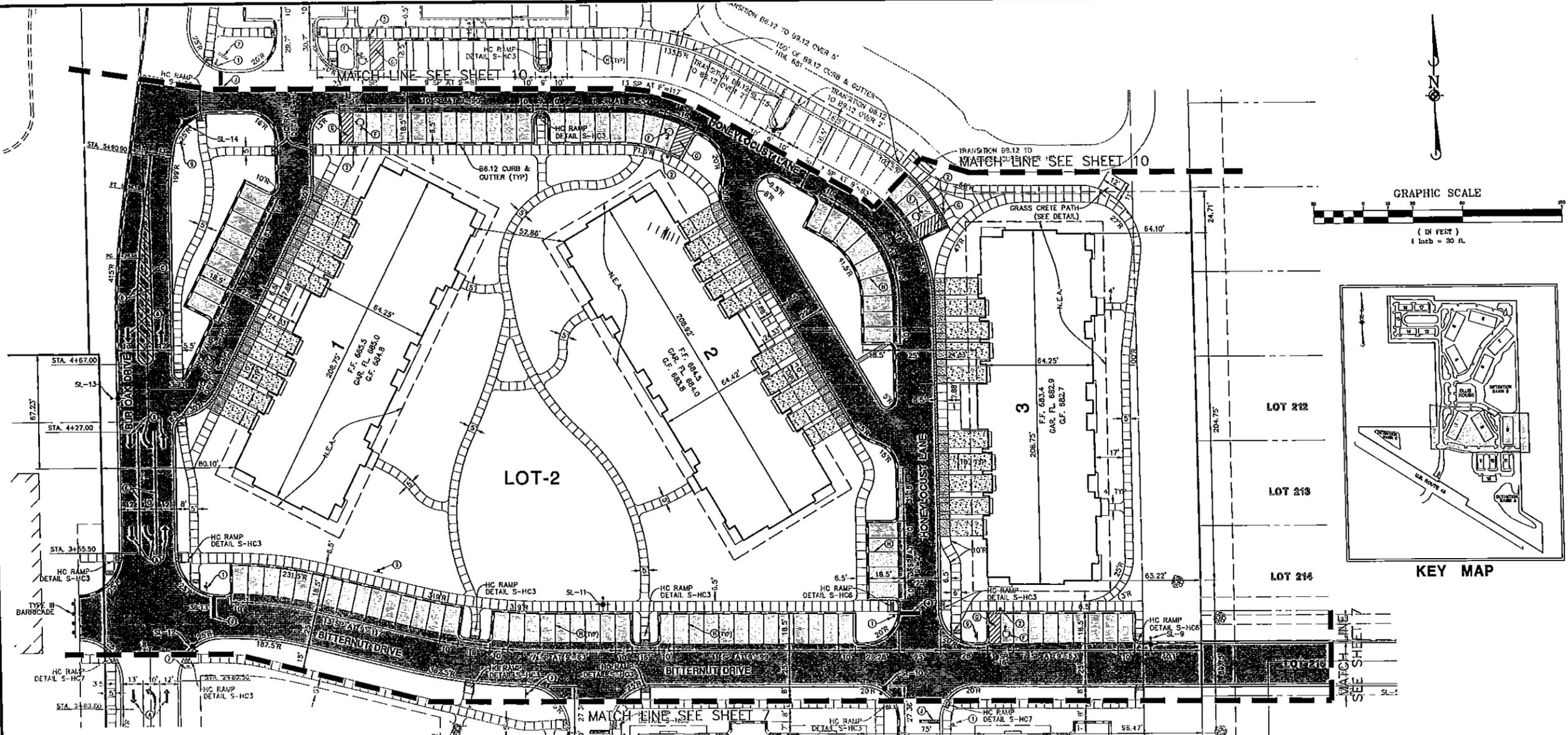
	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	DRIVEWAY PAVEMENT 2 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 (TO BE INSTALLED IN TWO LIFTS) 6" AGGREGATE BASE COURSE, CA-6, CRUSHED LIMESTONE, TYPE B
	BIKE PATH PAVEMENT 3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 6" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK PAVEMENT 5" PCC 4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
	SIDEWALK PAVEMENT IN DRIVEWAY 6" PCC 4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
	DECOMPOSED GRANITE PATH SEE LANDSCAPE PLAN FOR DETAILS

Manhard CONSULTING LTD
Professional Engineers, Environmental Scientists, Landscapers, Planners
100 Westwood Parkway, Vernon Hills, IL 60061
630-426-0300
Civil Engineers • Surveyors • Water Resources Engineers • Planners
Construction Management • Environmental Scientists • Landscapers • Planners

DATE: 03-11-13
SCALE: 1"=50'
SHEET: 8 OF 50
KNZVH 110660

THE OAKS OF VERNON HILLS
VILLAGE OF VERNON HILLS, ILLINOIS
SITE DIMENSIONAL & PAVING PLAN - SOUTHEAST

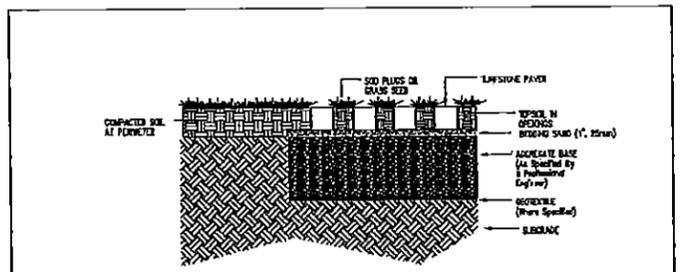
PENDING APPROVAL-NOT FOR CONSTRUCTION



- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB OR FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
 - ALL CURB RADI SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTATIONS. ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED SIDEWALK. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - DEPRESS CURB & CUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 - THE CONTRACTOR SHALL CONTACT JULLIE (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - DU TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

- SIGN LEGEND**
- ① R1-1 STOP SIGN
 - ② R7-B HANDICAP PARKING SIGN
 - ③ FIRE LANE - NO PARKING SIGN
 - ④ R5-1 DO NOT ENTER
 - ⑤ R8-25 ONE WAY
 - ⑥ R3-5 VAN PARKING ONLY
 - ⑦ ENTRANCE MONUMENT, (SEE LANDSCAPE/ARCH. PLANS)
 - ⑧ BUILDING IDENTITY SIGN, (SEE LANDSCAPE/ARCH. PLANS)
 - ⑨ WAYFINDING SIGN, (SEE LANDSCAPE/ARCH. PLANS)

- PAVEMENT MARKING LEGEND**
- ① LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
 - ② 6" SOLID WHITE - THERMOPLASTIC
 - ③ 12" SOLID YELLOW - THERMOPLASTIC
 - ④ 6" WHITE (6" SKIP-2" DASH) - THERMOPLASTIC
 - ⑤ 4" SOLID YELLOW - THERMOPLASTIC
 - ⑥ ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)
 - ⑦ 4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
 - ⑧ 4" SOLID YELLOW LINE
 - ⑨ 4" SOLID YELLOW LINE - THERMOPLASTIC
 - ⑩ 24" SOLID WHITE STOP BAR
- ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+81 TP STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.



FIRE ACCESS ROAD
Turstone Paver

UNILOCK®
Designed to be a step ahead

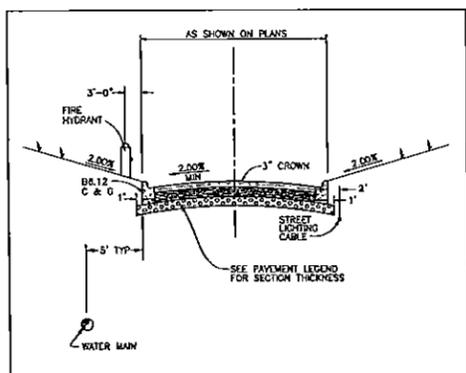
1-800-UNILOCK
www.unilock.com

PAVER DETAIL
Cross Section

FIREROAD.DWG

Engineer's Seal

- PAVEMENT LEGEND**
- STANDARD DUTY PAVEMENT**
1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50
10" AGGREGATE BASE COURSE, TYPE B
 - HEAVY DUTY PAVEMENT**
1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50
12" AGGREGATE BASE COURSE, TYPE B
 - DRIVEWAY PAVEMENT**
2 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
(TO BE INSTALLED IN TWO LIFTS)
6" AGGREGATE BASE COURSE, CA-6, CRUSHED LIMESTONE, TYPE B
 - BIKE PATH PAVEMENT**
3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
6" AGGREGATE BASE COURSE, TYPE B
 - SIDEWALK PAVEMENT**
5" PCC
4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
 - SIDEWALK PAVEMENT IN DRIVEWAY**
6" PCC
4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
 - DECOMPOSED GRANITE PATH**
SEE LANDSCAPE PLAN FOR DETAILS



- NOTES:**
- UTILITY LOCATIONS VARY. SEE UTILITY PLAN SHEETS
 - REFER TO PAVEMENT LEGEND FOR PAVEMENT SECTION
 - MAIN ROADWAY SHALL HAVE A 4" CROWN WITH 24" WIDE EDGE-TO-EDGE. THE ROADWAY SHALL HAVE A MINIMUM SLOPE OF 2% WHICH INCREASING IN WIDTH.
- PROJ. NO.:** 05-11-13
DATE: 05-11-13
SCALE: 1"=30'
- SHEET**
9 OF 50
KNZVH 110660

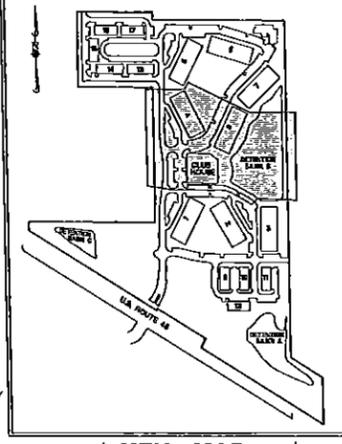
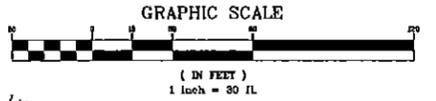
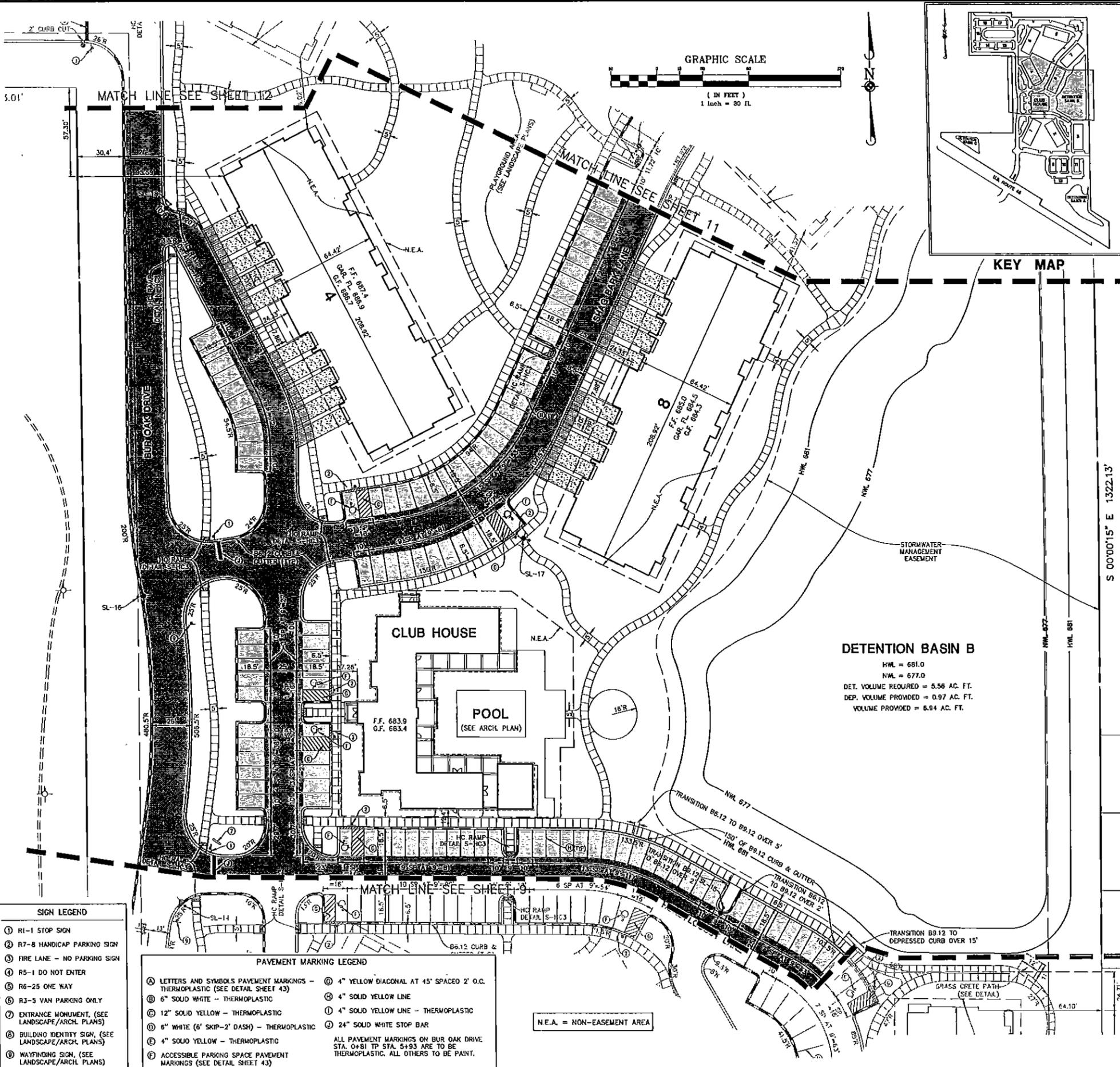
Manhard CONSULTING
Civil Engineers • Surveyors • Water Resource Engineers • Wetland & Wetlands • Planning • Construction Management • Environmental Scientists • Landscape Architects • Environmental Engineers

1000 N. W. 10th St., Suite 1000, Ft. Lauderdale, FL 33304
Tel: 954.577.8800 Fax: 954.577.8801
www.manhardconsulting.com

REVISED PER VILLAGE & LEAD REVIEW 5-7-13

THE OAKS OF VERNON HILLS
VILLAGE OF VERNON HILLS, ILLINOIS
SITE DIMENSIONAL & PAVING PLAN - SOUTH CENTRAL

PENDING APPROVAL-NOT FOR CONSTRUCTION



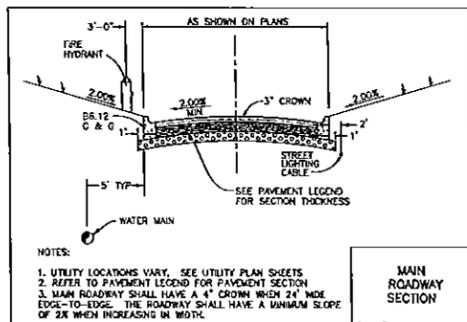
PAVEMENT LEGEND

	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	DRIVEWAY PAVEMENT 2 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 (TO BE INSTALLED IN TWO LIFTS) 6" AGGREGATE BASE COURSE, CA-6, CRUSHED LIMESTONE, TYPE B
	BIKE PATH PAVEMENT 3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX O, N50 6" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK PAVEMENT 5" PCC 4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE
	SIDEWALK PAVEMENT IN DRIVEWAY 5" PCC 4" COMPACTED CA-6 CRUSHED LIMESTONE AGGREGATE

PAVEMENT MARKING LEGEND

	LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
	6" SOLID WHITE - THERMOPLASTIC
	12" SOLID YELLOW - THERMOPLASTIC
	6" WHITE (6' SKIP-2' DASH) - THERMOPLASTIC
	4" SOLID YELLOW - THERMOPLASTIC
	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)
	4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
	4" SOLID YELLOW LINE
	4" SOLID YELLOW LINE - THERMOPLASTIC
	24" SOLID WHITE STOP BAR

ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+81 TP STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.



- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
 - ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 - THE CONTRACTOR SHALL CONTACT JULLIE (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - DUO TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

SIGN LEGEND

	R1-1 STOP SIGN
	R7-8 HANDICAP PARKING SIGN
	FIRE LANE - NO PARKING SIGN
	R5-1 DO NOT ENTER
	R6-25 ONE WAY
	R3-5 VAN PARKING ONLY
	ENTRANCE MONUMENT, (SEE LANDSCAPE/ARCH. PLANS)
	BUILDING IDENTITY SIGN, (SEE LANDSCAPE/ARCH. PLANS)
	WAYFINDING SIGN, (SEE LANDSCAPE/ARCH. PLANS)

PAVEMENT MARKING LEGEND

	LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)		4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
	6" SOLID WHITE - THERMOPLASTIC		4" SOLID YELLOW LINE
	12" SOLID YELLOW - THERMOPLASTIC		4" SOLID YELLOW LINE - THERMOPLASTIC
	6" WHITE (6' SKIP-2' DASH) - THERMOPLASTIC		24" SOLID WHITE STOP BAR
	4" SOLID YELLOW - THERMOPLASTIC	ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+81 TP STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.	
	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)		

N.E.A. = NON-EASEMENT AREA

DETENTION BASIN B
H.W.L. = 661.0
N.W.L. = 677.0
DET. VOLUME REQUIRED = 5.56 AC. FT.
DEP. VOLUME PROVIDED = 0.97 AC. FT.
VOLUME PROVIDED = 6.94 AC. FT.

S 00'00"15" E 1322.13'

Manhard CONSULTING LTD.
Civil Engineers • Surveyors • Water Resource Specialists • Landscape Architects • Planners
Construction Managers • Environmental Scientists • Landscaping Architects

THE OAKS OF VERNON HILLS, ILLINOIS
VILLAGE OF VERNON HILLS, ILLINOIS
SITE DIMENSIONAL & PAVING PLAN - NORTH CENTRAL

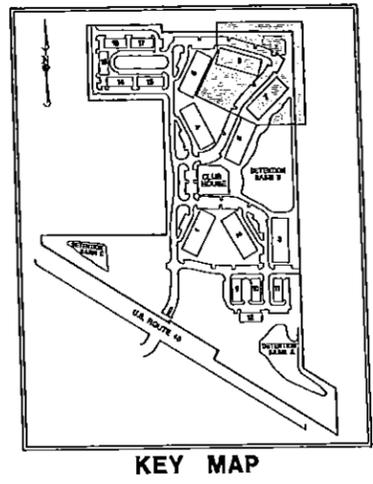
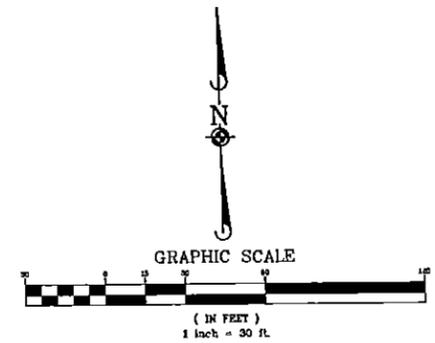
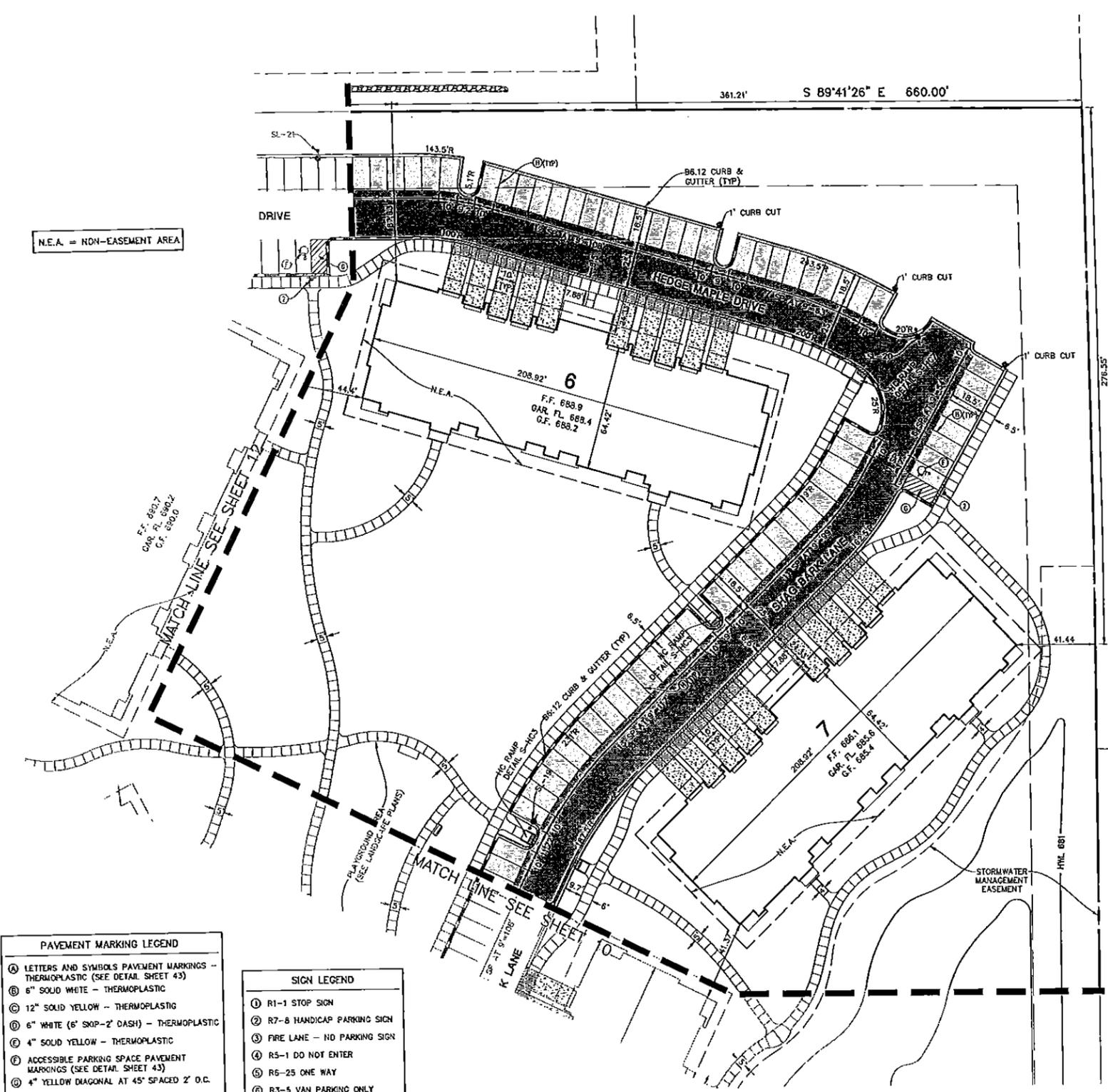
PROJ. NO. 03-11-13
SHEET 10 OF 50
KNZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION

N.E.A. = NON-EASEMENT AREA

PAVEMENT MARKING LEGEND	
(A)	LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
(B)	6" SOLID WHITE - THERMOPLASTIC
(C)	12" SOLID YELLOW - THERMOPLASTIC
(D)	6" WHITE (6" STOP-2" DASH) - THERMOPLASTIC
(E)	4" SOLID YELLOW - THERMOPLASTIC
(F)	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)
(G)	4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
(H)	4" SOLID YELLOW LINE
(I)	4" SOLID YELLOW LINE - THERMOPLASTIC
(J)	24" SOLID WHITE STOP BAR
ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+81 TP STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.	

SIGN LEGEND	
(1)	R1-1 STOP SIGN
(2)	R7-8 HANDICAP PARKING SIGN
(3)	FIRE LANE - NO PARKING SIGN
(4)	R5-1 DO NOT ENTER
(5)	R6-25 ONE WAY
(6)	R3-5 VAN PARKING ONLY
(7)	ENTRANCE MONUMENT, (SEE LANDSCAPE/ARCL PLANS)
(8)	BUILDING IDENTITY SIGN, (SEE LANDSCAPE/ARCL PLANS)
(9)	WAYFINDING SIGN, (SEE LANDSCAPE/ARCL PLANS)



- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
 - ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, COMPOSTERS, AND TRANSPIRERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL IDENTITY DETAILS.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - DEPRESS CURB & CUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 - THE CONTRACTOR SHALL CONTACT JULLIE ((1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

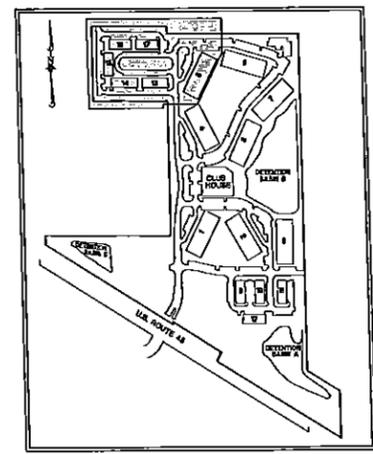
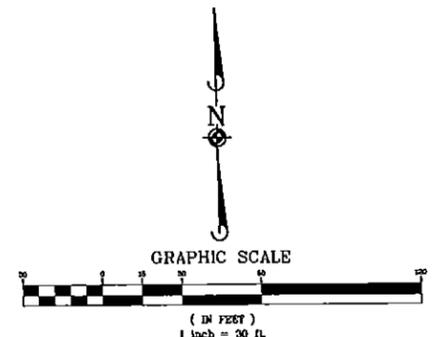
PAVEMENT LEGEND	
STANDARD DUTY PAVEMENT	
	1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
	2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50
	10" AGGREGATE BASE COURSE, TYPE B
HEAVY DUTY PAVEMENT	
	1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
	3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50
	12" AGGREGATE BASE COURSE, TYPE B
DRIVEWAY PAVEMENT	
	2 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 (TO BE INSTALLED IN TWO LIFTS)
	6" AGGREGATE BASE COURSE, CA-6, CRUSHED LESTONE, TYPE B
BIKE PATH PAVEMENT	
	3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
	6" AGGREGATE BASE COURSE, TYPE B
SIDEWALK PAVEMENT	
	5" PCC
	4" COMPACTED CA-6 CRUSHED LESTONE AGGREGATE
SIDEWALK PAVEMENT IN DRIVEWAY	
	6" PCC
	4" COMPACTED CA-6 CRUSHED LESTONE AGGREGATE
DECOMPOSED GRANITE PATH	
	SEE LANDSCAPE PLAN FOR DETAILS

Manhard CONSULTING LTD.
 3075 MANHARD CONSULTING, LTD. ALL RIGHTS RESERVED.
 11 OF 50
 KHZWH 110660

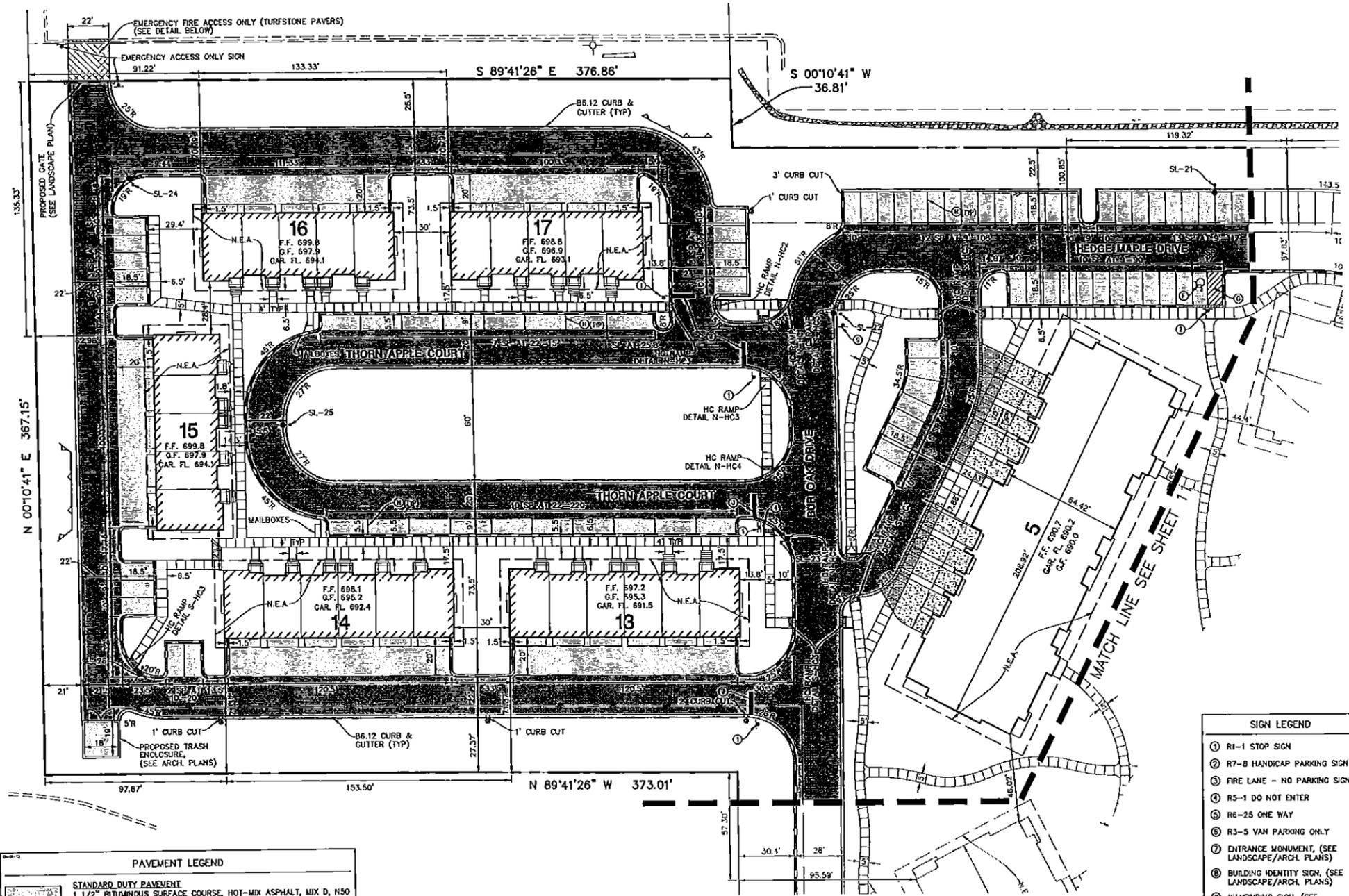
THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 SITE DIMENSIONAL & PAVING PLAN - NORTHEAST
 PENDING APPROVAL-NOT FOR CONSTRUCTION

MANHARD CONSULTING, LTD. ALL RIGHTS RESERVED.
 3-27-13 REVISED PER DELAINE & LOUPE REVIEW
 CIVIL ENGINEER - SURVEYOR - WATER RESOURCE ENGINEER - PLANNING ENGINEER - ENVIRONMENTAL ENGINEER - LANDSCAPE ARCHITECT - PLANNING CONSULTANT

N.E.A. = NON-EASEMENT AREA



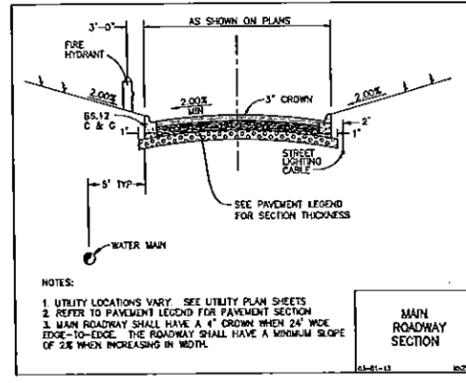
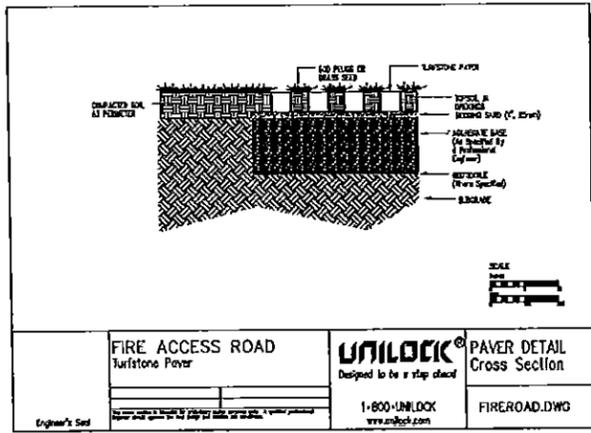
KEY MAP



SIGN LEGEND	
①	R1-1 STOP SIGN
②	R7-B HANDICAP PARKING SIGN
③	FIRE LANE - NO PARKING SIGN
④	R5-1 DO NOT ENTER
⑤	R6-2S ONE WAY
⑥	R3-5 VAN PARKING ONLY
⑦	ENTRANCE MONUMENT, (SEE LANDSCAPE/ARCH PLANS)
⑧	BUILDING IDENTITY SIGN, (SEE LANDSCAPE/ARCH PLANS)
⑨	WAYFINDING SIGN, (SEE LANDSCAPE/ARCH PLANS)

- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND CUTTER SHALL BE 86.12 UNLESS OTHERWISE NOTED.
 - ALL CURB RADI SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBS, FENCES, GARDENS, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - THE CONTRACTOR SHALL CONTACT J.U.L.L.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ALL SIDEWALK LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND EXACT LOCATIONS WILL BE DETERMINED BY ARCHITECT AT TIME OF CONSTRUCTION.

PAVEMENT LEGEND	
	STANDARD DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 2 1/4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 10" AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 12" AGGREGATE BASE COURSE, TYPE B
	DRIVEWAY PAVEMENT 2 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 (TO BE INSTALLED IN TWO LIFTS) 6" AGGREGATE BASE COURSE, CA-S, CRUSHED LIMESTONE, TYPE B
	BIKE PATH PAVEMENT 3" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50 6" AGGREGATE BASE COURSE, TYPE B
	SIDEWALK PAVEMENT 5" PCC 4" COMPACTED CA-5 CRUSHED LIMESTONE AGGREGATE
	SIDEWALK PAVEMENT IN DRIVEWAY 6" PCC 4" COMPACTED CA-5 CRUSHED LIMESTONE AGGREGATE
	DECOMPOSED GRANITE PATH SEE LANDSCAPE PLAN FOR DETAILS



PAVEMENT MARKING LEGEND	
Ⓐ	LETTERS AND SYMBOLS PAVEMENT MARKINGS - THERMOPLASTIC (SEE DETAIL SHEET 43)
Ⓑ	6" SOLID WHITE - THERMOPLASTIC
Ⓒ	12" SOLID YELLOW - THERMOPLASTIC
Ⓓ	6" WHITE (6" SKIP-2" DASH) - THERMOPLASTIC
Ⓔ	4" SOLID YELLOW - THERMOPLASTIC
Ⓕ	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS (SEE DETAIL SHEET 43)
Ⓖ	4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
Ⓖ	4" SOLID YELLOW LINE
Ⓖ	4" SOLID YELLOW LINE - THERMOPLASTIC
Ⓖ	24" SOLID WHITE STOP BAR

ALL PAVEMENT MARKINGS ON BUR OAK DRIVE STA. 0+81 TO STA. 5+93 ARE TO BE THERMOPLASTIC. ALL OTHERS TO BE PAINT.

NOTES:

- UTILITY LOCATIONS VARY. SEE UTILITY PLAN SHEETS
- REFER TO PAVEMENT LEGEND FOR PAVEMENT SECTION
- MAIN ROADWAY SHALL HAVE A 4' CROWN WHEN 24' WIDE EDGE-TO-EDGE. THE ROADWAY SHALL HAVE A MINIMUM SLOPE OF 2% WHEN INCREASING IN WIDTH.

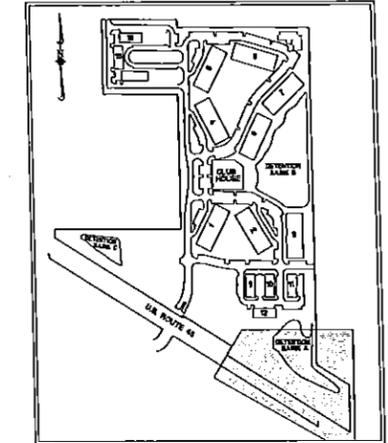
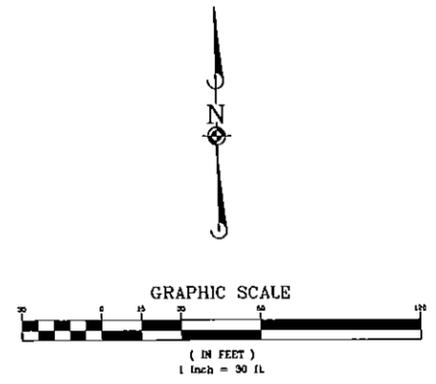
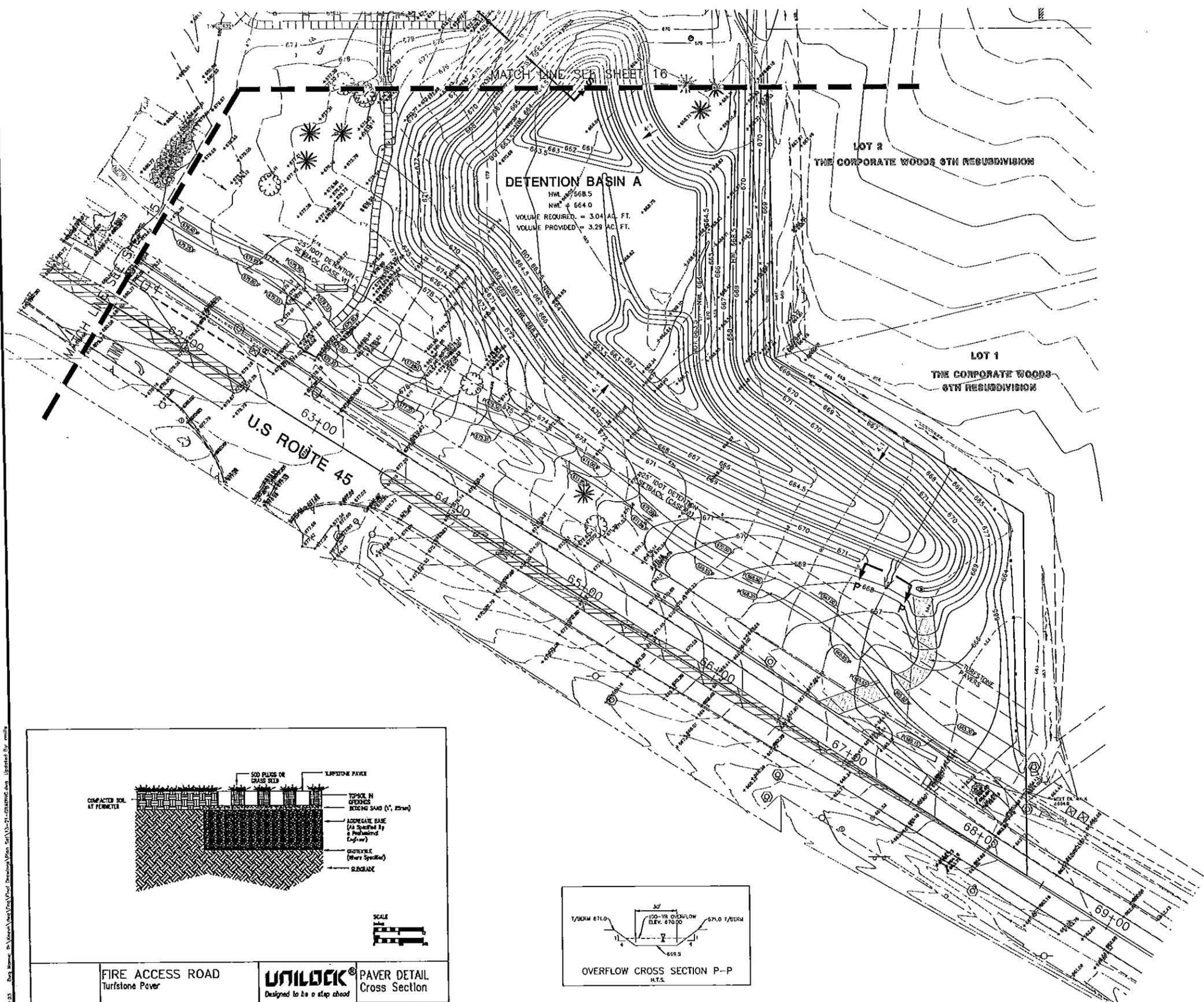
NO.	DATE	REVISION	BY	CHK.

Manhard CONSULTING LTD.
 810 Westchester Parkway, Vernon Hills, IL 60069
 Tel: 847.581.1000 Fax: 847.581.1001
 Email: info@manhard.com
 Services: Professional Engineers • Surveyors • Environmental Scientists • Landscape Architects • Planners • Construction Managers

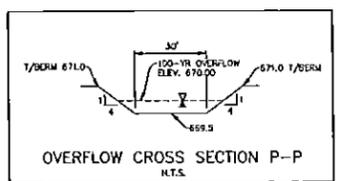
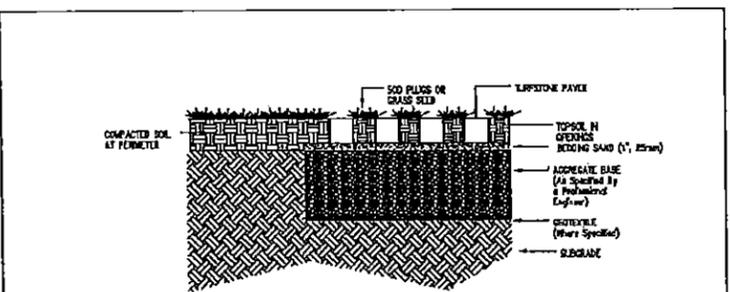
THE OAKS OF VERNON HILLS, ILLINOIS
 VILLAGE OF VERNON HILLS, ILLINOIS
 SITE DIMENSIONAL & PAVING PLAN - NORTHWEST

DATE: 03-11-13
 SCALE: 1"=30'
 SHEET
12 OF **50**
 KNZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION



- GRADING NOTES:**
1. RETAINING WALL DESIGN TO BE PROVIDED BY OTHERS.
 2. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 3. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 4. MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
 5. CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
 6. THE CONTRACTOR SHALL CONTACT J.U.L.L.E. (1-800-692-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
 7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
 9. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
 10. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE A INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
 11. ALL CONTOUR GRADING TO BE 4:1 MAX. UNLESS OTHERWISE NOTED.
 12. DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.



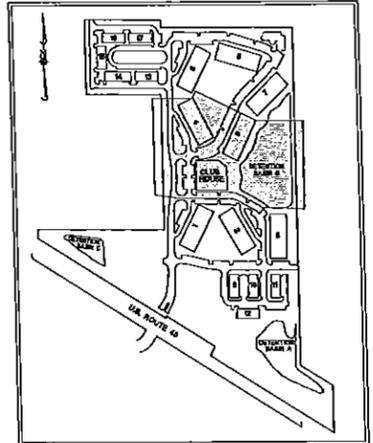
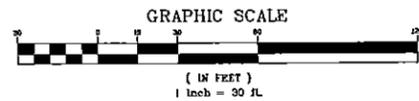
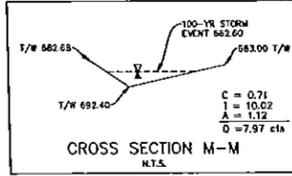
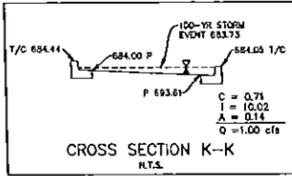
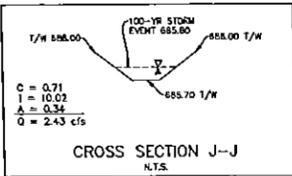
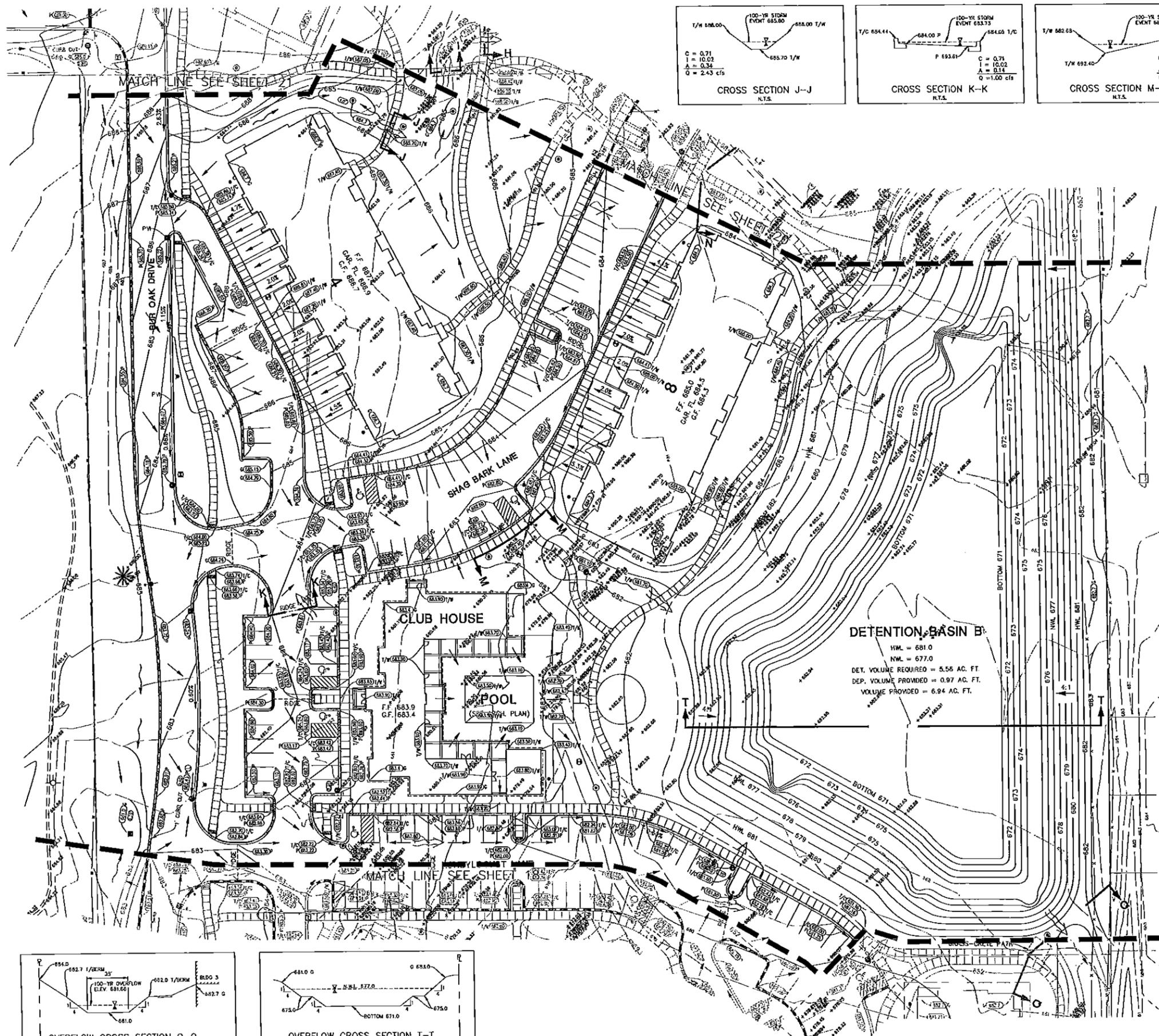
FIRE ACCESS ROAD Turfstone Paver	UNILOCK® Designed to be a step ahead	PAVER DETAIL
		Cross Section
1-800-UNILOCK www.unilock.com	FIREROAD.DWG	

MANHARD CONSULTING LTD.
 800 Woodlands Parkway, Vernon Hills, IL 60061
 848-778-0100
 Civil Engineers • Surveyors • Water Resources Engineers • Planners
 Construction Managers • Environmental Scientists • Landscape Architects •

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 GRADING PLAN - SOUTHEAST

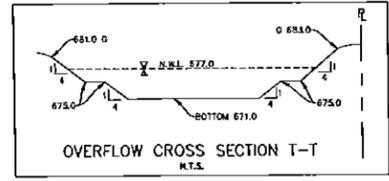
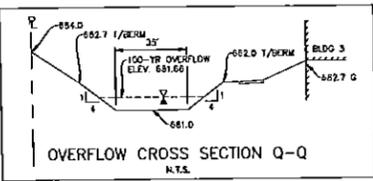
PROJECT: JEF
 PLAN ASSOC.: CM
 DRAWN BY: RGH
 DATE: 03-11-13
 SCALE: 1"=30'
 SHEET
17 OF 50
 KHZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION



DETENTION BASIN B
 H.W. = 681.0
 N.W. = 677.0
 DET. VOLUME REQUIRED = 5.56 AC. FT.
 DEP. VOLUME PROVIDED = 0.97 AC. FT.
 VOLUME PROVIDED = 6.94 AC. FT.

- GRADING NOTES:**
- RETAINING WALL DESIGN TO BE PROVIDED BY OTHERS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
 - THE CONTRACTOR SHALL CONTACT J.U.L.L.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
 - TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY A LICENSED SURVEYOR. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
 - ALL CONTOUR GRADING TO BE 4:1 MAX. UNLESS OTHERWISE NOTED.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.



DATE	
REVISION	
NO.	
DESCRIPTION	
BY	
CHECKED	
DATE	

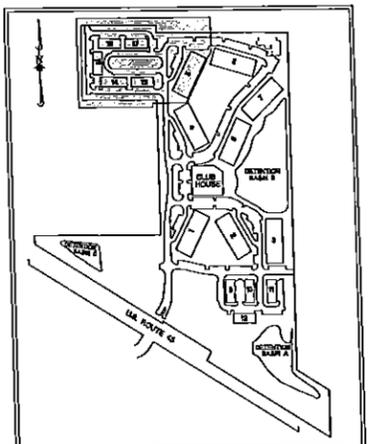
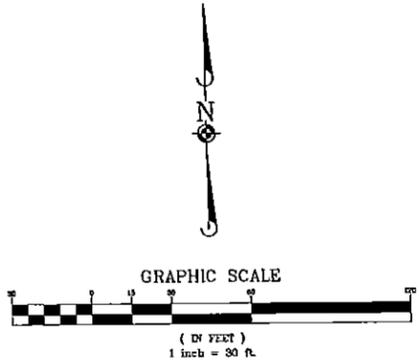
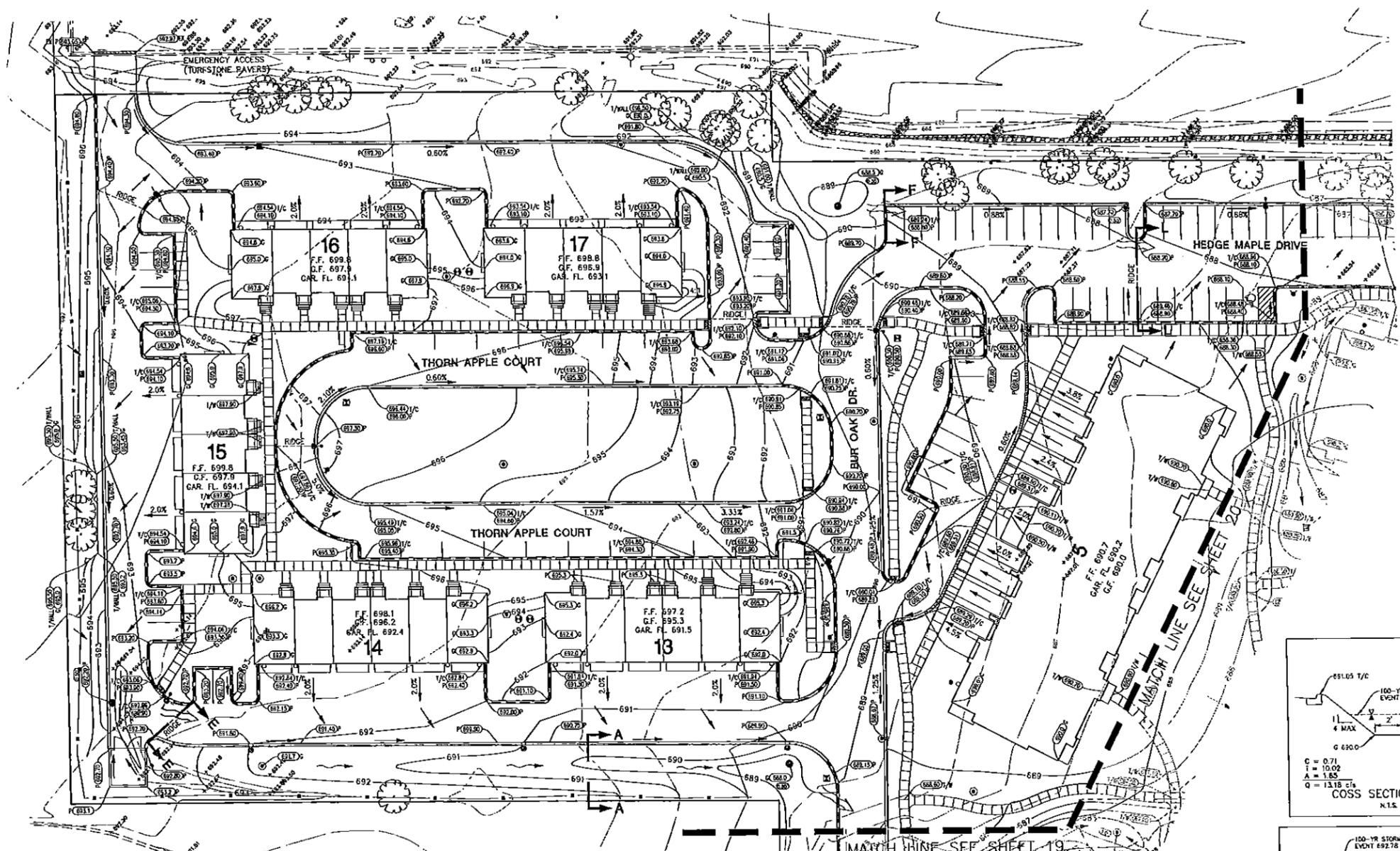
Manhard CONSULTING LTD
 1000 N. W. 10th St., Suite 1000
 Ft. Lauderdale, FL 33304
 Phone: (954) 574-1000
 Fax: (954) 574-1001
 Email: info@manhard.com
 Services: Surveyors • Water Resource Engineers • Water & Wastewater Planners
 Civil Engineers • Environmental Scientists • Landmarks Preservation Planners
 Construction Managers • Environmental Scientists • Landmarks Preservation Planners

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 GRADING PLAN - NORTH CENTRAL

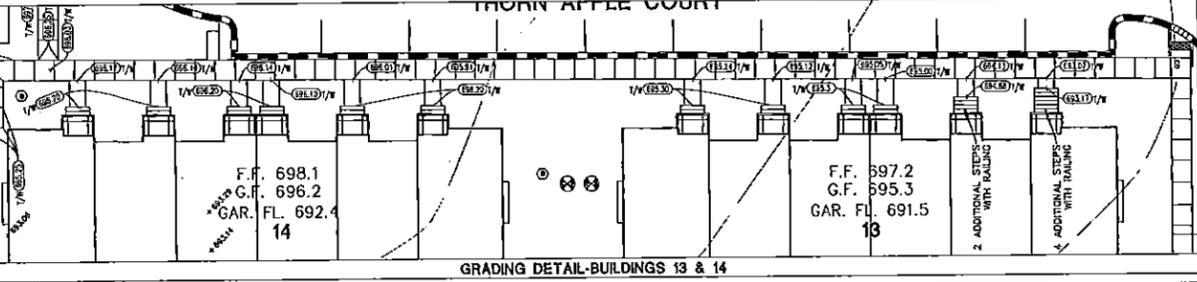
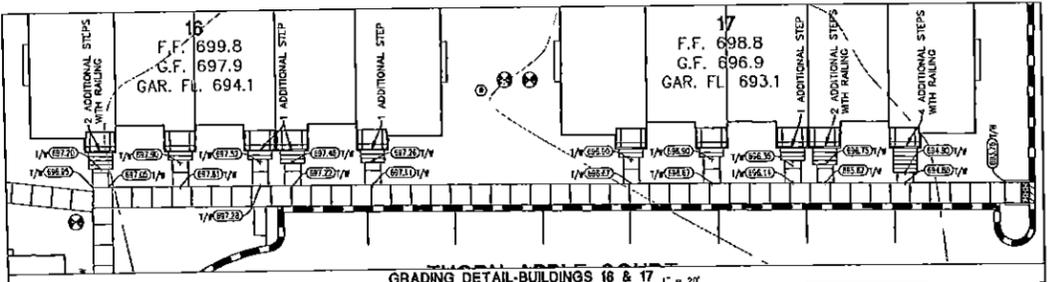
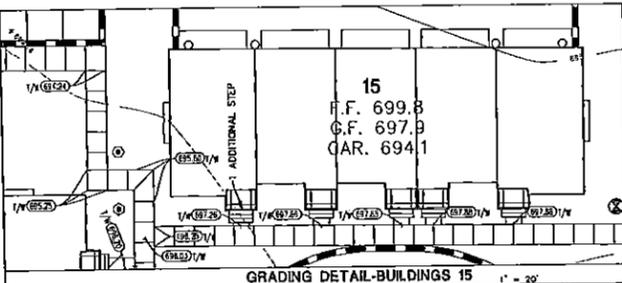
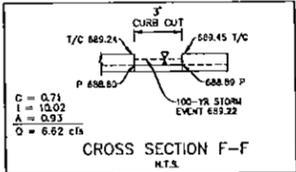
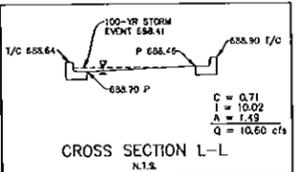
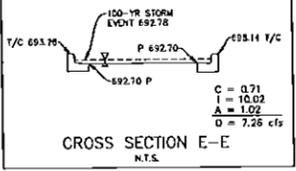
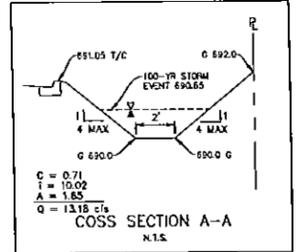
PROJECT NO.: JDF
 FINAL REVISION: CM
 DRAWN BY: REH
 DATE: 03-11-13
 SCALE: 1"=30'

SHEET
19 OF 50
 KNZYH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION



- GRADING NOTES:**
- RETAINING WALL DESIGN TO BE PROVIDED BY OTHERS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
 - MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
 - TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH COVERING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
 - ALL CONTOUR GRADING TO BE 4:1 MAX, UNLESS OTHERWISE NOTED.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.



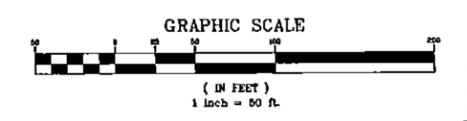
Manhard CONSULTING LTD.
 Civil Engineers • Surveyors • Water-Resource Engineers • Wetland & Wetland Assessment • Planning
 Construction Managers • Environmental Scientists • Landscape Architects • Forestry

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 GRADING PLAN - NORTHWEST

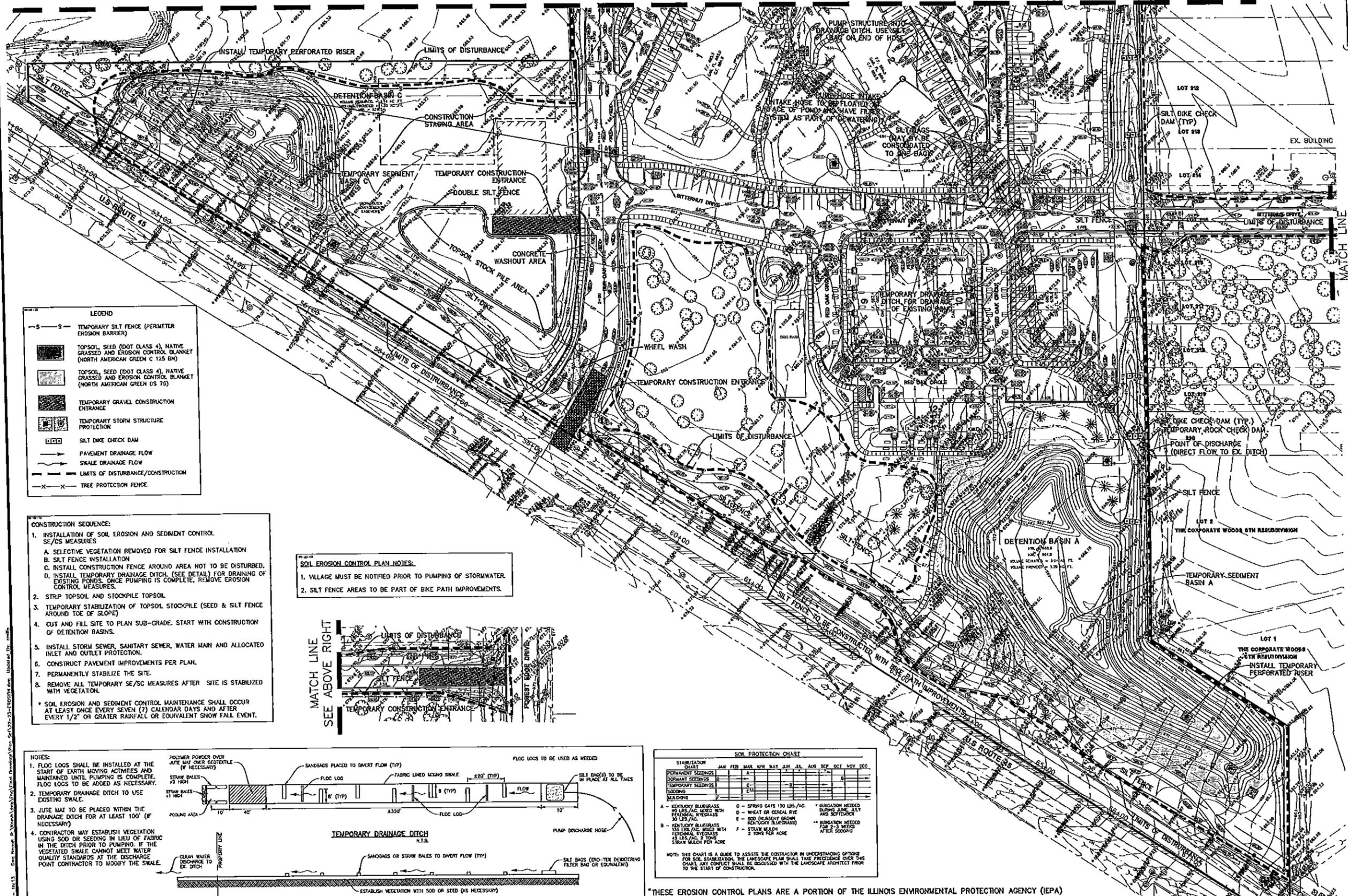
PROJ. NO.: GPF
 PROJ. ASSOC.: CM
 DRAWN BY: REM
 DATE: 03-11-13
 SCALE: 1"=30'

21 OF 50
 SHEET
 KZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION



MATCH LINE SEE SHEET 23

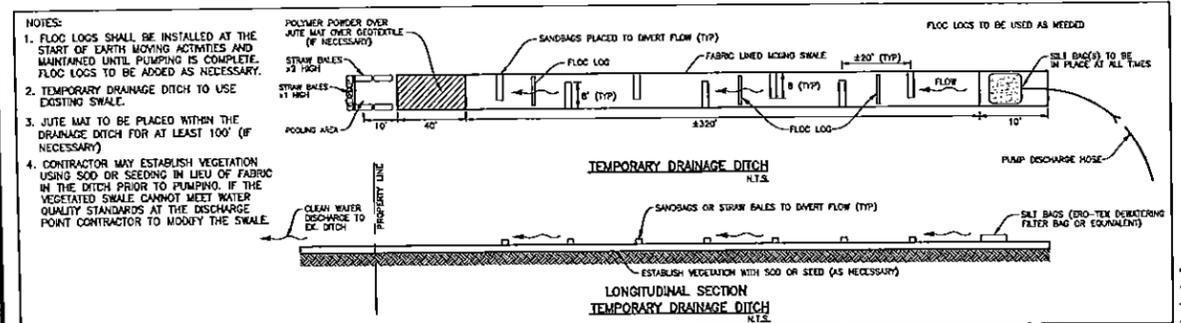
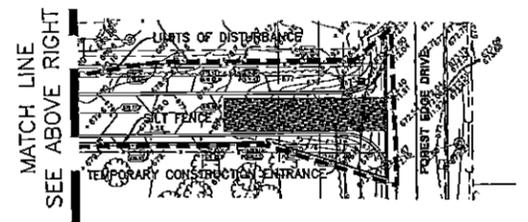


LEGEND

- S-S- TEMPORARY SILT FENCE (PERIMETER EROSION BARRIER)
- [Pattern] TOPSOIL SEED (DOT CLASS 4), NATIVE GRASSES AND EROSION CONTROL BLANKET (NORTH AMERICAN GREEN C 125 BN)
- [Pattern] TOPSOIL SEED (DOT CLASS 4), NATIVE GRASSES AND EROSION CONTROL BLANKET (NORTH AMERICAN GREEN DS 70)
- [Pattern] TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- [Pattern] TEMPORARY STORM STRUCTURE PROTECTION
- [Symbol] SILT DIKE CHECK DAM
- [Symbol] PAVEMENT DRAINAGE FLOW
- [Symbol] SWALE DRAINAGE FLOW
- [Symbol] LIMITS OF DISTURBANCE/CONSTRUCTION
- [Symbol] TREE PROTECTION FENCE

- CONSTRUCTION SEQUENCE:**
- INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL SE/CS MEASURES
 - SELECTIVE VEGETATION REMOVED FOR SILT FENCE INSTALLATION
 - SILT FENCE INSTALLATION
 - INSTALL CONSTRUCTION FENCE AROUND AREA NOT TO BE DISTURBED.
 - INSTALL TEMPORARY DRAINAGE DITCH (SEE DETAIL) FOR DRAINING OF EXISTING PONDS. ONCE PUMPING IS COMPLETE, REMOVE EROSION CONTROL MEASURES.
 - STRIP TOPSOIL AND STOCKPILE TOPSOIL
 - TEMPORARY STABILIZATION OF TOPSOIL STOCKPILE (SEED & SILT FENCE AROUND TOE OF SLOPE)
 - CUT AND FILL SITE TO PLAN SUB-GRADE. START WITH CONSTRUCTION OF DETENTION BASINS.
 - INSTALL STORM SEWER, SANITARY SEWER, WATER MAIN AND ALLOCATED INLET AND OUTLET PROTECTION.
 - CONSTRUCT PAVEMENT IMPROVEMENTS PER PLAN.
 - PERMANENTLY STABILIZE THE SITE.
 - REMOVE ALL TEMPORARY SE/CS MEASURES AFTER SITE IS STABILIZED WITH VEGETATION.
- * SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE SHALL OCCUR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER EVERY 1/2" OR GREATER RAINFALL OR EQUIVALENT SNOW FALL EVENT.

- SOIL EROSION CONTROL PLAN NOTES:**
- VILLAGE MUST BE NOTIFIED PRIOR TO PUMPING OF STORMWATER.
 - SILT FENCE AREAS TO BE PART OF BIKE PATH IMPROVEMENTS.



SOIL PROTECTION CHART

STABILIZATION	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDINGS	A	A	A	A	A	A	A	A	A	A	A	A
DISBURSED SEEDINGS	B	B	B	B	B	B	B	B	B	B	B	B
TEMPORARY SEEDINGS	C	C	C	C	C	C	C	C	C	C	C	C
SOILING	D	D	D	D	D	D	D	D	D	D	D	D
MALDING	E	E	E	E	E	E	E	E	E	E	E	E

A - KENTUCKY BLUEGRASS 50 LBS./AC. MIXED WITH PERENNIAL WHEATGRASS 50 LBS./AC.
 B - KENTUCKY BLUEGRASS 15 LBS./AC. MIXED WITH PERENNIAL WHEATGRASS 15 LBS./AC. 2 TONS STRAW MULCH PER ACRE
 C - SPRING GRASS 100 LBS./AC.
 D - MIXED OR REDTAN RYE GRASS 50 LBS./AC. MIXED WITH PERENNIAL WHEATGRASS 50 LBS./AC.
 E - 500 (HEAVY) GROWN KENTUCKY BLUEGRASS 15 LBS./AC. MIXED WITH PERENNIAL WHEATGRASS 15 LBS./AC. 2 TONS STRAW MULCH PER ACRE
 F - STRAW MULCH PER ACRE

* SOGDATION NEEDED FOR SOO AND SOFTTUCK AND SOFTTUCK
 ** SOGDATION NEEDED FOR 2-3 WEEKS AFTER SOOING

NOTE: THIS CHART IS A GUIDE TO ASSIST THE CONTRACTOR IN UNDERSTANDING OPTIONS FOR SOIL STABILIZATION. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THIS CHART. ANY CONFLICT SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. ILR10. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPILATION OF THE COMPLETE SWPPP.

MATCH LINE SEE BELOW

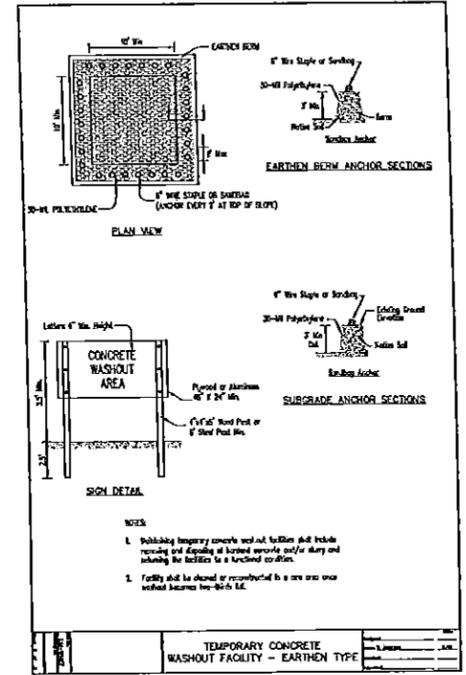
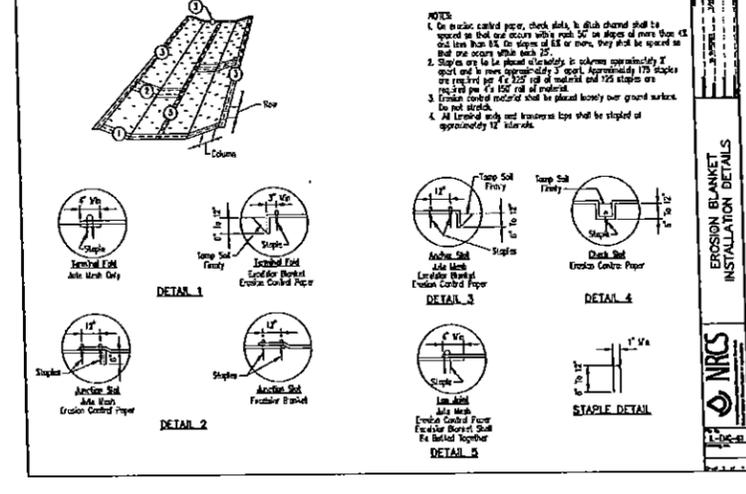
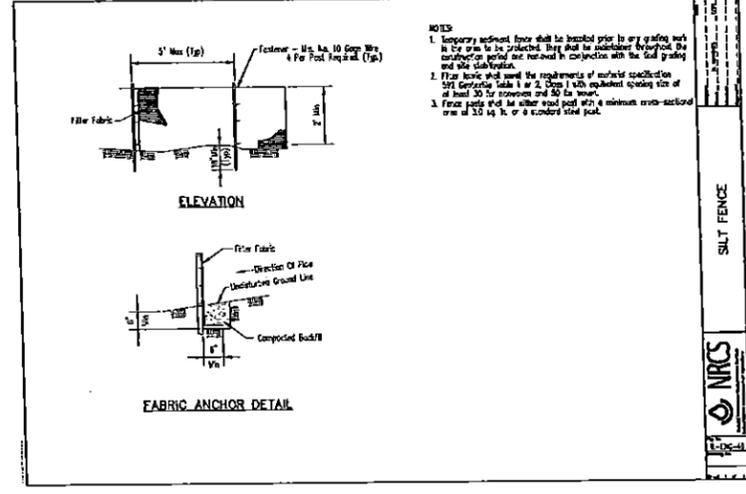
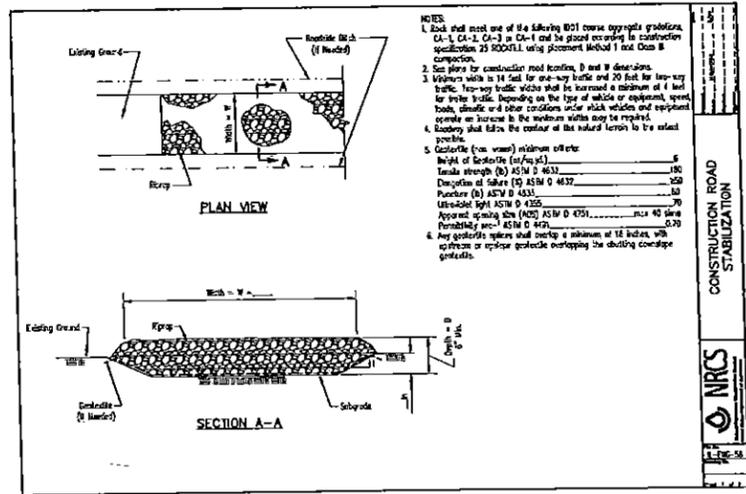
Manhard CONSULTING LTD.
 200 E. WASHINGTON ST. SUITE 200
 VERNON HILLS, ILLINOIS 60061
 TEL: 847.254.0200
 FAX: 847.254.0201
 WWW.MANHARDCONSULTING.COM
 3-7-13 REVISED PER VILLAGE OF VERNON HILLS
 Environmental Engineers • Landscaping Architects • Planners
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 SOIL EROSION AND SEDIMENT CONTROL PLAN - SOUTH

PROJ. NO.: 107
 PROJ. ARCH.: CM
 DRAWN BY: REH
 DATE: 03-11-13
 SCALE: 1"=50'
 SHEET
22 OF 50
 KXZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION

May 7, 2013 - 11:57 Draw Name: in:\Vernon\Site\Draws\Road Erosion\Draw - Soil Erosion Details.dwg, Updated By: cmh



Manhard CONSULTING

600 Woodlands Parkway, Vernon Hills, IL 60061
 848 W. Lake Street, Suite 200, Vernon Hills, IL 60061
 Cell: 847.581.1111 Fax: 847.581.1112
 Email: info@manhard.com
 Construction Management • Environmental Stipulations • Landscape Architecture • Planning

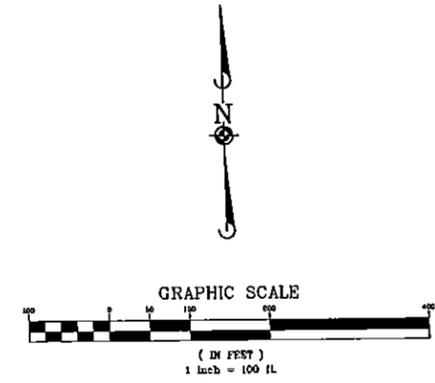
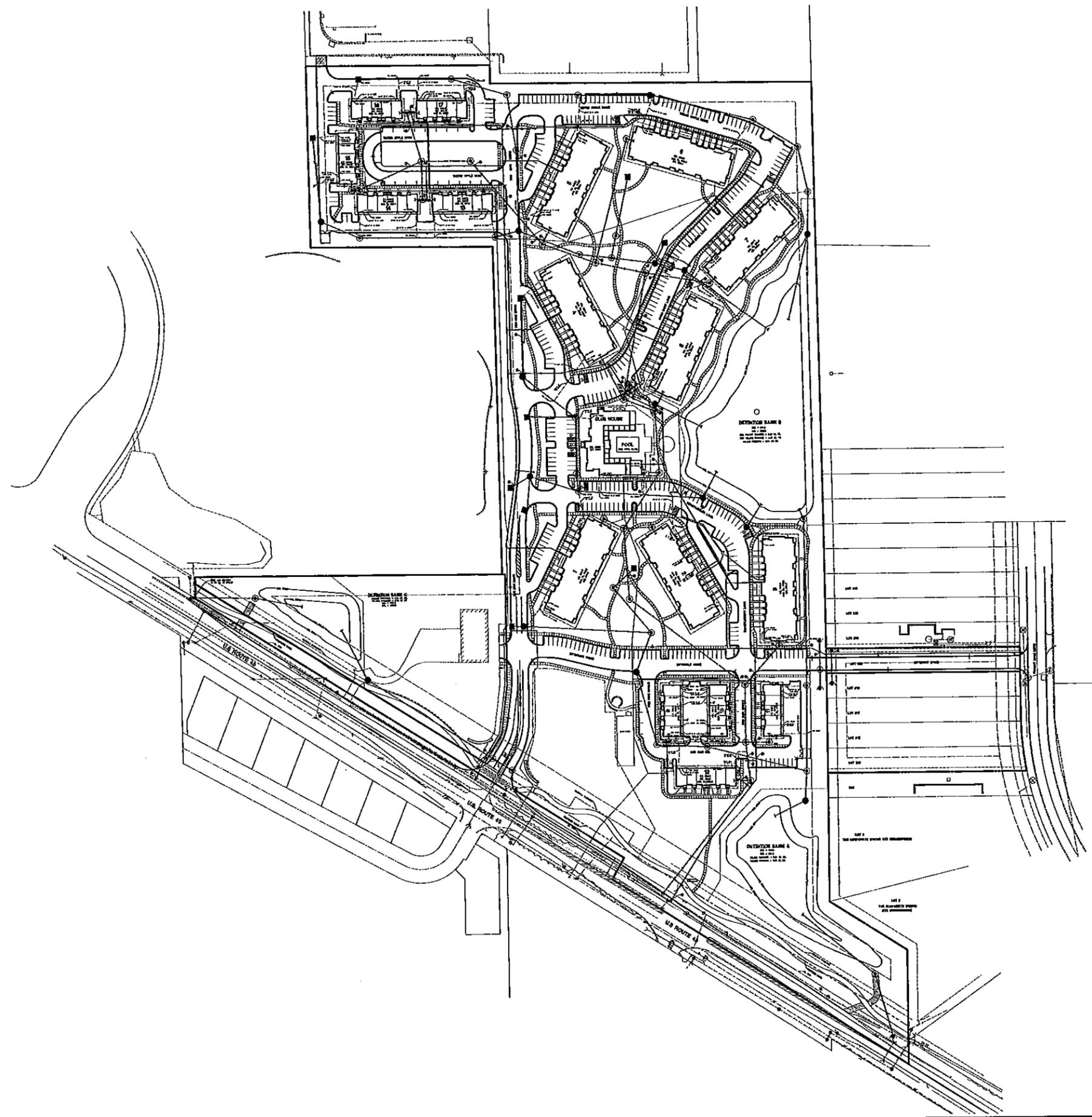
THE OAKS OF VERNON HILLS
VILLAGE OF VERNON HILLS, ILLINOIS
SOIL EROSION AND SEDIMENT CONTROL DETAILS

PROJECT NO: 107
 PROJECT: CH
 DRAWN BY: RPH
 DATE: 03-11-13
 SCALE: N.T.S.

25 OF 50
 KNZWH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION

June 17, 2013 - 15:18 Day Name: D:\Projects\Manhard\Manhard\Drawings\130613\130613.dwg User: jkatz



NO.	DATE	REVISION
1	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
2	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
3	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
4	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
5	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
6	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
7	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
8	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
9	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
10	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
11	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
12	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
13	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
14	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
15	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
16	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
17	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
18	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
19	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW
20	03-11-13	REVISED PER VILLAGE & COUNTY REVIEW

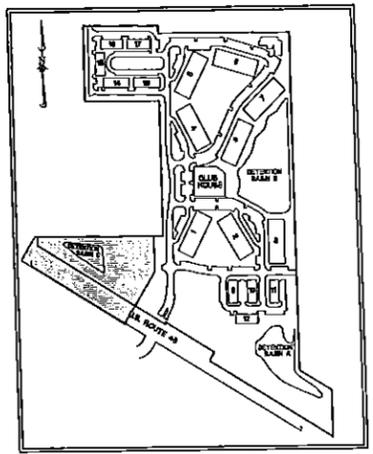
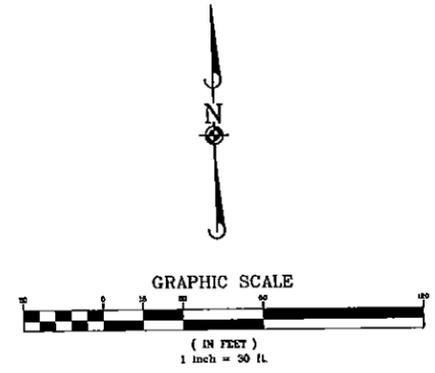
Manhard CONSULTING LTD.
 600 Westland Parkway, Vernon Hills, IL 60061
 848 Westland Parkway, Vernon Hills, IL 60061
 600 Westland Parkway, Vernon Hills, IL 60061
 Civil Engineers • Surveyors • Environmental Scientists • Landscape Architects • Planners
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 OVERALL UTILITY PLAN

PROJ. NO.: 130613
 PROJ. ASSOC.: JKF
 DRAWN BY: RCH
 DATE: 03-11-13
 SCALE: 1"=100'

SHEET
26 OF **50**
 HAZNH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION



KEY MAP

NO.	DATE	REVISION
1	03-11-13	REVISED PER VILLAGE & LODGE REVIEW

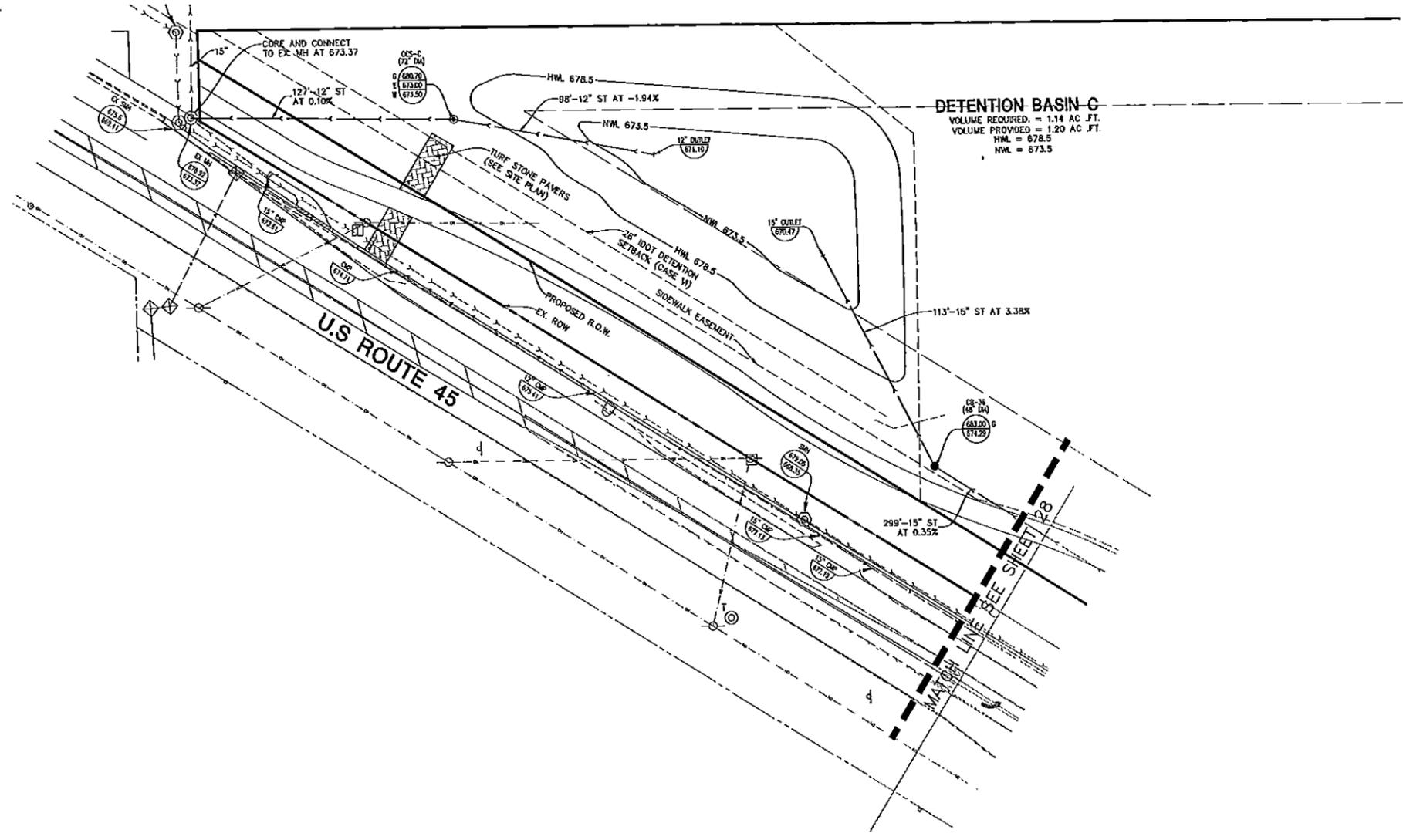
Manhard CONSULTING
 100 Westmore Parkway, Vernon Hills, IL 60061
 847-541-1100
 Civil Engineers • Surveyors • Water & Wastewater Engineers
 Construction Management • Environmental Scientists • Landscape Architects • Planners

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 UTILITY PLAN - DETENTION BASIN C

DATE: 03-11-13
 SCALE: 1" = 30'
 SHEET
27 OF **50**
 KNZMH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION

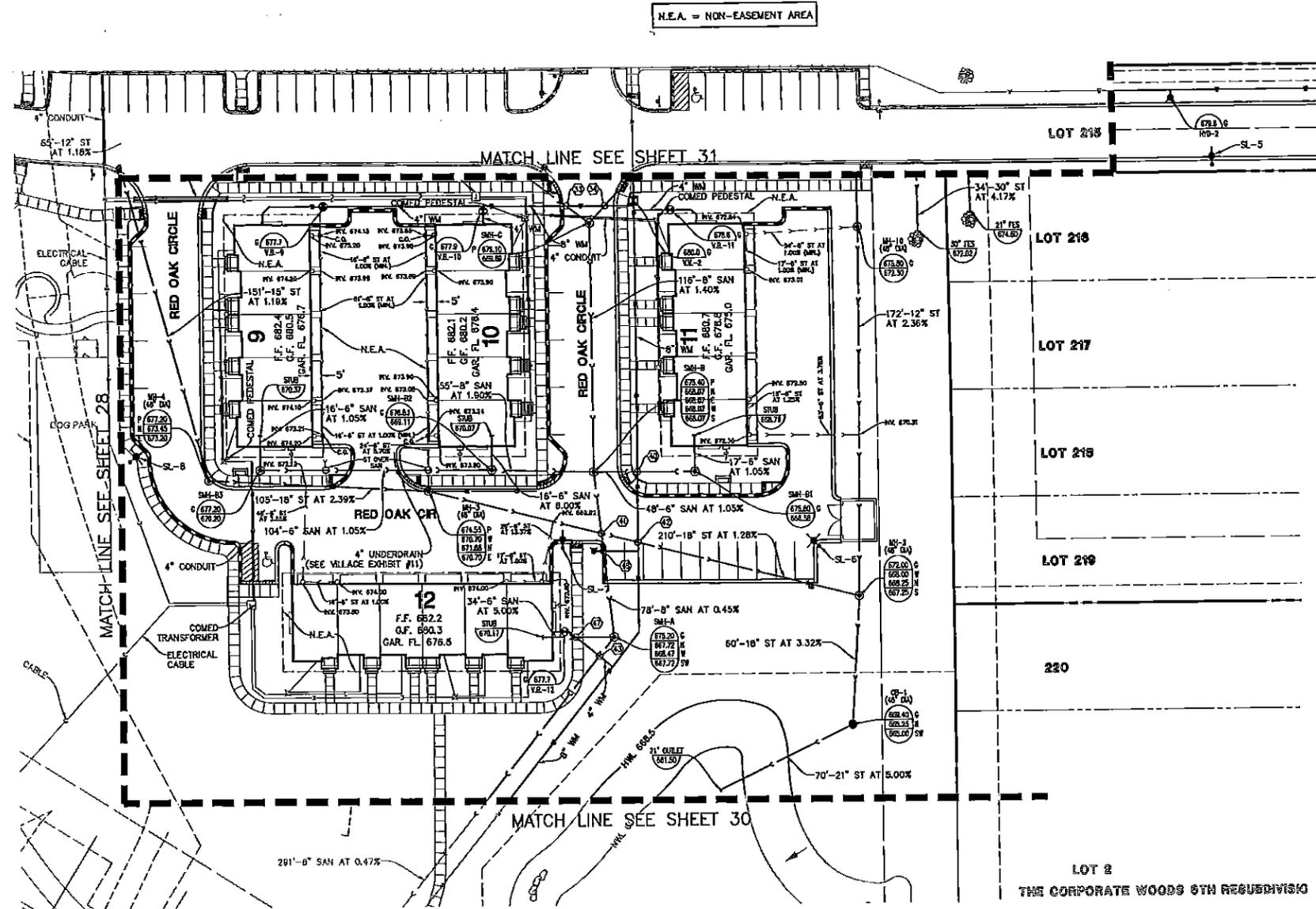
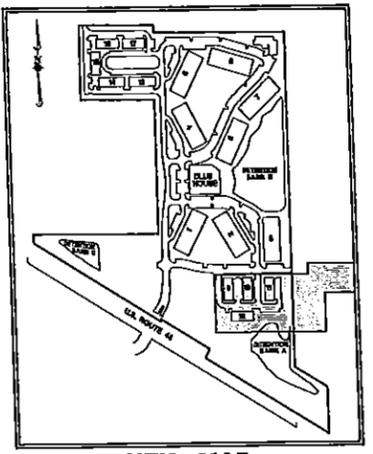
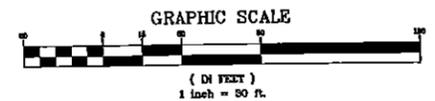
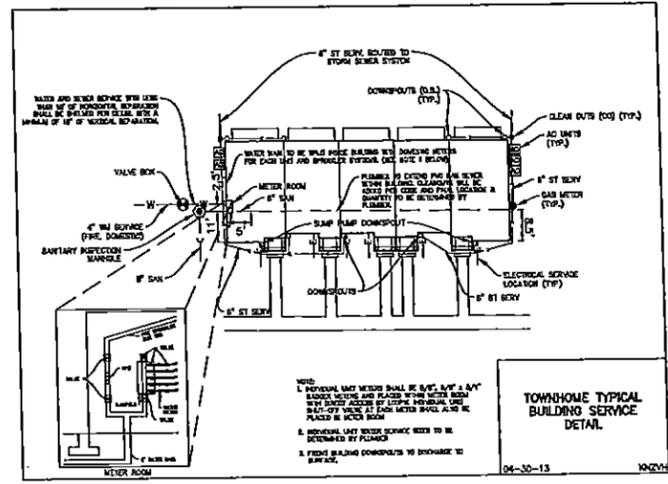
- UTILITY NOTES:**
- ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT J.U.L.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER OR WATER MAIN LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND CROSSINGS PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 - THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
 - CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 - AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
 - ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
 - ALL WATER MAIN SHALL BE A MIN OF 5'-6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS NOTED OTHERWISE.
 - ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
 - ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
 - CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO SANITARY MANHOLES.
 - EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJUSTED EXISTING SANITARY MANHOLES.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - ALL STORM MANHOLES IN PAVEMENT SHALL BE OPEN LID UNLESS OTHERWISE NOTED.
 - ALL UTILITY TRENCHES, INCLUDING SITE LIGHTING LOCATED WITHIN ALL PAVEMENT AREAS SHALL BE BACKFILLED IN ACCORDANCE WITH VILLAGE EXHIBITS 1 AND 2.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ANY EXISTING DRAINTILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REROUTED AND CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. CONTRACTOR TO NOTIFY ENGINEER UPON DISCOVERY OF EXISTING DRAINTILES.



Date: 03-11-13, 10:15 AM
 User: knz
 Path: C:\Users\knz\Documents\2013\03-11-13\27-50.dwg
 Plot: 03-11-13 10:15 AM
 Plot Device: HP DesignJet 500

UTILITY CROSSINGS			
1. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84	2. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84	3. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84	4. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84
5. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84	6. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84	7. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84	8. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84
9. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84	10. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84	11. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84	12. 12" OVER SAN B/P IN = 672.88 T/P SAN = 670.84

WATER AND SEWER CROSSINGS SHALL MEET STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS (SEE DETAIL SHEET)



- UTILITY NOTES:**
- ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
 - ALL WATER MAIN SHALL BE A MIN OF 5'-6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS NOTED OTHERWISE.
 - ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
 - ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
 - CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO SANITARY MANHOLES.
 - EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJUSTED EXISTING SANITARY MANHOLES.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - ALL STORM MANHOLES IN PAVEMENT SHALL BE OPEN LID UNLESS OTHERWISE NOTED.
 - ALL UTILITY TRENCHES, INCLUDING SITE LIGHTING LOCATED WITHIN ALL PAVEMENT AREAS SHALL BE BACKFILLED IN ACCORDANCE WITH VILLAGE EXHIBITS 1 AND 2.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ANY EXISTING DRAINILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REROUTED AND CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. CONTRACTOR TO NOTIFY ENGINEER UPON DISCOVERY OF EXISTING DRAINILES.
 - AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.

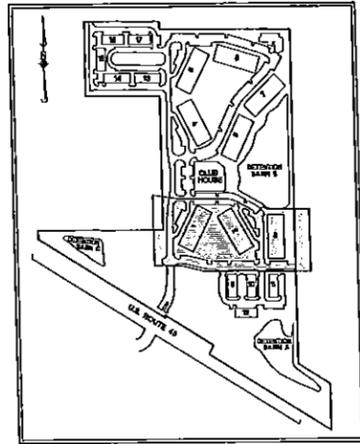
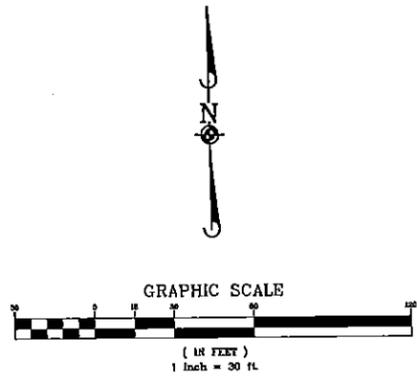
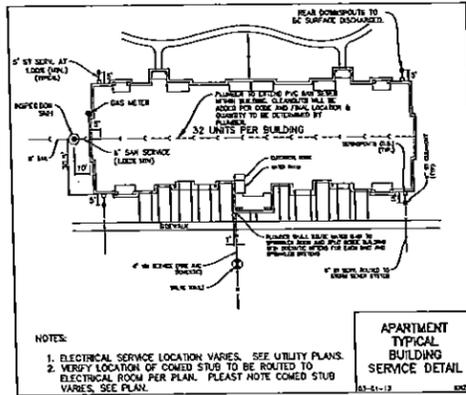
Manhard CONSULTING LTD.
 100 W. WASHINGTON ST., SUITE 200, CHICAGO, IL 60601
 TEL: (312) 462-4400 FAX: (312) 462-4401
 WWW.MANHARD.COM
 Services: Surveying • Water Resources Engineering • Water & Wastewater • Stormwater • Environmental Sciences • Landscaping Architecture • Planning • Construction Management

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 UTILITY PLAN - SOUTH

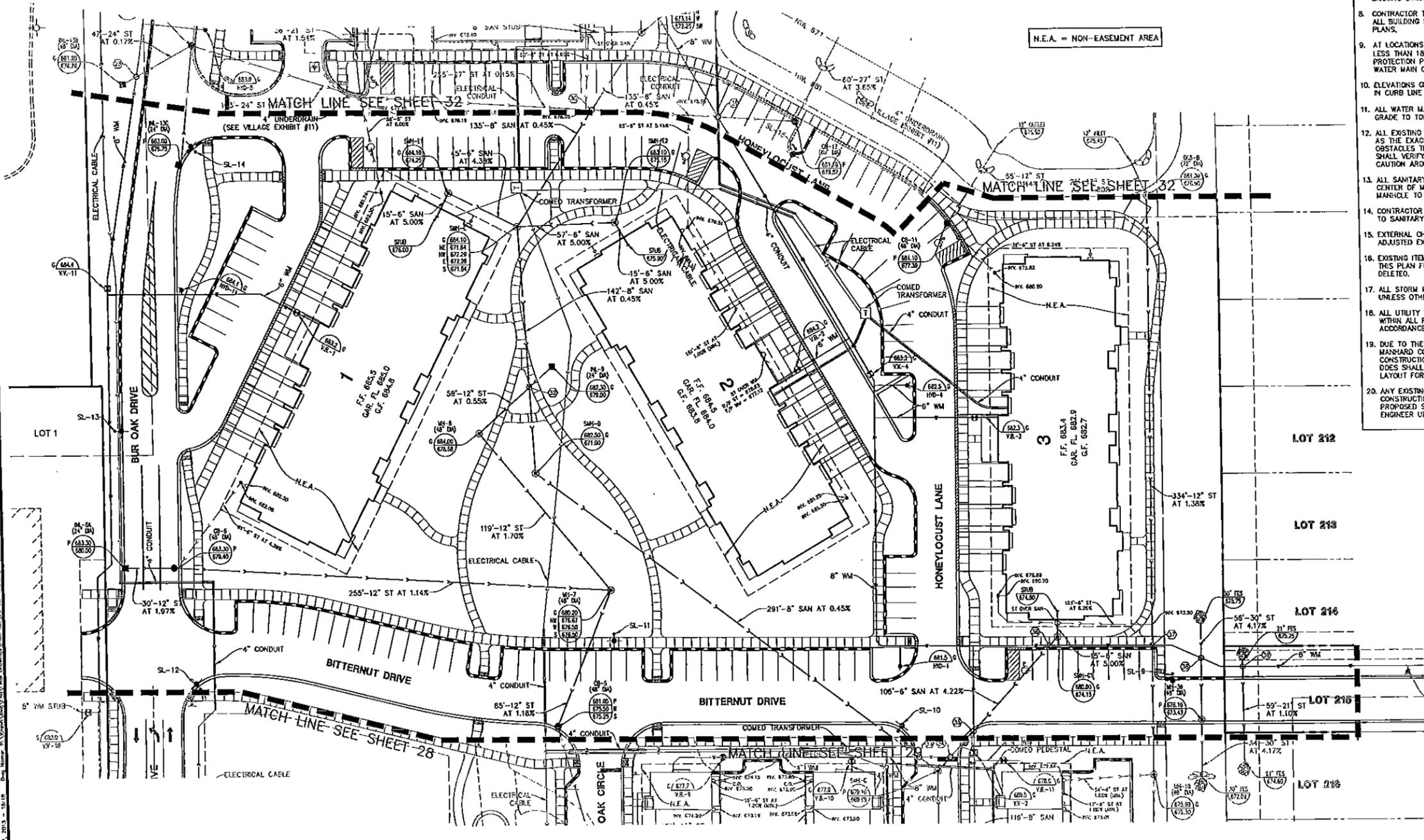
PENDING APPROVAL-NOT FOR CONSTRUCTION

UTILITY CROSSINGS	
ST OVER SAN	ST OVER WM
B/P ST = 678.72	B/P ST = 674.7
T/P SAN = 672.04	T/P WM = 673.2
WM OVER SAN	ST OVER WM
B/P WM = 673.04	B/P ST = 674.0
T/P SAN = 671.54	T/P WM = 673.5
WM OVER WM	
B/P WM = 673.62	
T/P WM = 672.34	

* WATER AND SEWER CROSSINGS SHALL MEET STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS. (SEE DETAIL SHEET)



- UTILITY NOTES:**
- ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT J.U.L.L.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER OR WATER MAIN LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND CROSSINGS PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 - CONTRACTOR SHALL ADJUST RM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
 - CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 - AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
 - ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
 - ALL WATER MAIN SHALL BE A MIN OF 5'-6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS NOTED OTHERWISE.
 - ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
 - ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
 - CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO SANITARY MANHOLES.
 - EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJUSTED EXISTING SANITARY MANHOLES.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - ALL STORM MANHOLES IN PAVEMENT SHALL BE OPEN LID UNLESS OTHERWISE NOTED.
 - ALL UTILITY TRENCHES, INCLUDING SITE LIGHTING LOCATED WITHIN ALL PAVEMENT AREAS SHALL BE BACKFILLED IN ACCORDANCE WITH VILLAGE EXHIBITS 1 AND 2.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ANY EXISTING DRAINTILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REROUTED AND CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. CONTRACTOR TO NOTIFY ENGINEER UPON DISCOVERY OF EXISTING DRAINTILES.

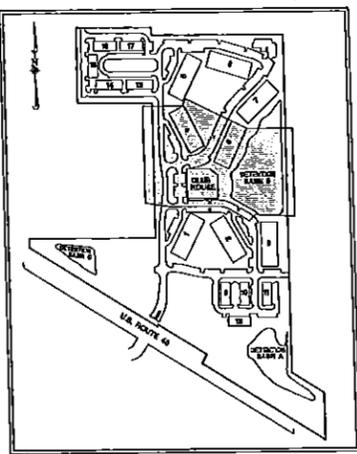
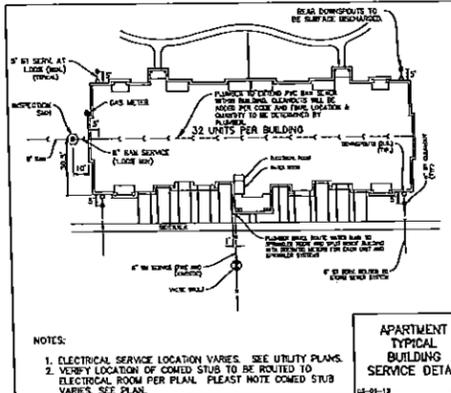
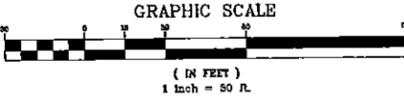
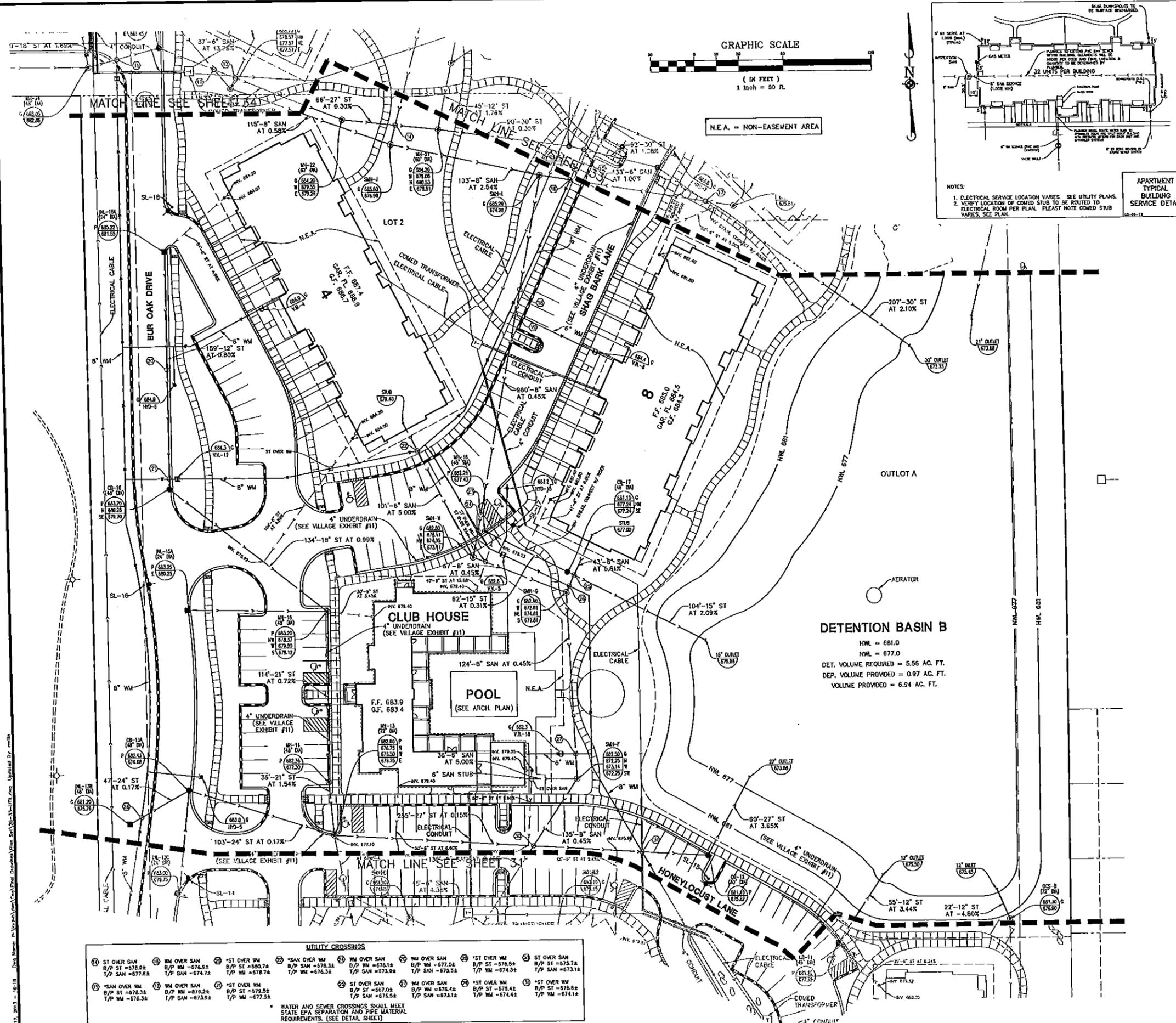


Manhard CONSULTING
 Environmental • Geotechnical • Surveying • Planning
 600 Westchester Parkway, Vernon Hills, IL 60061
 848 Westchester Parkway, Vernon Hills, IL 60061
 500 Westchester Parkway, Vernon Hills, IL 60061
 500 Westchester Parkway, Vernon Hills, IL 60061

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 UTILITY PLAN - SOUTH CENTRAL

PROJ. NO. 03-11-13
 DATE: 03-11-13
 SCALE: 1"=30'
 SHEET
31 OF **50**
 KNZVH 110660

PENDING APPROVAL - NOT FOR CONSTRUCTION



- UTILITY NOTES:**
- ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE, CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT JULLIE (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER OR WATER MAIN LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND CROSSINGS PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 - THE CONTRACTOR SHALL ADJUST FIN ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
 - CONTRACTOR TO VERIFY LOCATION, SIZE, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 - AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
 - ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
 - ALL WATER MAIN SHALL BE A MIN OF 5'-6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS NOTED OTHERWISE.
 - ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
 - ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
 - CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO SANITARY MANHOLES.
 - EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJUSTED EXISTING SANITARY MANHOLES.
 - EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - ALL STORM MANHOLES IN PAVEMENT SHALL BE OPEN UP UNLESS OTHERWISE NOTED.
 - ALL UTILITY TRENCHES, INCLUDING SITE LIGHTING LOCATED WITHIN ALL PAVEMENT AREAS SHALL BE BACKFILLED IN ACCORDANCE WITH VILLAGE EXHIBITS 1 AND 2.
 - DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 - ANY EXISTING DRAINILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REROUTED AND CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. CONTRACTOR TO NOTIFY ENGINEER UPON DISCOVERY OF EXISTING DRAINILES.

UTILITY CROSSINGS

ST OVER SAN B/P ST = 678.52 T/P SAN = 677.52	WM OVER SAN B/P WM = 676.52 T/P SAN = 674.52	ST OVER WM B/P ST = 680.72 T/P WM = 678.72	SAN OVER SAN B/P SAN = 678.52 T/P SAN = 674.52	WM OVER SAN B/P WM = 678.52 T/P SAN = 674.52	ST OVER WM B/P ST = 676.52 T/P WM = 674.52	ST OVER SAN B/P ST = 673.72 T/P SAN = 673.12
SAN OVER WM B/P SAN = 676.52 T/P WM = 673.52	WM OVER SAN B/P WM = 678.52 T/P SAN = 674.52	ST OVER WM B/P ST = 679.52 T/P WM = 677.52	WM OVER SAN B/P WM = 678.52 T/P SAN = 674.52	ST OVER WM B/P ST = 676.52 T/P WM = 674.52	ST OVER SAN B/P ST = 673.72 T/P SAN = 673.12	ST OVER WM B/P ST = 675.52 T/P WM = 671.52

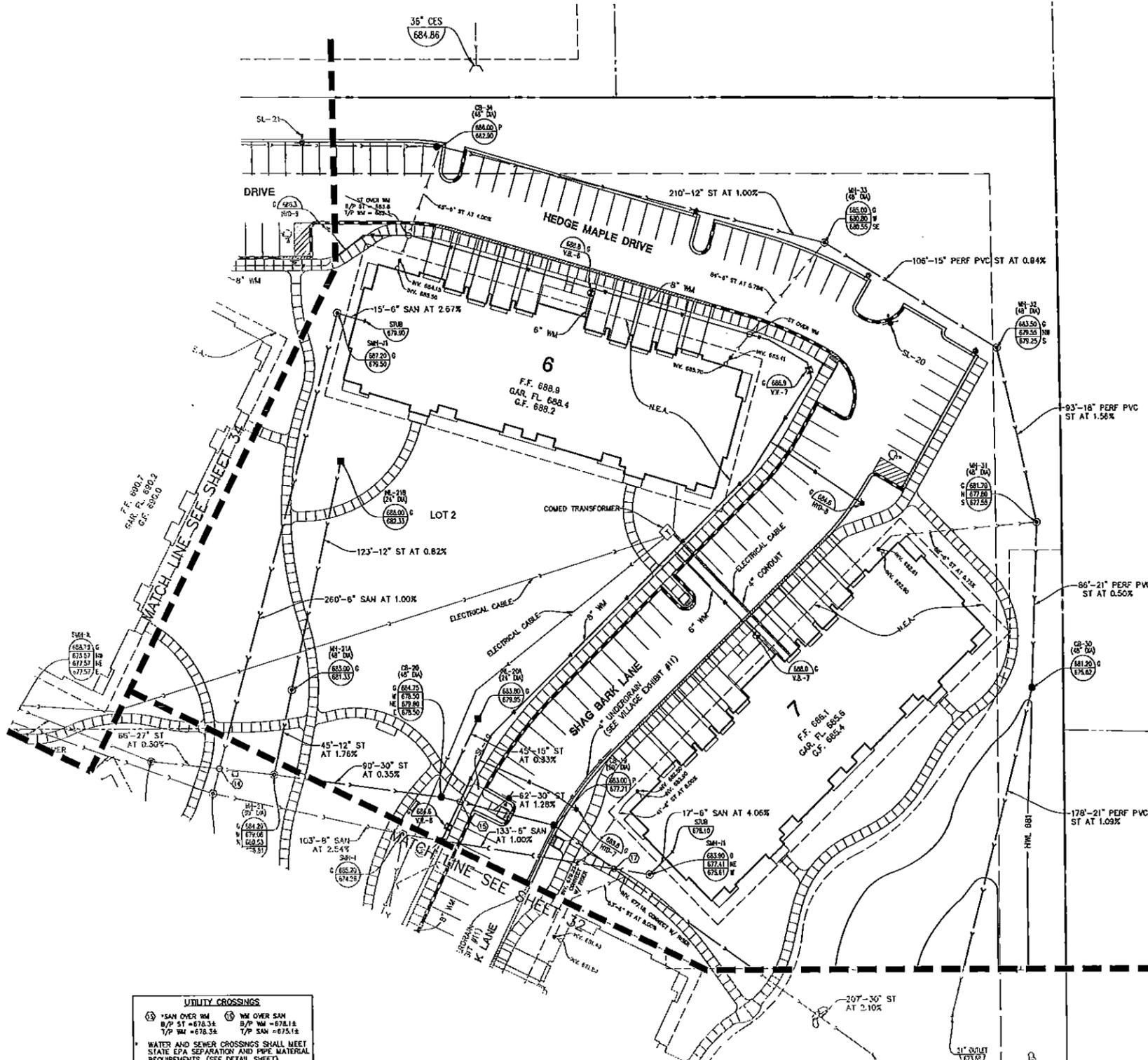
* WATER AND SEWER CROSSINGS SHALL MEET STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS. (SEE DETAIL SHEET)

Manhard CONSULTING LTD.
 501 Westmoreland • Vernon Hills, IL 60061
 847-854-0088
 847-854-0089
 847-854-0090
 847-854-0091
 847-854-0092
 847-854-0093
 847-854-0094
 847-854-0095
 847-854-0096
 847-854-0097
 847-854-0098
 847-854-0099
 847-854-0100
 847-854-0101
 847-854-0102
 847-854-0103
 847-854-0104
 847-854-0105
 847-854-0106
 847-854-0107
 847-854-0108
 847-854-0109
 847-854-0110
 847-854-0111
 847-854-0112
 847-854-0113
 847-854-0114
 847-854-0115
 847-854-0116
 847-854-0117
 847-854-0118
 847-854-0119
 847-854-0120
 847-854-0121
 847-854-0122
 847-854-0123
 847-854-0124
 847-854-0125
 847-854-0126
 847-854-0127
 847-854-0128
 847-854-0129
 847-854-0130
 847-854-0131
 847-854-0132
 847-854-0133
 847-854-0134
 847-854-0135
 847-854-0136
 847-854-0137
 847-854-0138
 847-854-0139
 847-854-0140
 847-854-0141
 847-854-0142
 847-854-0143
 847-854-0144
 847-854-0145
 847-854-0146
 847-854-0147
 847-854-0148
 847-854-0149
 847-854-0150
 847-854-0151
 847-854-0152
 847-854-0153
 847-854-0154
 847-854-0155
 847-854-0156
 847-854-0157
 847-854-0158
 847-854-0159
 847-854-0160
 847-854-0161
 847-854-0162
 847-854-0163
 847-854-0164
 847-854-0165
 847-854-0166
 847-854-0167
 847-854-0168
 847-854-0169
 847-854-0170
 847-854-0171
 847-854-0172
 847-854-0173
 847-854-0174
 847-854-0175
 847-854-0176
 847-854-0177
 847-854-0178
 847-854-0179
 847-854-0180
 847-854-0181
 847-854-0182
 847-854-0183
 847-854-0184
 847-854-0185
 847-854-0186
 847-854-0187
 847-854-0188
 847-854-0189
 847-854-0190
 847-854-0191
 847-854-0192
 847-854-0193
 847-854-0194
 847-854-0195
 847-854-0196
 847-854-0197
 847-854-0198
 847-854-0199
 847-854-0200

THE OAKS OF VERNON HILLS, ILLINOIS
 VILLAGE OF VERNON HILLS, ILLINOIS
 UTILITY PLAN - NORTH CENTRAL

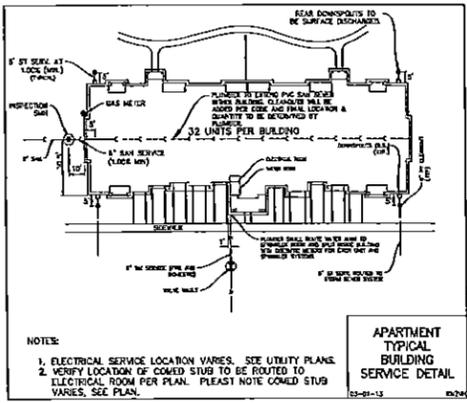
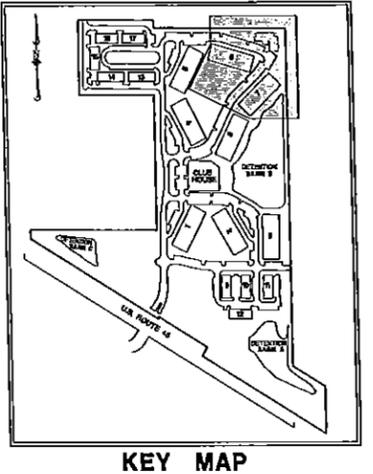
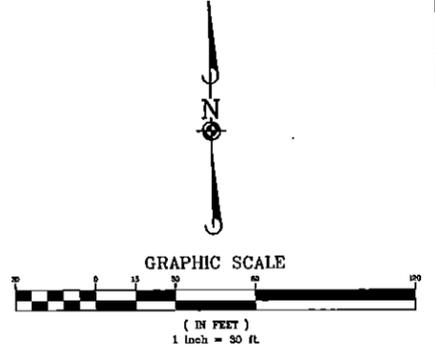
PENDING APPROVAL-NOT FOR CONSTRUCTION

N.E.A. = NON-EASEMENT AREA



UTILITY CROSSINGS
 (S) SAN OVER WM (W) WM OVER SAN
 B/P ST = 678.34 B/P WM = 678.14
 T/P WM = 678.34 T/P SAN = 675.14
 * WATER AND SEWER CROSSINGS SHALL MEET STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS. (SEE DETAIL SHEET)

- UTILITY NOTES:**
1. ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL CONTACT J.U.L.L.E. (1-800-692-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 4. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 5. CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER OR WATER MAIN LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND CROSSINGS PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 6. LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 7. THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
 8. CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 9. AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
 10. ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
 11. ALL WATER MAIN SHALL BE A MIN OF 5'-6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS NOTED OTHERWISE.
 12. ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
 13. ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
 14. CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO SANITARY MANHOLES.
 15. EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJUSTED EXISTING SANITARY MANHOLES.
 16. EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 17. ALL STORM MANHOLES IN PAVEMENT SHALL BE OPEN LID UNLESS OTHERWISE NOTED.
 18. ALL UTILITY TRENCHES, INCLUDING SITE LIGHTING LOCATED WITHIN ALL PAVEMENT AREAS SHALL BE BACKFILLED IN ACCORDANCE WITH VILLAGE EXHIBITS 1 AND 2.
 19. DUE TO THE COMPLEX HORIZONTAL LAYOUT OF THIS SITE, IF MANHARD CONSULTING DOES NOT PERFORM THE CONSTRUCTION LAYOUT, THE SURVEYOR OR ENGINEER WHO DOES SHALL CONTACT MANHARD, PRIOR TO COMMENCING THE LAYOUT FOR ASSISTANCE WITH HORIZONTAL CONTROL.
 20. ANY EXISTING DRAINILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REROUTED AND CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. CONTRACTOR TO NOTIFY ENGINEER UPON DISCOVERY OF EXISTING DRAINILES.



APARTMENT TYPICAL BUILDING SERVICE DETAIL

NOTES:
 1. ELECTRICAL SERVICE LOCATION VARIES. SEE UTILITY PLAN.
 2. VERIFY LOCATION OF COMED STUB TO BE ROUTED TO ELECTRICAL ROOM PER PLAN. PLEASE NOTE COMED STUB VARIES. SEE PLAN.

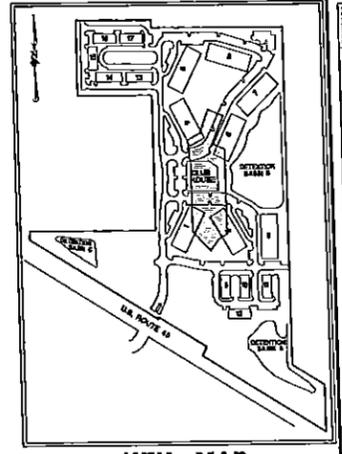
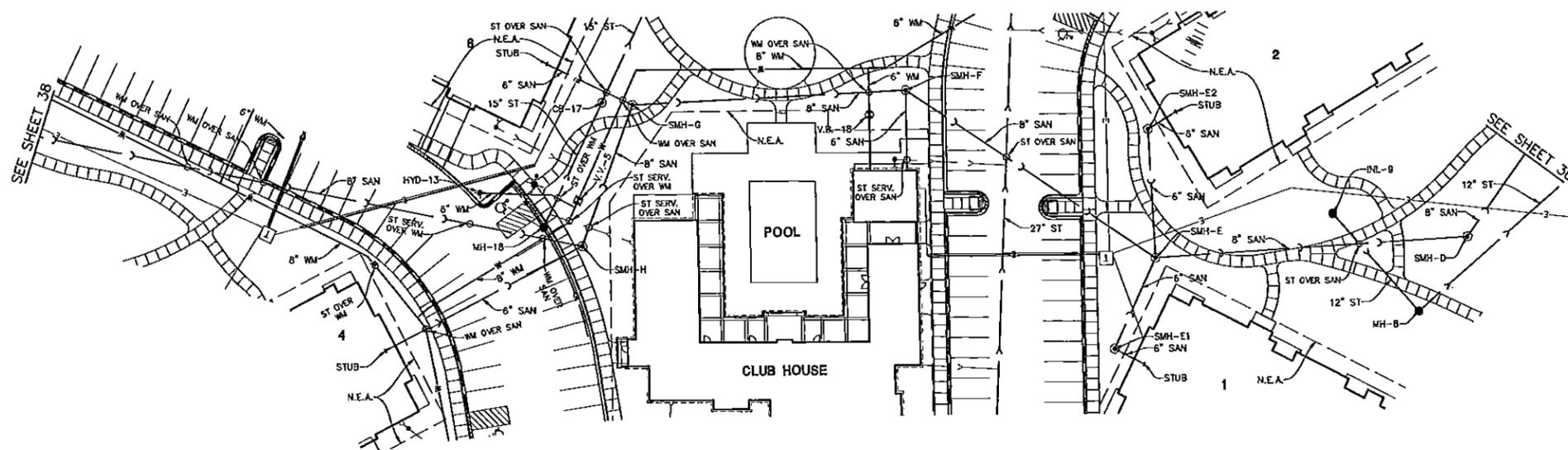
DATE	DESCRIPTION	BY	CHECKED

Manhard CONSULTING LTD.
 200 Westmore Parkway, Vernon Hills, IL 60061
 815-339-8800
 Fax: 815-339-8801
 www.manhardconsulting.com
 Civil Engineers • Surveyors • Environmental Engineers • Landscaping Architects • Planners
 Construction Management • Construction Administration • Construction Estimating

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 UTILITY PLAN - NORTHEAST

DATE: 03-11-13
 SCALE: 1"=30'
 SHEET
33 OF 50
 KNZVH 110560

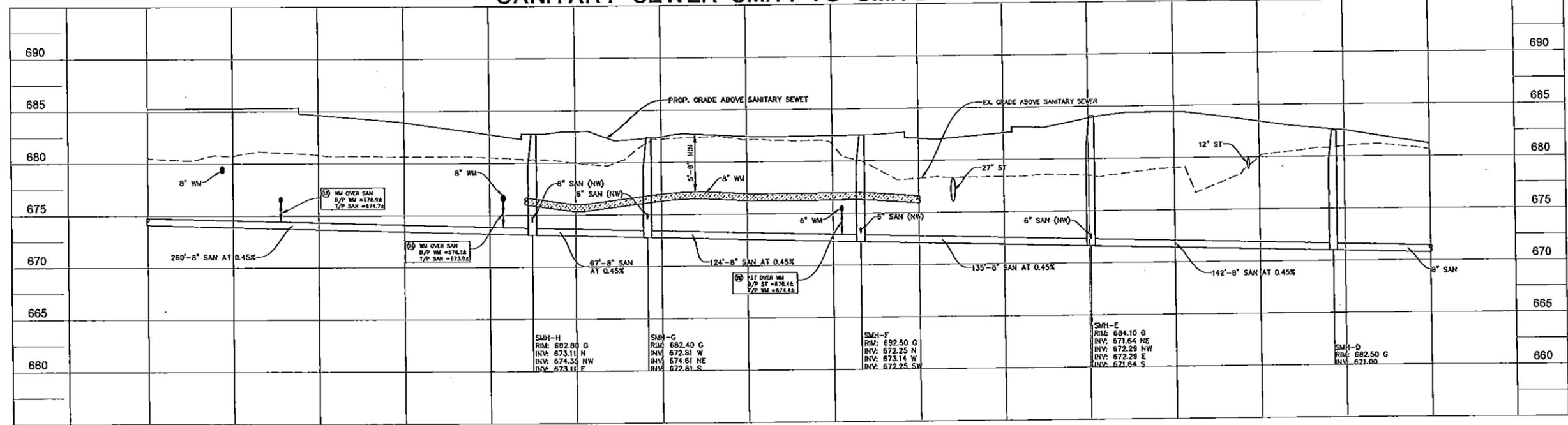
PENDING APPROVAL-NOT FOR CONSTRUCTION



KEY MAP

N.E.A. = NON-EASEMENT AREA

SANITARY SEWER SMH-I TO SMH-D



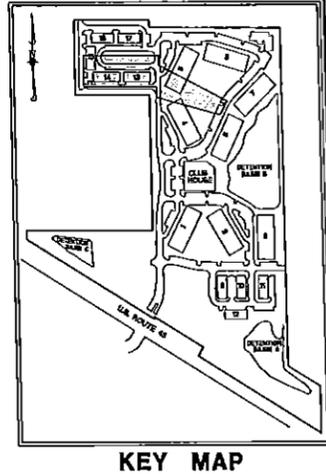
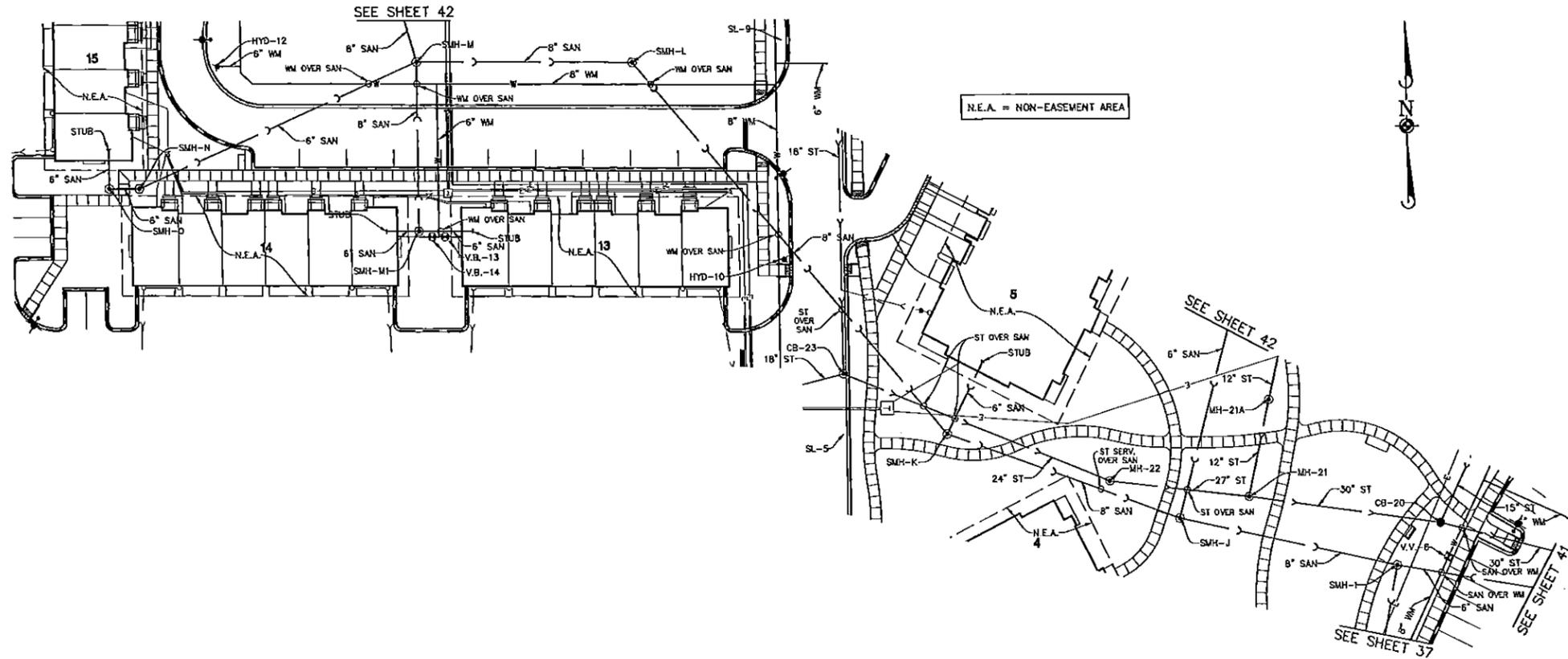
NO.	DATE	REVISION
1	03-11-13	REVISED PER VILLAGE & LOCAL REVIEW

Manhard CONSULTING
 Environmental Engineers & Planners
 1000 West Lake Street, Vernon Hills, IL 60061
 Phone: 847.540.1000
 Fax: 847.540.1001
 Email: info@manhard.com

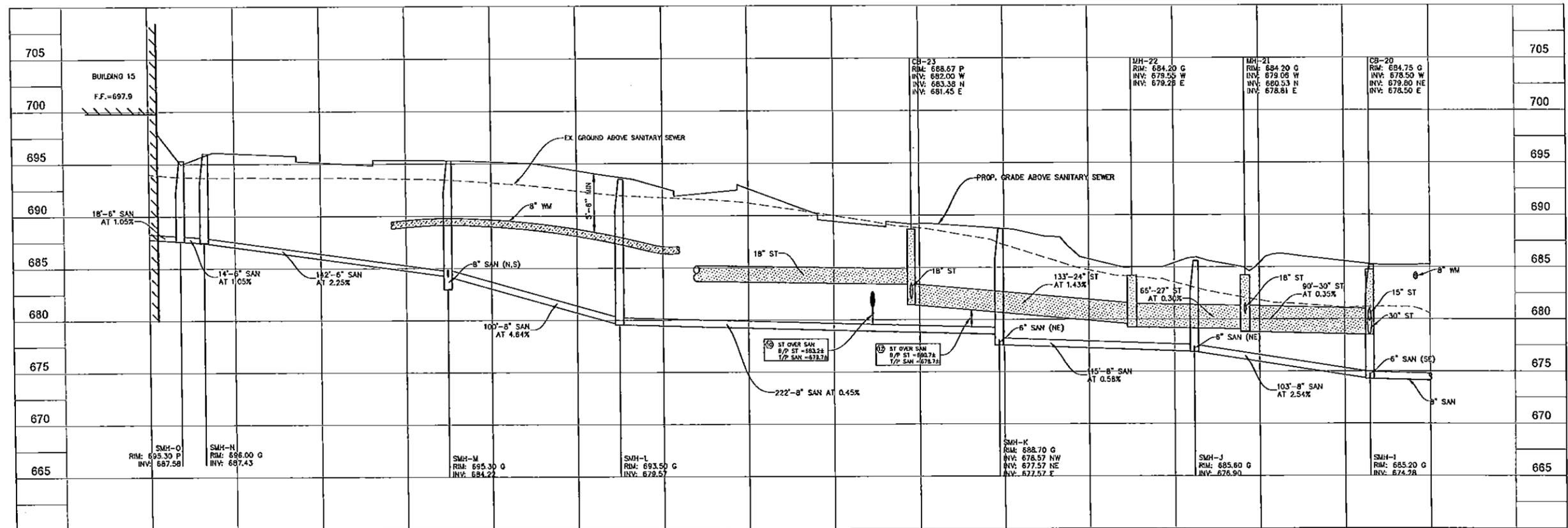
THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 PLAN & PROFILE - SMH-H TO SMH-D

PROJ. NO. 110660
 PROJ. ASSOC. CH
 DRAWN BY: REH
 DATE: 03-11-13
 SCALE: HORIZONTAL = 1"=40'; VERTICAL = 1"=5'
 SHEET
37 OF **50**
 KNZYH 110660

PENDING APPROVAL NOT FOR CONSTRUCTION



SANITARY SEWER SMH-O TO SMH-I

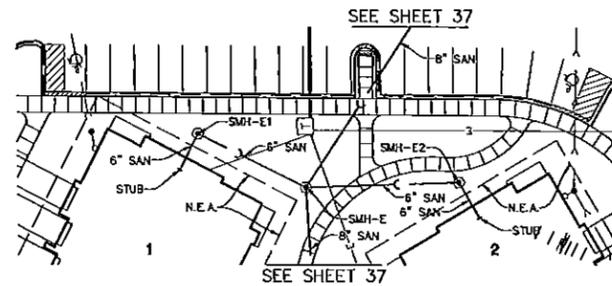


Manhard CONSULTING LTD.
 400 Woodlands Parkway, Vernon Hills, IL 60069
 P: 847.340.1000 F: 847.340.1001
 www.manhardconsulting.com
 Civil Engineers • Surveyors • Planners • Environmental Engineers • Planners
 Construction Management • Environmental Stipulations

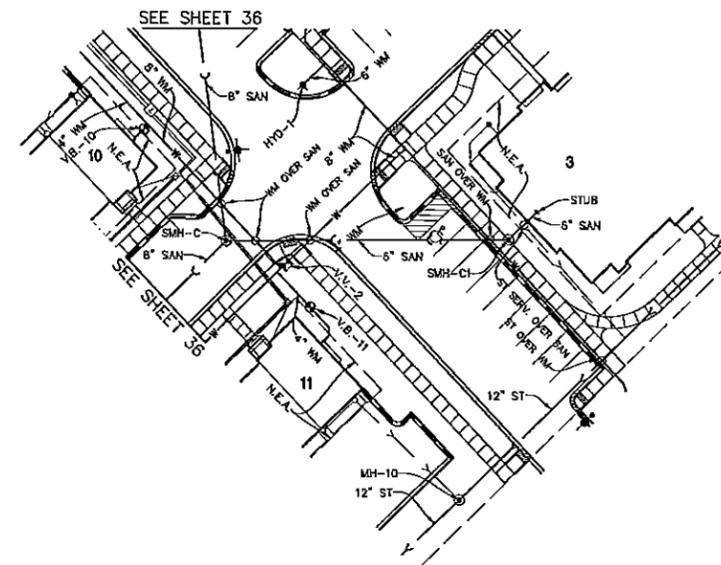
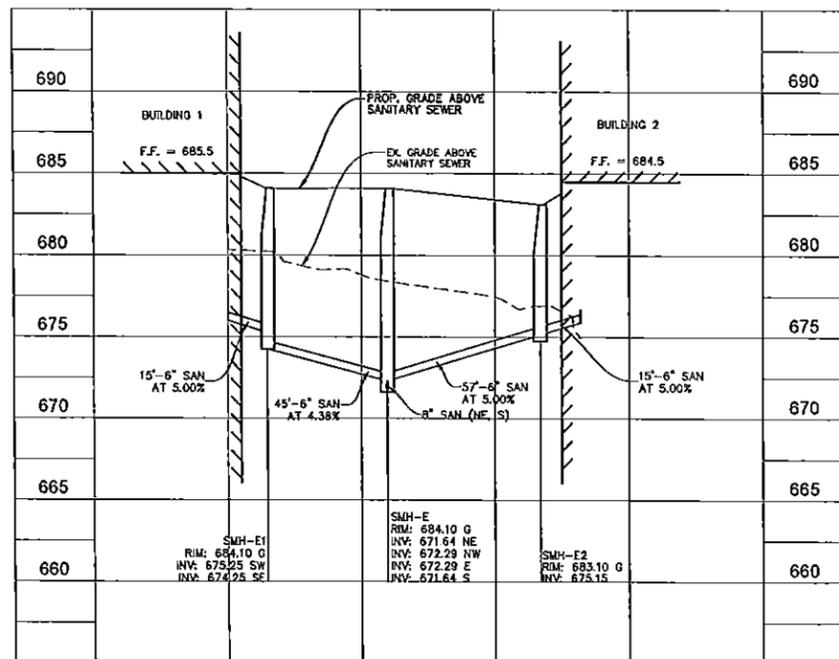
THE OAKS OF VERNON HILLS, ILLINOIS
 VILLAGE OF VERNON HILLS, ILLINOIS
 PLAN & PROFILE - SMH-O TO SMH-I

PROJ. MGR: JEF
 PROJ. ASST: CM
 DRAWN BY: RHI
 DATE: 03-11-13
 SCALE: H=1"=30', V=1"=4'
 SHEET
38 OF **50**
 KNZVH 110860

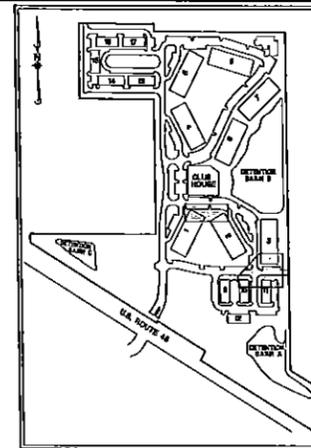
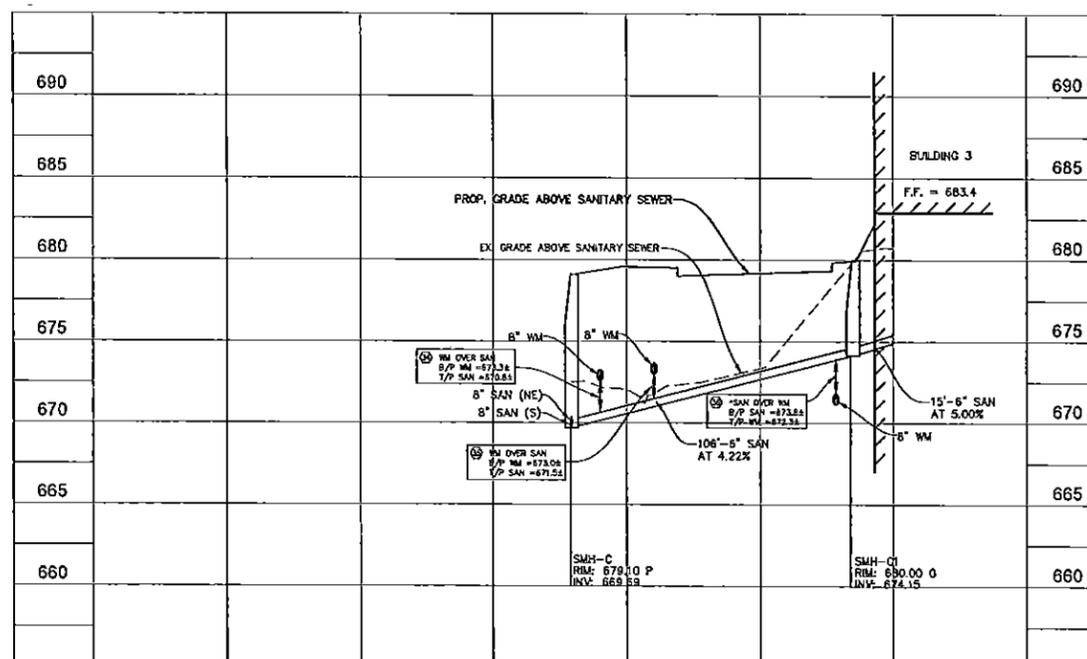
PENDING APPROVAL-NOT FOR CONSTRUCTION



SANITARY SEWER SERVICES
BUILDING 1 TO BUILDING 2



SANITARY SEWER SERVICE
BUILDING 3 TO SMH-C



KEY MAP

N.E.A. = NON-EASEMENT AREA

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

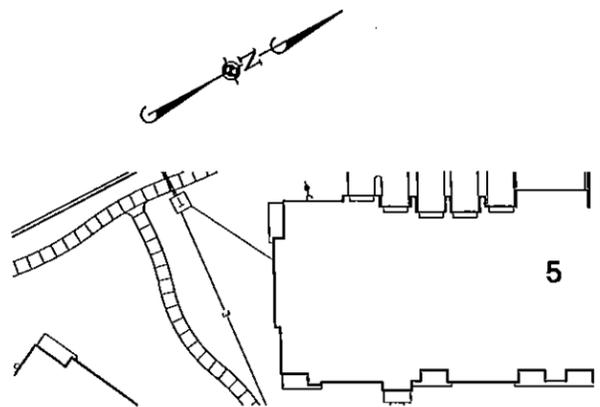
Manhard CONSULTING LTD.
 200 Westside Parkway, Vernon Hills, Illinois 60061
 Tel: 847.541.1100 Fax: 847.541.1101
 www.manhardconsulting.com
 Professional Engineers • Environmental Engineers
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 PLAN & PROFILE - SANITARY SERVICES TO BUILDINGS 1, 2, & 3

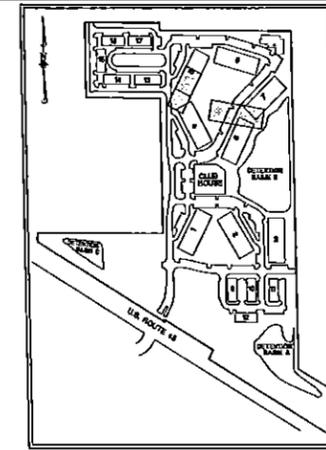
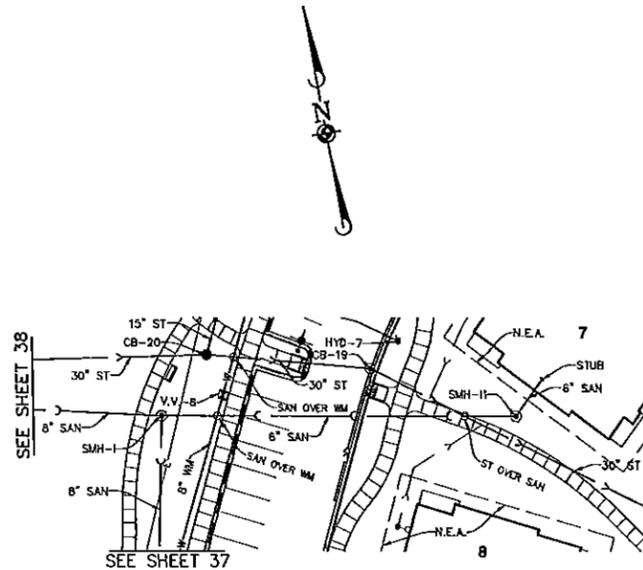
PROJ. NO.: 107
 PROJ. ASSOC.: CM
 DRAWN BY: RCH
 DATE: 03-11-13
 SCALE: 1/4" = 1'-0"
 SHEET
40 OF 50
 KNZVH 110660

PENDING APPROVAL - NOT FOR CONSTRUCTION

Rev. 7, 2013 - 11:35 - Proj. Name: P:\Manhard\107\107_Village of Vernon Hills\107_Village of Vernon Hills.dwg (User: jch) Dr. cmh

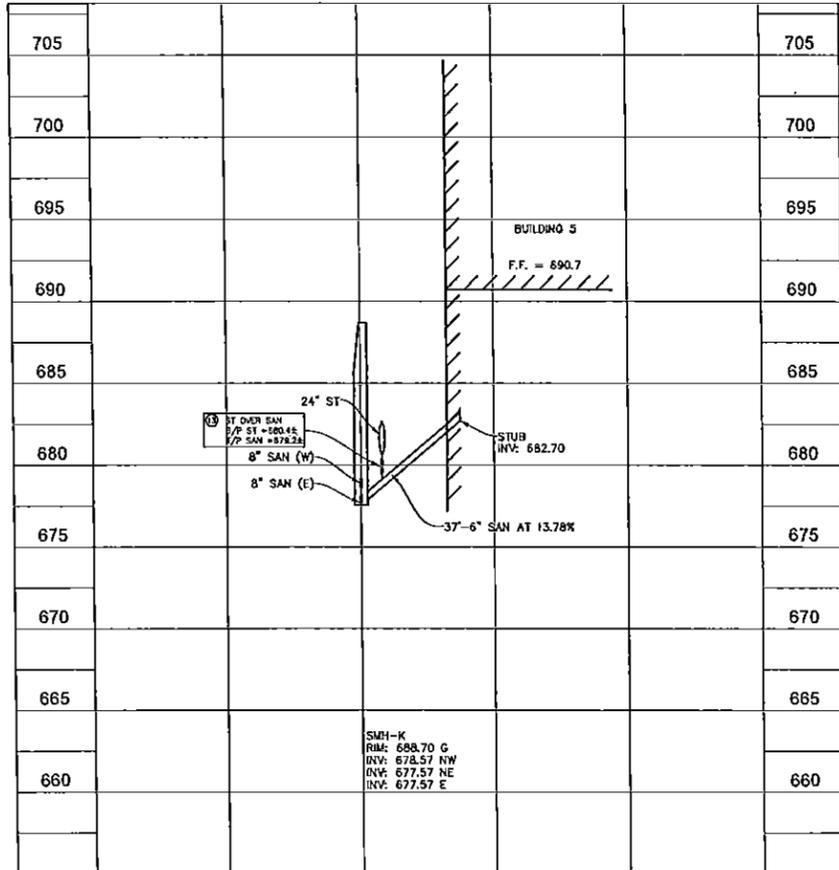


N.E.A. = NON-EASEMENT AREA

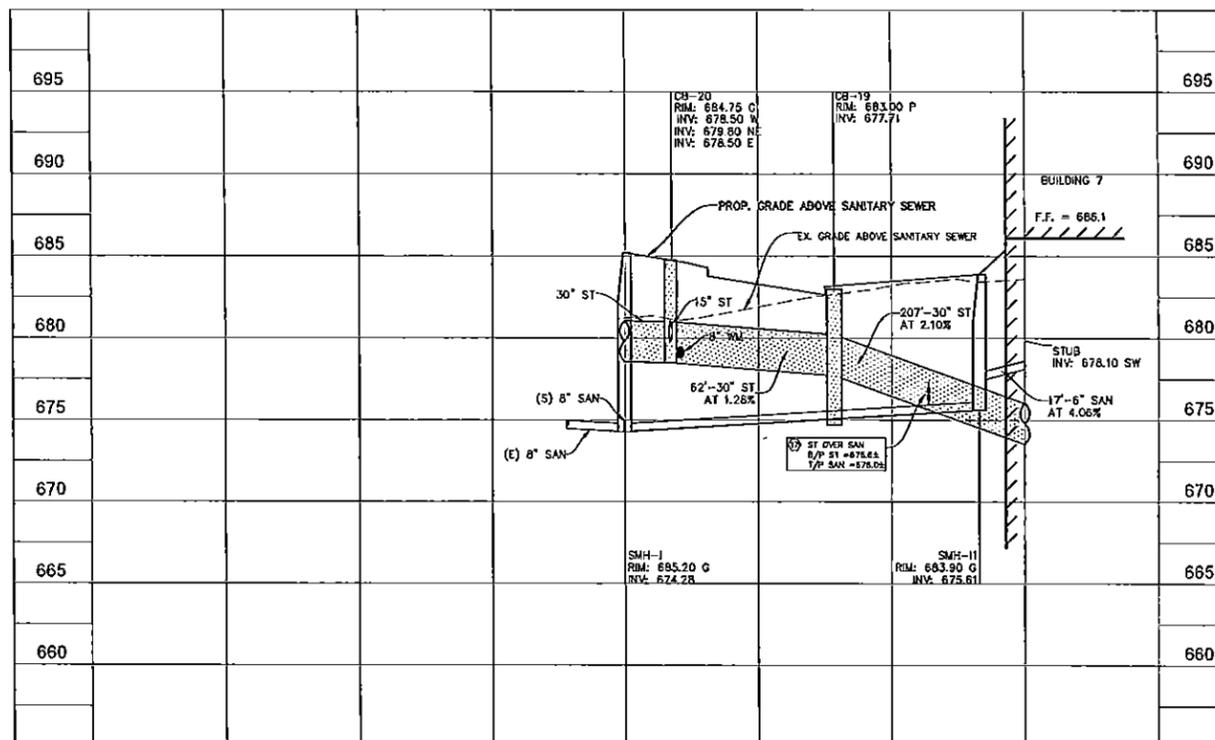


KEY MAP

SANITARY SEWER BUILDING-5 TO SMH-K



SANITARY SEWER BUILDING-7 TO SMH-I



NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		

Manhard CONSULTING LTD
 1000 W. 11th St., Suite 1000, Chicago, IL 60607
 Tel: 773.442.2800 Fax: 773.442.2801
 www.manhard.com
 Professional Engineers • Environmental Engineers • Water & Wastewater Engineers
 Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 PLAN & PROFILE - BUILDING 7 TO SMH-I, BUILDING 5 TO SMH-K

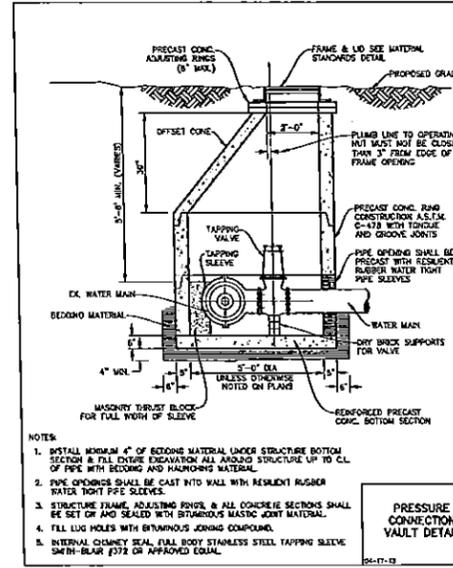
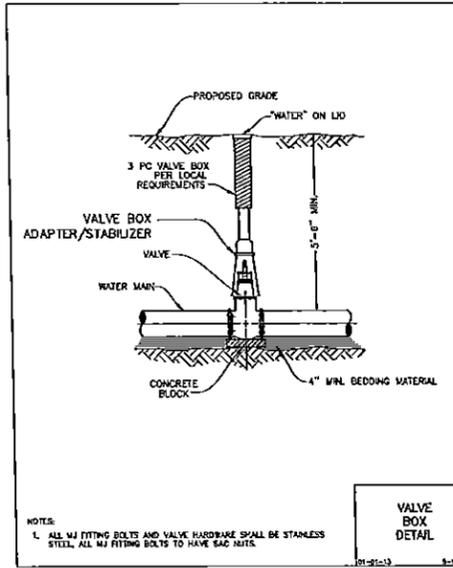
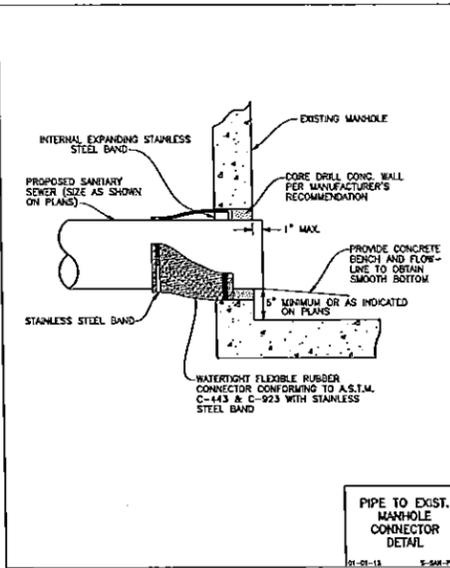
PROJECT NO. 03-11-13
 DATE 03-11-13
 SCALE 1"=30' & 1"=5'

PROJ. MGR. JDF
 PROJ. ARCH. CM
 DRAWN BY BEH
 DATE 03-11-13
 SCALE 1"=30' & 1"=5'

SHEET
41 OF **50**
 KNZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION

May 6, 2015 - 10:20 Draw Name: G:\Manhard\Drawings\Plan_Sewer\110660.dwg Plot Date: 05/06/2015 10:20:00



STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.

41-2.01 PROTECTION OF WATER MAIN AND WATER SERVICE LINES

41-2.01A GENERAL

Water mains and water service lines shall be protected from sanitary sewers, storm sewers, combined sewers, house sewer service connections and drains as follows:

41-2.01B HORIZONTAL SEPARATION - WATER MAINS AND SEWERS

- Water mains shall be located of least ten (10) feet (3.1 m) horizontally from any existing or proposed drain, storm sewer, sanitary sewer, combined sewer or sewer service connection.
- Water mains may be located closer than ten (10) feet (3.1 m) to a sewer line when:
 - local conditions prevent a lateral separation of ten (10) feet (3.1 m); and
 - the water main invert is at least eighteen (18) inches (460 mm) above the crown of the sewer; and
 - the water main is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer.
- When it is impossible to meet (1) or (2) above, both the water main and drain or sewer shall be constructed of slip-on or mechanical joint cast or ductile iron pipe, prestressed concrete pipe, or PVC pipe equivalent to water main standards of construction. The drain or sewer shall be pressure tested to the maximum expected surcharge head before backfilling. See Standard Drawing No. 18.

WATER AND SEWER SEPARATION REQUIREMENTS (HORIZONTAL SEPARATION)

01-01-13 5-98-2045

STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.

41-2.01C VERTICAL SEPARATION - WATER MAINS AND SEWERS

- A water main shall be separated from a sewer so that its invert is a minimum of eighteen (18) inches (460mm) above the crown of the drain or sewer whenever water mains cross storm sewers, sanitary sewers or sewer service connections. The vertical separation shall be maintained for that portion of the water main located within ten (10) feet (3.1m) horizontally of any sewer or drain crossing. A length of water main pipe shall be centered over the sewer to be crossed with joints equidistant from the sewer or drain.
- Both the water main and sewer shall be constructed of slip-on or mechanical joint cast or ductile iron pipe, prestressed concrete pipe, or PVC pipe equivalent to water main standards of construction when:
 - it is impossible to obtain the proper vertical separation as described in (1) above; or
 - the water main passes under a sewer or drain.

NOTES:

- CASING OF EITHER THE WATER MAIN OR SEWER PIPE IS ACCEPTABLE IN LIEU OF PLACING THE SEWER IN WATER MAIN EQUIVALENT PIPE.
- THE STORM SEWER CAN BE CONSTRUCTED WITH REINFORCED CONCRETE PIPE USING FLEXIBLE GASKET JOINTS, (ASTM C351 C443) INSTEAD OF CONSTRUCTING THE STORM SEWER WITH WATER MAIN EQUIVALENT PIPE OR CASING PIPE.
- A vertical separation of eighteen (18) inches (460 mm) between the invert of the sewer or drain and the crown of the water main shall be maintained where a water main crosses under a sewer. Support the sewer or drain lines to prevent settling and breaking the main, as shown on the Plans or as approved by the ENGINEER.
- Construction shall extend on each side of the crossing until the perpendicular distance from the water main to the sewer or drain line is at least ten (10) feet (3.1 m) See Standard Drawings No. 19-23.

WATER AND SEWER SEPARATION REQUIREMENTS (VERTICAL SEPARATION)

01-01-13 5-98-2046

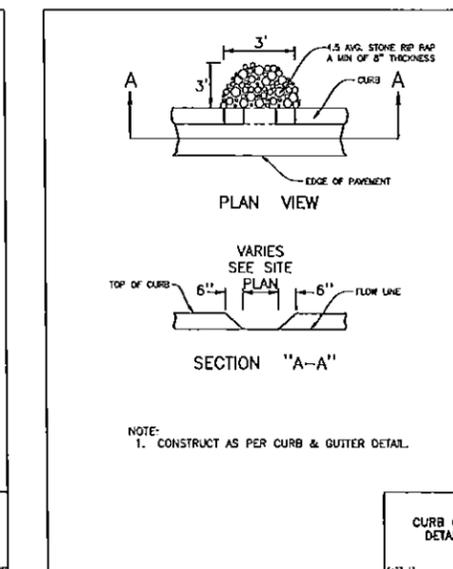
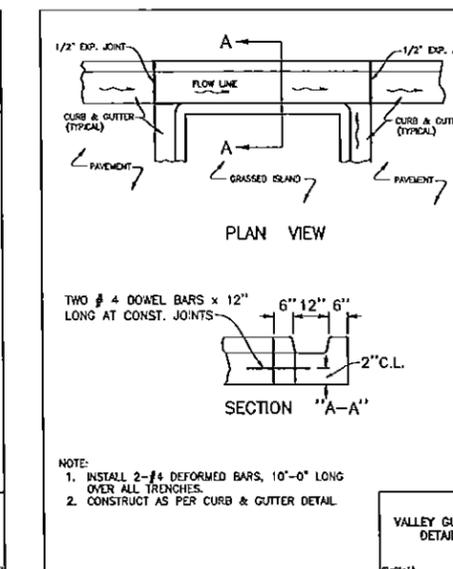
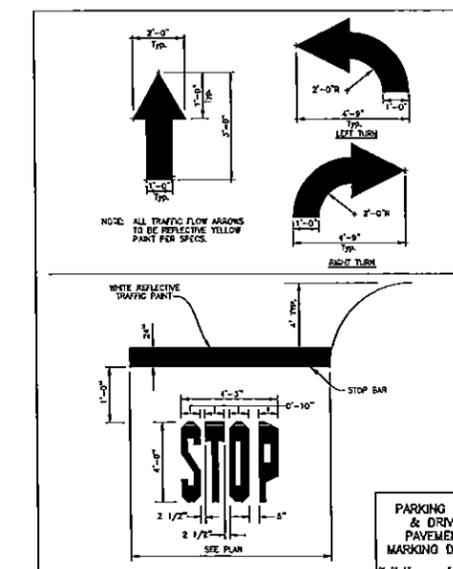
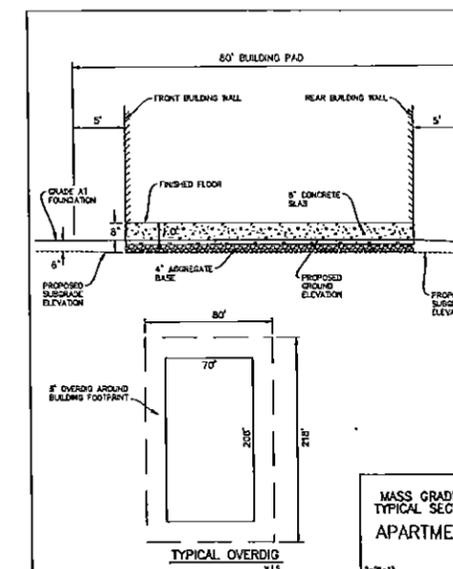
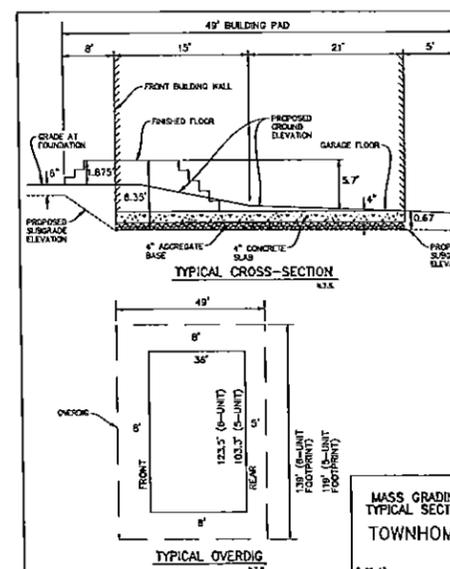
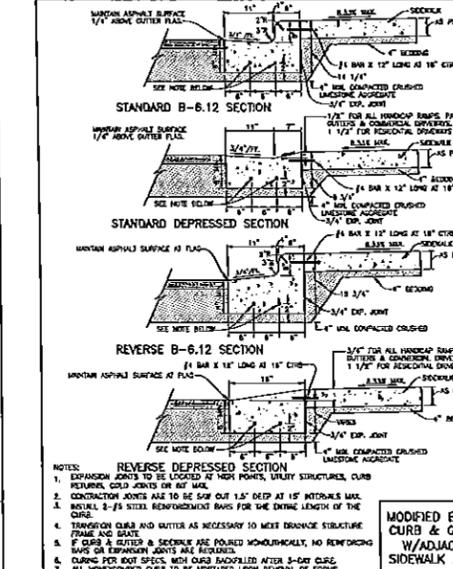
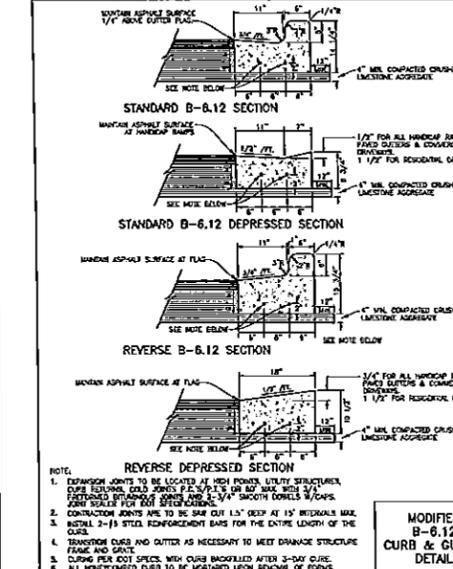
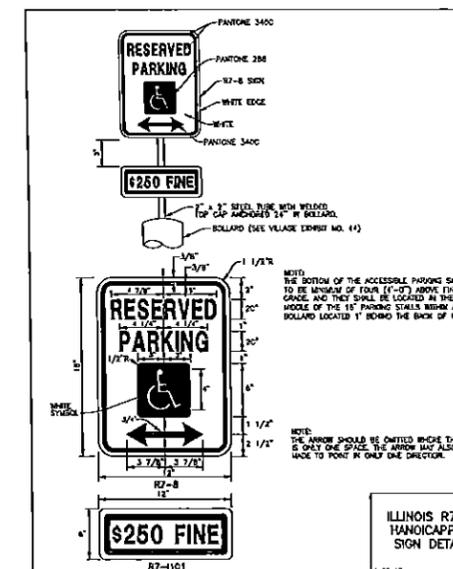
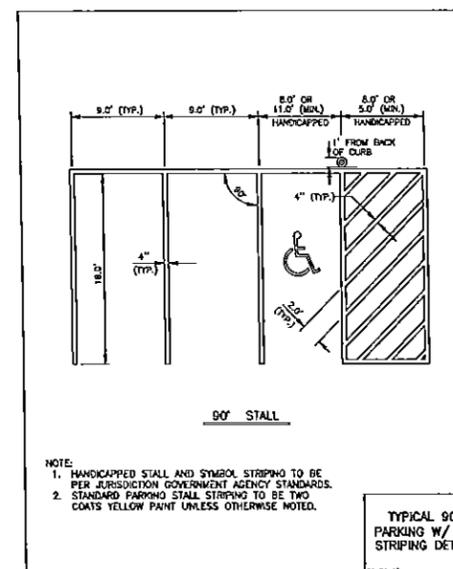
MATERIAL STANDARDS

ITEM	BRAND	PRODUCT
PIPE HYDRANTS (TRAFFIC MODEL)	MUELLER SUPER CENTURION WATEROUS FACER	A-423 WB-57
GATE VALVES (SPECIFY SIZE NON-NERF STEEL, 2" NUT, M.L., OPEN LEFT)	MUELLER (SIZE) AMERICAN FLOW CONTROL	A-2340-20L SERIES 2500
VALVE BOXES (SPECIFY SIZE)	EAST JORDAN TYLEX/JUNCTION	SCREW ADJUSTED EXTENSION TYPE
VALVE STOPS (SPECIFY SIZE)	MUELLER FORD	300 BALL VALVE BALL VALVE
COMBINATION VALVE (SPECIFY SIZE)	MUELLER FORD	H-15000 76600 (W/ANY/CC THREAD)
MANHOLES/CATCH-BASINS/INLETS (SELF-SEALING LID WITH PROPER UTILITY MARKINGS)	HEZNAH CLOSED LID WITH OPEN LID SWALES AND DITCHES	R-1732 R-2502 C R-4340 B
CURB FRAME & GRATES (BICYCLE SIZE)	HEZNAH ROLL MOUNTABLE CURB BS-12 CURB	R-3501-2DA R-3218A *-3218-A
WATER SERVICE SHOULDS (ALL SERVICE SHOULDS SHALL BE DOUBLE STRAP BRONZE, NYLON COATED OR STAINLESS STEEL)	MUELLER FORD SMITH-BLAIR 3/4" & 1"	DR25 PS 303 F 317
B-BOX (AT LEAST 1 1/4" TOP SECTION) ARCH PATTERN PLUS STYLE LID	FORD MUELLER	F42 CURB BOX

*1 WHEREVER STORMWATER COULD POSSIBLY ENTER STORM STRUCTURE

MATERIAL STANDARDS

01-01-13 5-98-2047



Manhard CONSULTING
 Environmental Engineers - Environmental Scientists - Environmental Planners
 1407 25th Street, Vernon Hills, IL 60061
 847-484-0800
 Fax: 847-484-0808
 www.manhard.com
 01-01-13 5-98-2057

THE OAKS OF VERNON HILLS, ILLINOIS
 VILLAGE OF VERNON HILLS, ILLINOIS
 CONSTRUCTION DETAILS

SHEET
43 OF **50**
 KHZVH 110650

PENDING APPROVAL-NOT FOR CONSTRUCTION

OWNER			
DESIGNER			
DATE			
SCALE			
PROJECT			
REVISION			
NO.	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

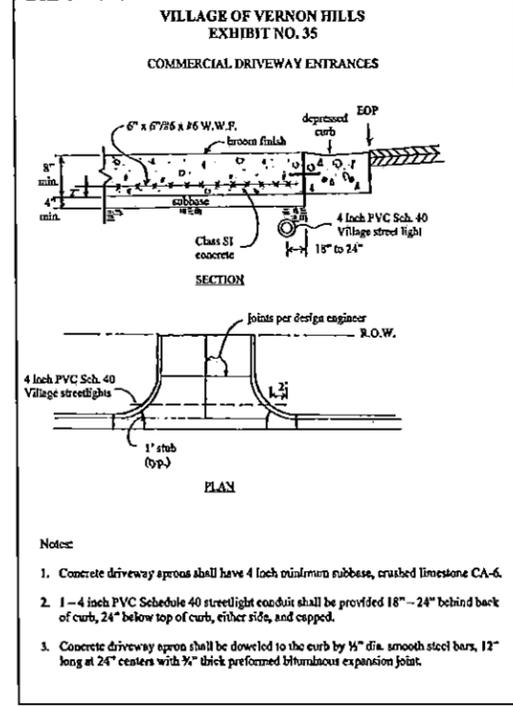
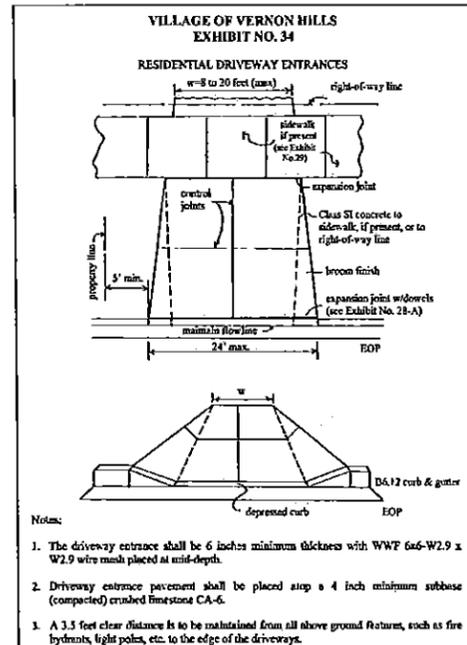
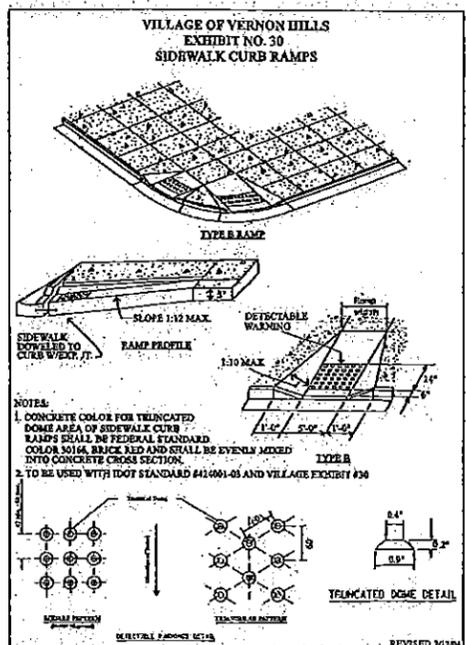
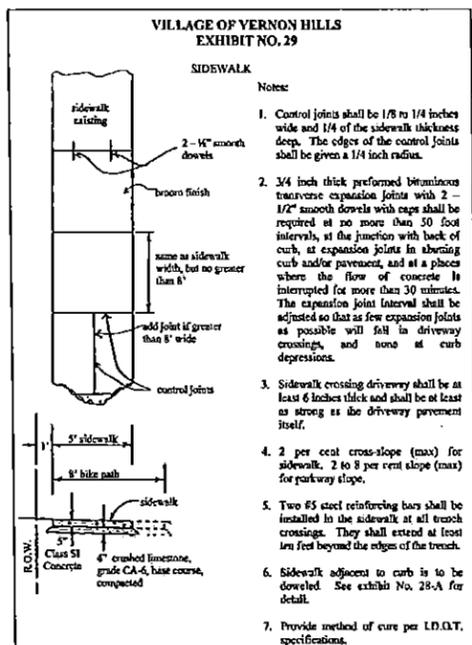
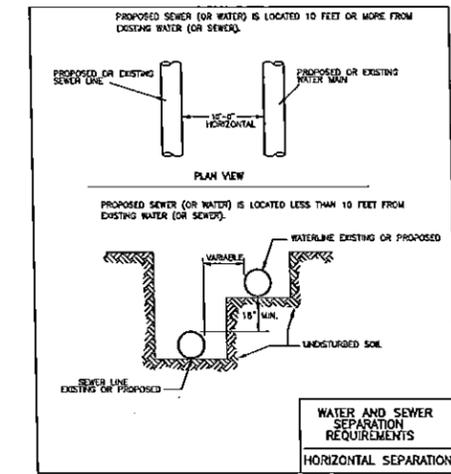
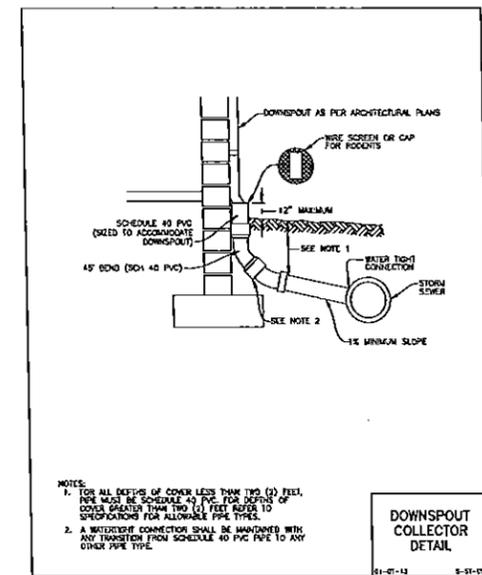
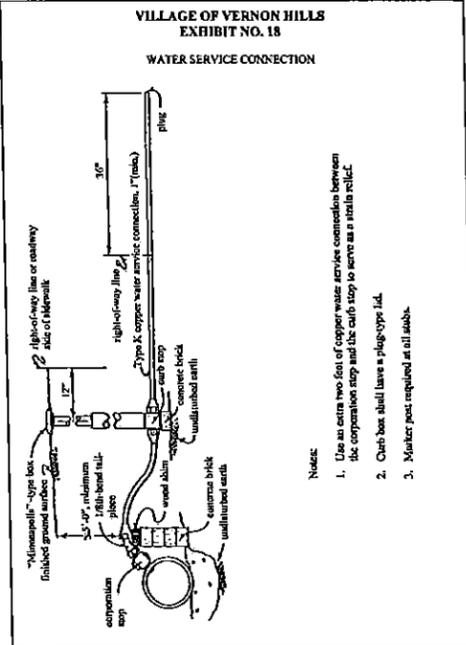
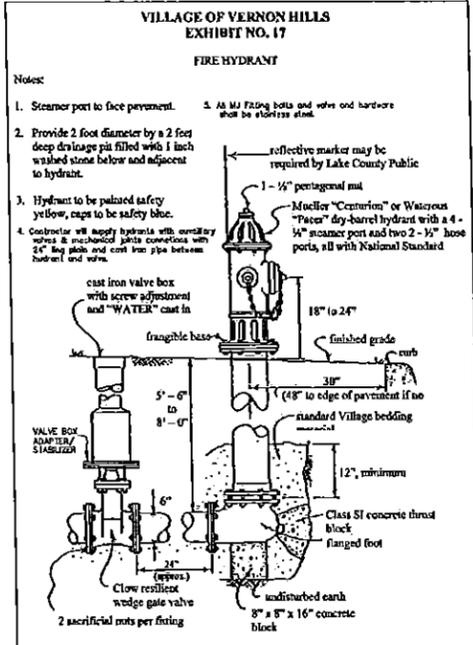
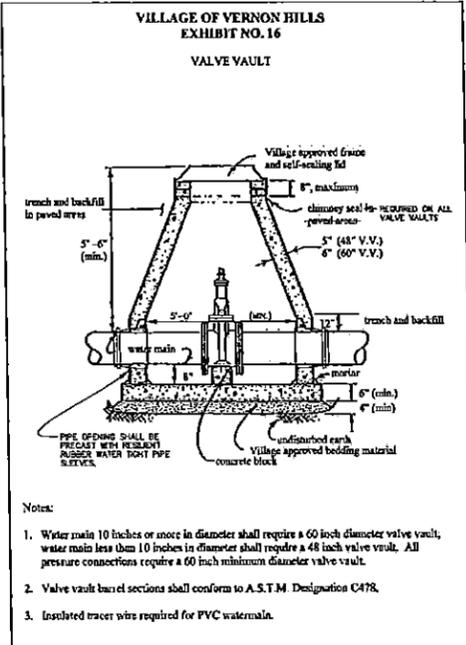
Manhard CONSULTING
 400 Westchester Parkway, Vernon Hills, IL 60061
 847-373-8888
 Civil Engineering • Surveying • Water & Wastewater Engineering
 Construction Management • Environmental Remediation • Landscape Architecture • Planning

THE OAKS OF VERNON HILLS, ILLINOIS
 VILLAGE OF VERNON HILLS, ILLINOIS
 CONSTRUCTION DETAILS

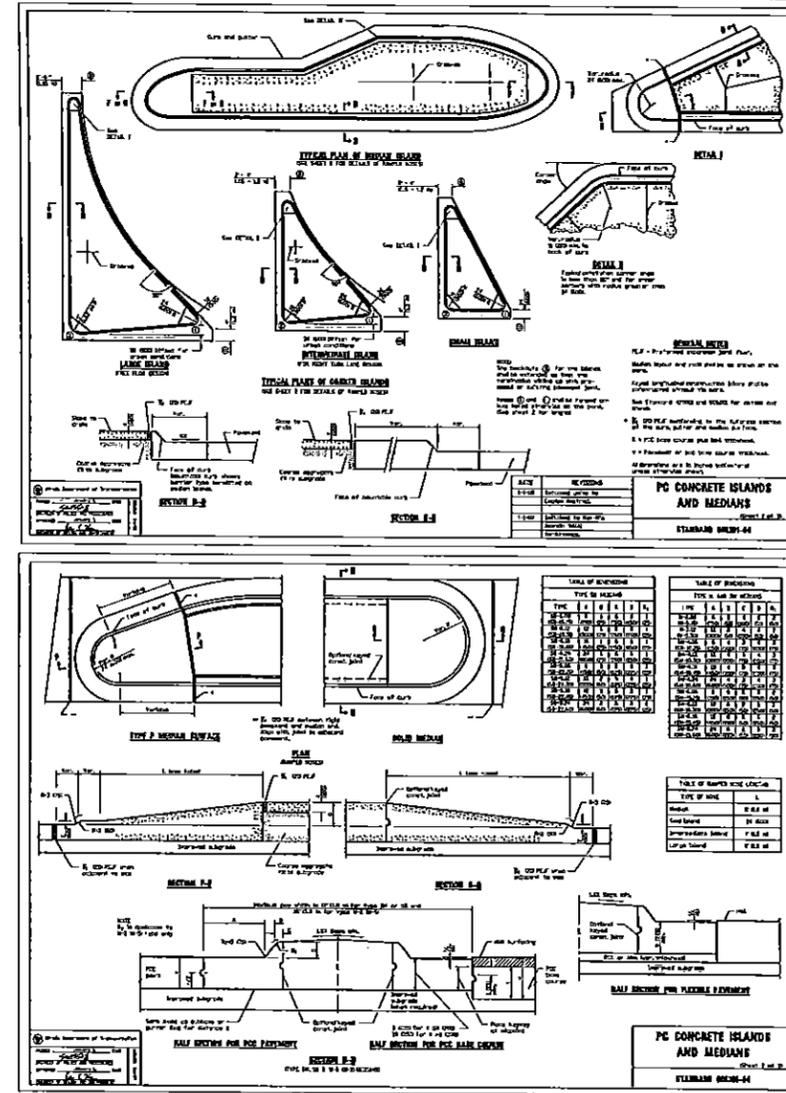
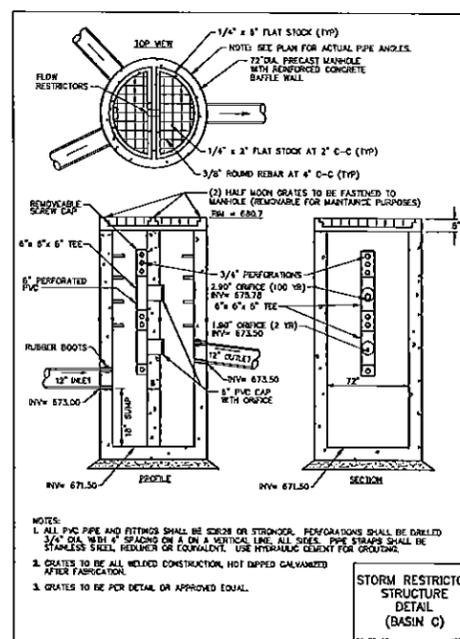
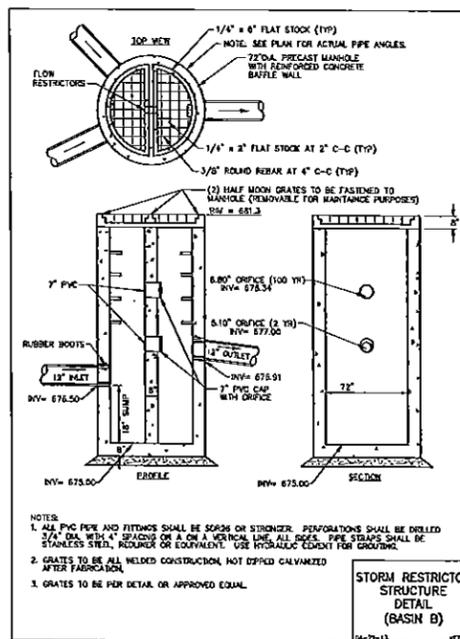
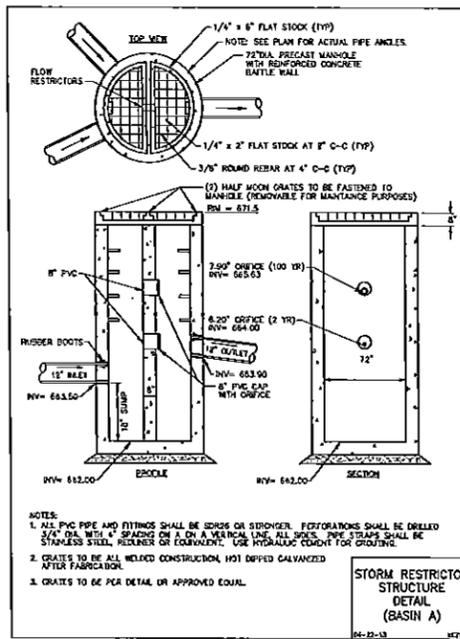
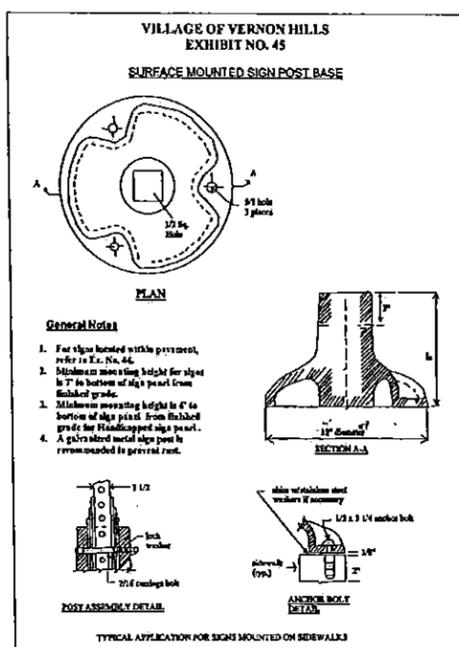
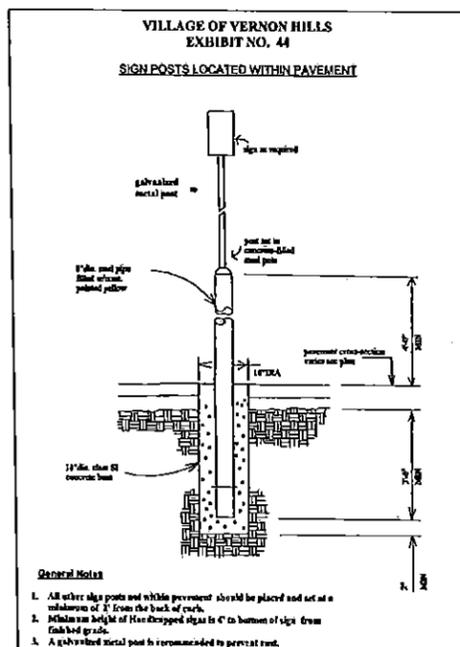
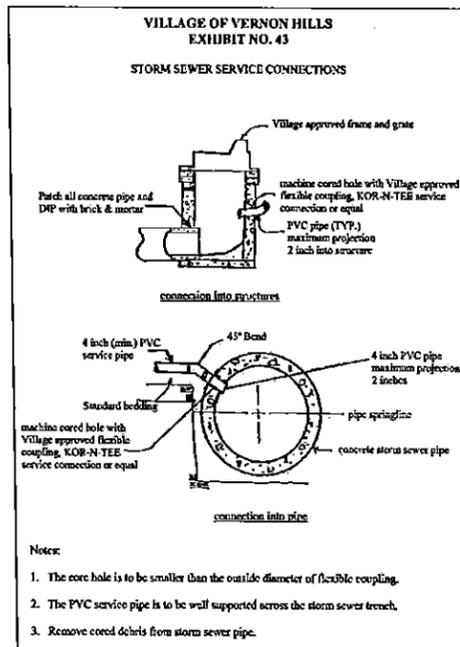
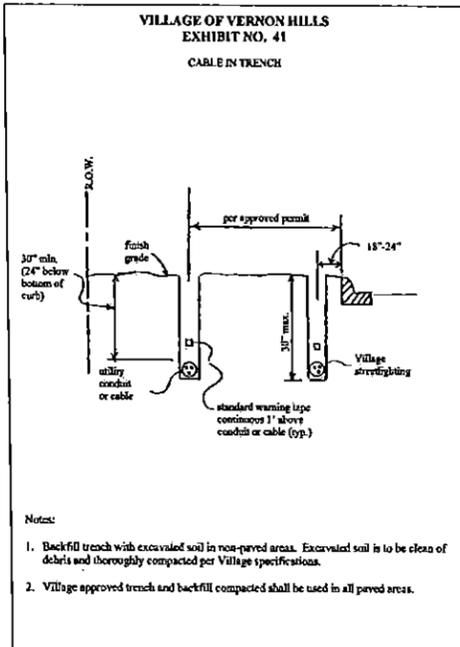
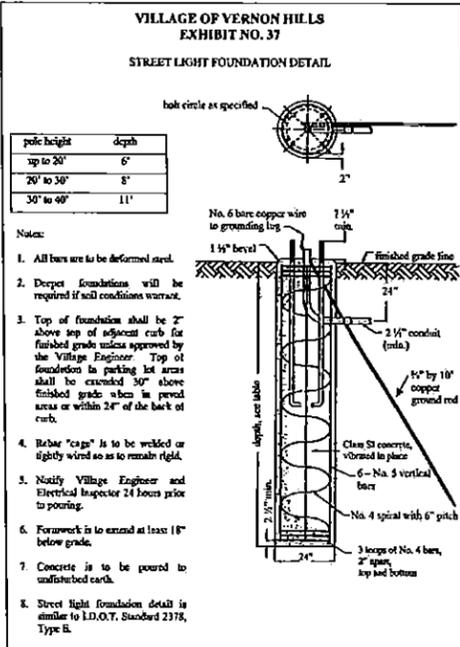
PROJECT NO.: 03
 PROJ. ENGINEER: CM
 DRAWN BY: REX
 DATE: 03-11-13
 SCALE: N.T.S.

SHEET
45 OF **50**
 KNZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION



Date: 03-11-2013 10:27:00 AM User: REX (1000) Project: THE OAKS OF VERNON HILLS, ILLINOIS

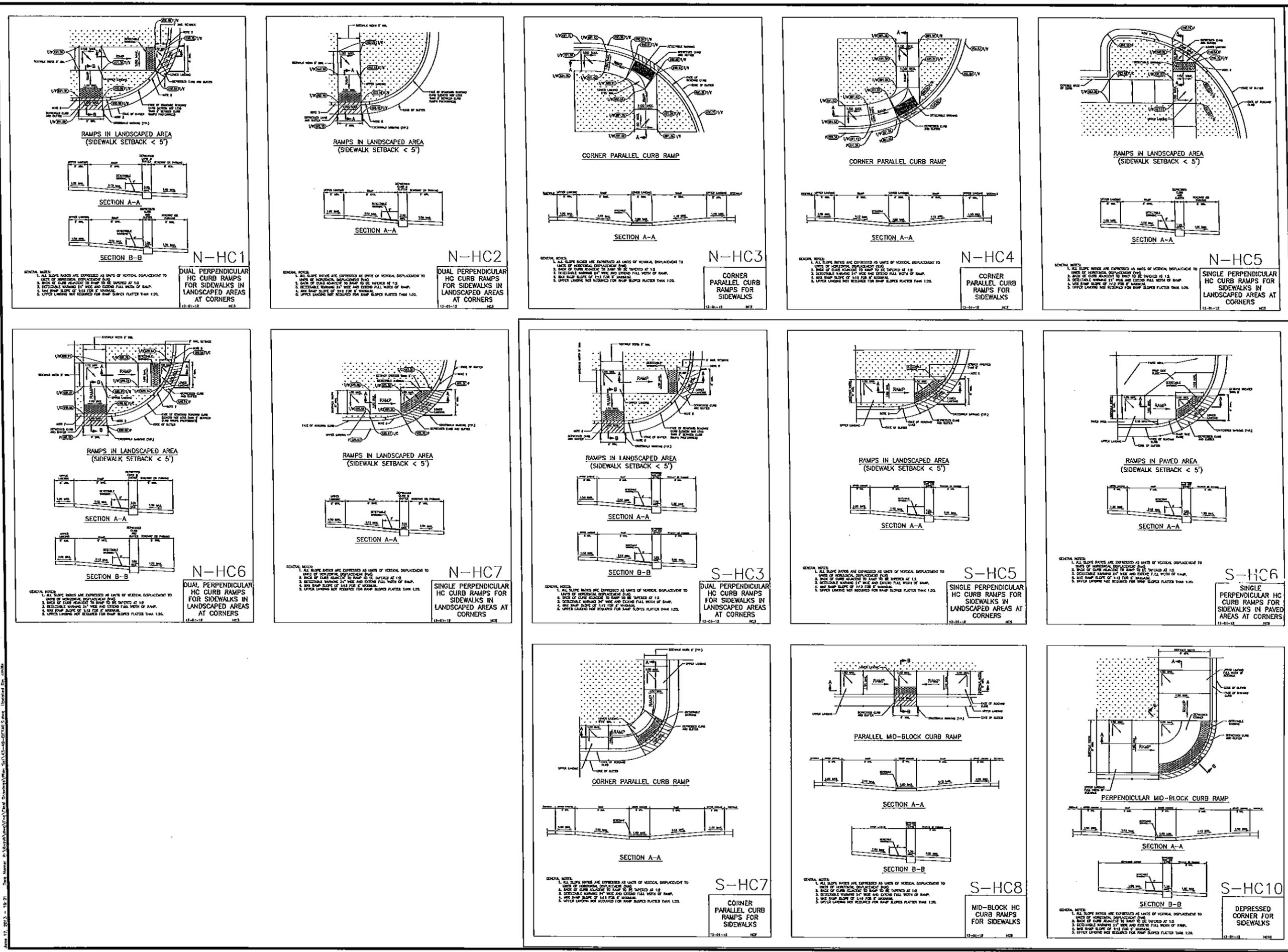


Manhard CONSULTING
 600 Westchester Parkway, Vernon Hills, IL 60061
 847.541.1100
 Construction Management • Environmental Sciences • Landscaping • Planning

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 CONSTRUCTION DETAILS

SHEET 47 OF 50
 KN2VH 110860

PENDING APPROVAL-NOT FOR CONSTRUCTION



Date: 03-11-13
 Drawn: [Name]
 Checked: [Name]
 Title: [Title]

Manhard CONSULTING LTD.
 100 Woodbine Avenue, Vernon Hills, IL 60061
 847.304.3800
 Civil Engineers • Surveyors • Water Resources Engineers • Wetland & Wetlands • Planning
 Construction Management • Environmental Sciences • Landscape Architecture

THE OAKS OF VERNON HILLS
 VILLAGE OF VERNON HILLS, ILLINOIS
 CONSTRUCTION DETAILS

PROJECT NO.: 09-11-13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 03-11-13
 SCALE: N.T.S.
 SHEET 49 OF 50
 KZVH 110660

PENDING APPROVAL-NOT FOR CONSTRUCTION

MANHARD CONSULTING, LTD. STANDARD SPECIFICATIONS GENERAL CONDITIONS

CONTRACTOR acknowledges and agrees that the use and reliance of these Plans and Specifications is sufficient consideration for CONTRACTOR'S covenant...

DEFINITION OF TERMS 1. "CLIENT" shall mean Village Road Exhbit One, which is the person or entity with whom Manhard Consulting Ltd. has contracted...

INTENT OF THE PLANS AND SPECIFICATIONS The intention of the PLANS AND SPECIFICATIONS is to set forth certain requirements of performance, type of equipment and structure, and standards of material and construction...

INTERPRETATION OF PLANS AND SPECIFICATIONS 1. The CLIENT and CONTRACTOR shall promptly review any errors or omissions in the PLANS AND SPECIFICATIONS to the ENGINEER...

GOVERNING CODES All codes herein provided shall be completed in accordance with all requirements of any JURISDICTIONAL GOVERNMENTAL ENTITY, and all such pertinent codes, ordinances, and regulations...

LOCATION OF UNDERGROUND FACILITIES AND UTILITIES When the PLANS AND SPECIFICATIONS include information pertaining to the location of existing underground facilities and utilities...

UNSATURATED SOILS The PLANS have been prepared by the ENGINEER based on the assumption that all soils on the project are suitable to support the proposed improvements...

PROTECTION OF TREES All trees that are to be removed shall be protected from damage. Trees shall not be removed unless requested to do so in writing by the CLIENT.

ADJUSTMENT OF DIMENSIONS OF FACILITIES AND UTILITIES The CONTRACTOR shall verify all applicable Jurisdictional Governmental Entity's utility companies, i.e., water, sewer, electric, telephone, gas and cable TV...

TRAFFIC CONTROL The CONTRACTOR shall provide when required by any JURISDICTIONAL GOVERNMENTAL ENTITY, all signs, equipment, and personnel necessary to provide for safe and efficient traffic flow...

WORK AREA The CONTRACTOR, its agents and employees and their employees and all equipment, machinery and vehicles shall confine their work within the boundaries of the project or work area specified by the CLIENT.

UTILITY POLES It shall be the responsibility of the CONTRACTOR to arrange for the relocation or raising of existing utility poles that may be within the working limits of this contract...

RELOCATION It is the intent of these SPECIFICATIONS that cleanup and final restoration shall be performed immediately upon completion of each phase of the work...

CLEANING UP The CONTRACTOR shall at all times keep the premises free from accumulations of waste material or rubbish caused by its employees or work, and at the completion of the work...

ROAD CLEANING The CONTRACTOR shall maintain machinery equipping the project site free from mud and debris at all times. If mud and/or debris is carried onto the roadways...

SAFETY AND PROTECTION The CONTRACTOR shall be solely and completely responsible for the conditions of the job site, including safety of all persons and property during performance of the work...

WOND HAZARDOUS To the extent permitted by law, any CONTRACTOR, material supplier or other entity by use of these plans and specifications hereby waives any right of attribution and agrees to indemnify, defend, save and hold harmless the CLIENT and ENGINEER...

Claims, damages, losses and expenses as these words are used in the Agreement shall mean and include, but not be limited to (1) injury or damage occurring in the course of the use or misuse of any tools, rigging, hoisting, unloading, unloading or any and all other kinds of forms of equipment...

INSURANCE Any party using or relying on these plans, including any contractor, material supplier, or other entity shall obtain (prior to commencing any work) general public liability insurance...

THIRD PARTY BENEFICIARY Manhard Consulting, Ltd., the ENGINEER, is intended to be a third party beneficiary of this writing agreement and requirement.

DETAINED SPECIFICATIONS

1. DEMOLITION A. CONTRACTOR shall perform all demolition work in accordance with all applicable Federal, State and local requirements. B. The CONTRACTOR is responsible for the demolition, removal and disposal in a location approved by all JURISDICTIONAL GOVERNMENTAL ENTITIES...

1. The CONTRACTOR is responsible for obtaining all permits required for demolition and approval. 2. The CONTRACTOR shall coordinate with respective utility companies prior to the removal and/or relocation of utilities. 3. Electrical, telephone, cable, water, fire optic cable and/or gas lines needing to be removed shall be coordinated by the CONTRACTOR with the affected utility company.

4. AUGER/POLE/BORER - INTENTIONALLY DELETED HORIZONTAL AND VERTICAL SEPARATION OF WATER AND SEWER MAINS Horizontal and vertical separation of water and sewer mains shall be in accordance with Standard Specifications for Water and Sewer Construction in Illinois Section 41-214.1 and 41-214.2 and Standard Drawing 11, 11, 20, 71, 22, 23 and 24.

7. FOUNDATION, SECOND AND HAUNCHING Pipe underdrains and fittings shall be Polypropylene (PP) pipe, ASTM D2034, rated 80R 24, perforated and wrapped in a self-laminating installation shall conform to the Village of Vernon Hills Exhibit No. 11. All PPV pipe shall connect to concrete pipe and/or structures that be tested and load tested per Village Exhibit No. 43.

Manhard CONSULTING LTD. THE OAKS OF VERNON HILLS, ILLINOIS VILLAGE OF VERNON HILLS, ILLINOIS CONSTRUCTION SPECIFICATIONS SHEET 50 OF 50 KNZVH 110660

PROPOSED US 45 IMPROVEMENTS

for
THE OAKS OF VERNON HILLS DEVELOPMENT

Village of Vernon Hills, Illinois

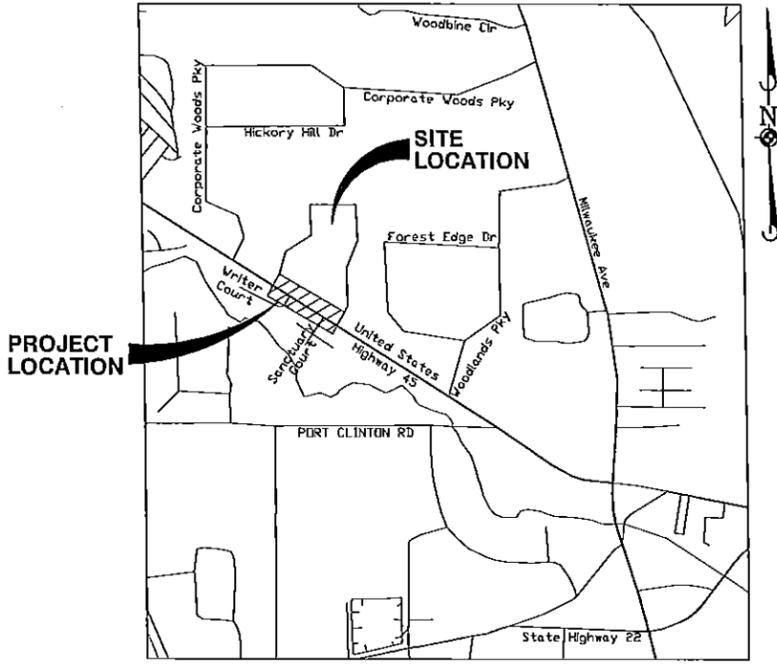
Sta. 50+98 to Sta. 68+14
1716 lin ft (0.33 Miles)

HIGHWAY STANDARD SYMBOLS

EXISTING	PROPOSED

ABBREVIATIONS

ADJ	ADJUST	FE	FLARED END SECTION	FM	POINT OF VERTICAL INTERSECTION
AGL	AGGREGATE	FL	FLOW LINE	PVT	POINT OF VERTICAL TANGENCY
ARCH	ARCHITECT	FM	FORCE MAIN	P	PAVEMENT
B.A.M.	BUTENUS AGGREGATE MIXTURE	GR	GROUND	P.U.E.	PUBLIC UTILITY AND DRAINAGE EASEMENT
B-B	BACK TO BACK	G	GAS	R	RADIUS
B/P	BOTTOM OF PIPE	O/F	GRADE AT FOUNDATION	R.O.W.	RIGHT-OF-WAY
B/W	BACK OF WALK	CR	GRADE AT CURB	RC	REINFORCED CONCRETE PIPE
B-BOX	BUFFALO BOX	CM	GENERAL MERCHANDISE	REN	REMOVAL
BT	BUTENUS	CR	CROCKERY	RR	RAILROAD
BY	BY OTHERS	CU	CURB	RT	RIGHT
B.O.	BY OTHERS	HW	HEADWALL	SAH	SANITARY
C.E.	COMMERCIAL ENTRANCE	HN	HANDHOLE	SF	SQUARE FOOT
CB	CATCH BASIN	H.W.L.	HIGH WATER LEVEL	SHLD.	SHOULDER
CL	CONCRETE	HYD.	HYDRANT	SL	STREET LIGHT
CLD	CLOSED LED	IN	INLET	SMH	SANITARY MANHOLE
CMP	CORRUGATED METAL PIPE	INV.	INVERT	STN	STATION
CONC.	CONCRETE	IR	IRON PIPE	STD	STANDARD
CONC.	CONCRETE	MAX.	MAXIMUM	SW	SQUARE YARDS
CY	CUBIC YARD	MB	MANHOLE	TR	TO BE REMOVED
D	DIAMETER	MIN.	MINIMUM	T	TELEPHONE
DIA	DUCTILE IRON PIPE	N.W.L.	NORMAL WATER LEVEL	T-1	TYPE A
DIM	DIMENSION	OD	OUTER DIAMETER	T-2	TYPE B
DN	DOWN	P.E.	PRIVATE ENTRANCE	T/C	TOP OF CURB
DT	DRUM TILE	P.O.C.	POINT OF CURVE	T/F	TOP OF FOUNDATION
E	ELECTRIC	P.O.P.	POINT OF POINT	T/P	TOP OF PIPE
E-E	EDGE TO EDGE	P.P.L.	PROFILE GRADE LINE	T/W	TOP OF WALK
ELEV.	ELEVATION	PI	POINT OF INTERSECTION	T/W	TOP OF WALL
EXP.	EDGE OF PAVEMENT	PL	PROPERTY LINE	T/W	TOP OF WALK
FACE	FACE TO FACE	PS	POWER POLE	T/W	TOP OF WALK
F.F.	FINISHED FLOOR	PT	POINT OF TANGENCY	T/W	TOP OF WALK
		PT	POINT OF TANGENCY	T/W	TOP OF WALK
		PVC	POLYVINYL CHLORIDE PIPE	T/W	TOP OF WALK
		PVC	POINT OF VERTICAL CURVE	T/W	TOP OF WALK



LOCATION MAP
N.T.S.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1.	TITLE SHEET
2.	GENERAL NOTES AND SPECIAL PROVISIONS
3.	OVERALL PLAN AND TYPICAL SECTIONS
4.	EXISTING CONDITIONS PLAN
5.	PLAN AND PROFILE - STA. 51+00 TO STA. 56+50
6.	PLAN AND PROFILE - STA. 56+50 TO STA. 62+00
7.	PLAN AND PROFILE - STA. 62+00 TO STA. 67+50
8.	PAVEMENT MARKING AND SIGNING PLAN
9.	SOIL EROSION AND SEDIMENT CONTROL PLAN
10.	CROSS SECTIONS - STA. 51+00 TO STA. 53+50
11.	CROSS SECTIONS - STA. 54+00 TO STA. 57+50
12.	CROSS SECTIONS - STA. 58+00 TO STA. 61+00
13.	CROSS SECTIONS - STA. 61+50 TO STA. 65+00
14.	CROSS SECTIONS - STA. 65+50 TO STA. 68+00
15.	CONSTRUCTION DETAILS
16.	CONSTRUCTION DETAILS
17.	CONSTRUCTION DETAILS
18.	CONSTRUCTION DETAILS

BENCHMARK:

SOURCE BENCHMARK 1: VERNON HILLS BENCHMARK #27
BRASS CAP MONUMENT IN CONCRETE AT GRASS AREA BETWEEN
PARKING LOT OF 700-740 CORPORATE WOODS PARKWAY AND
CORPORATE WOODS PARKWAY.
ELEVATION=678.224

DATUM: VERTICAL=NAVD 88

SOURCE BENCHMARK 2: VERNON HILLS BENCHMARK #220
#5 REBAR AND RED GPS CAP FLUSH WITH GROUND IN "THE
CORPORATE WOODS" OF VERNON HILLS OFF THE STATE HIGHWAY
45 ON WOODLANDS PARKWAY, THEN LEFT ON FOREST EDGE
DRIVE TO #888 (THE PASLOE COMPANY) THE STATION IS AT
THE NORTH END OF THE PARKING LOT LOCATED BEHIND THE
CURB IN THE EAST ISLAND.
ELEVATION=678.224

DATUM: VERTICAL=NAVD 88

SOURCE BENCHMARK 3: VERNON HILLS BENCHMARK #212
SET 5/8" REBAR WITH RED CAP STAMPED "AYRES ASSOCIATES
G.P.S. STATION", AT THE FRONT CORNER OF SIDEWALK ALONG
ROUTE 45 NORTHWEST QUADRANT ROUTE 45 AND STONE FENCE
ROAD.
ELEVATION=693.037

DATUM: VERTICAL=NAVD 88

SOURCE BENCHMARK 4: VERNON HILLS BENCHMARK #235
#5 REBAR WITH RED CAP STAMPED "AYRES ASSOCIATES G.P.S.
STATION" SET FLUSH AT CORNER OF SIDEWALKS AT THE
INTERSECTION OF PORT CLINTON ROAD AND BUFFALO GROVE
ROAD AT THE EAST ISLAND.
ELEVATION=689.910

DATUM: VERTICAL=NAVD 88

NOTES:

1. THE TOPOGRAPHY SURVEY FOR THIS PROJECT IS BASED
ON A FIELD SURVEY PREPARED BY MANHARD
CONSULTING, LTD. AND WAS PERFORMED ON JUNE 17,
1998 AND APRIL 18, 2005. THE CONTRACTOR SHALL
VERIFY THE EXISTING CONDITIONS PRIOR TO
CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY
MANHARD CONSULTING AND THE CLIENT IN WRITING OF
ANY DIFFERING CONDITIONS.

UTILITY CONTACTS

ELECTRIC COMMONWEALTH EDISON CO. 1500 FRANKLIN BOULEVARD LIBERTYVILLE, IL 60048 (847) 816-5496 CONTACT: BRIAN HAUCK	SEWER AND WATER: LAKE COUNTY PUBLIC WORKS DEPT. 650 WINCHESTER ROAD LIBERTYVILLE, IL 60048 (847) 377-7500 CONTACT: GORDON WHITE
GAS: NORTH SHORE GAS COMPANY 290 EVERGREEN DRIVE VERNON HILLS, IL 60061 CONTACT: JOE CHINICK (847) 283-4643	TELEPHONE: AT&T 1200 ARLINGTON HEIGHTS ROAD ARLINGTON HEIGHTS, IL 60004 (847) 506-8082 CONTACT: J.C. MAYFIELD
ENGINEERING: VILLAGE OF VERNON HILLS ENGINEERING 290 EVERGREEN DRIVE VERNON HILLS, IL 60061 (847) 918-3644 CONTACT: DAVE BROWN	CABLE: COMCAST 688 INDUSTRIAL DRIVE ELMHURST, IL 60126 (847) 600-6346 CONTACT: ROBERT SCHULTER

Call 48 hours before you dig
(excluding Sat., Sun. & Holidays)
1-800-892-0123

DEVELOPER:
KINZIE REAL ESTATE GROUP
212 W KINZIE ST
CHICAGO, IL 60604
312-555-5555

Manhard
CONSULTING LTD

800 Woodlands Parkway, Vernon Hills, IL 60061 tel: (847) 634-6530 fax: (847) 634-0385 www.manhard.com
Civil Engineers - Surveyors - Water Resources Engineers - Water & Wastewater Engineers
Construction Managers - Environmental Scientists - Landscape Architects - Planners



Manhard
CONSULTING LTD

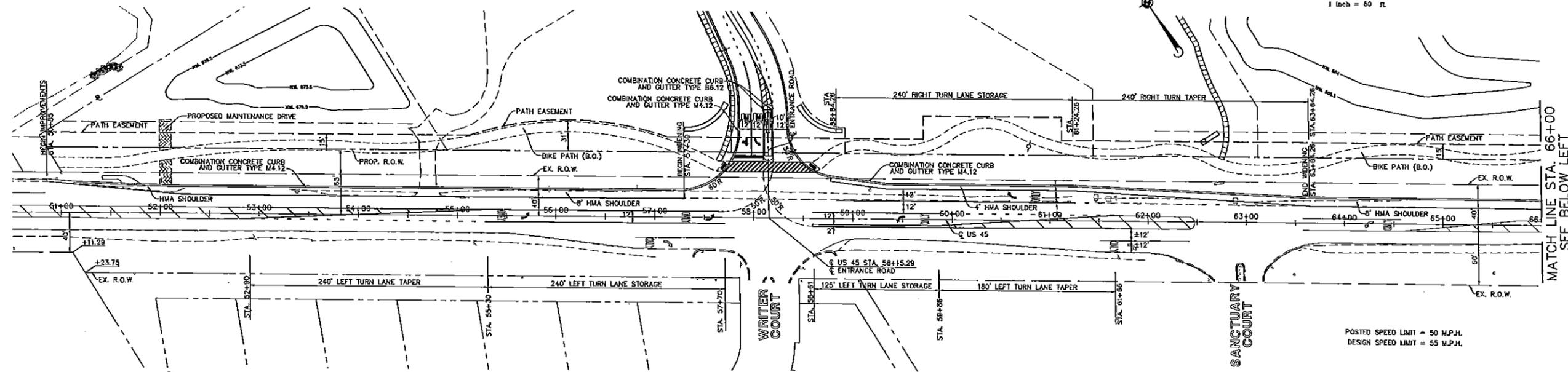
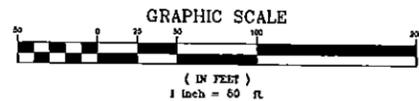
800 Woodlands Parkway, Vernon Hills, IL 60061
Civil Engineers - Surveyors - Water Resources Engineers - Water & Wastewater Engineers
Construction Managers - Environmental Scientists - Landscape Architects - Planners

US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS
VERNON HILLS, ILLINOIS
TITLE SHEET

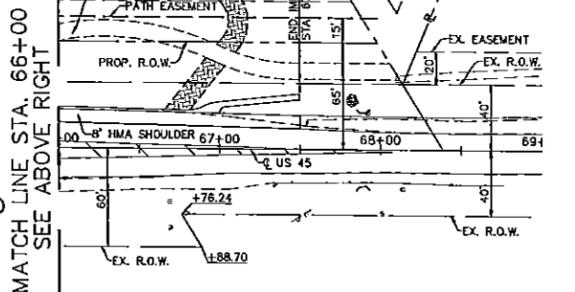
PROJ. NO. J.C.F.
PROJ. AS SOC. J.R.M.
DRAWN BY D.A.
DATE 3/11/13
SCALE N.T.S.

SHEET
1 OF **18**
KINZVH 110660

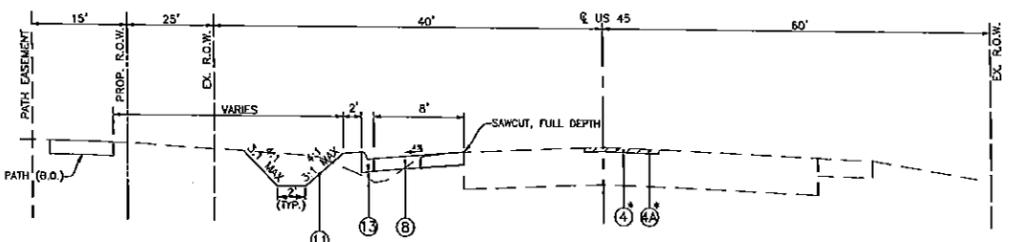
PENDING APPROVAL - NOT FOR CONSTRUCTION



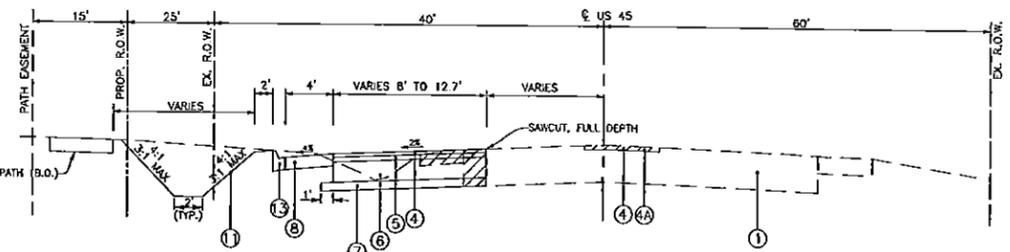
OVERALL PLAN



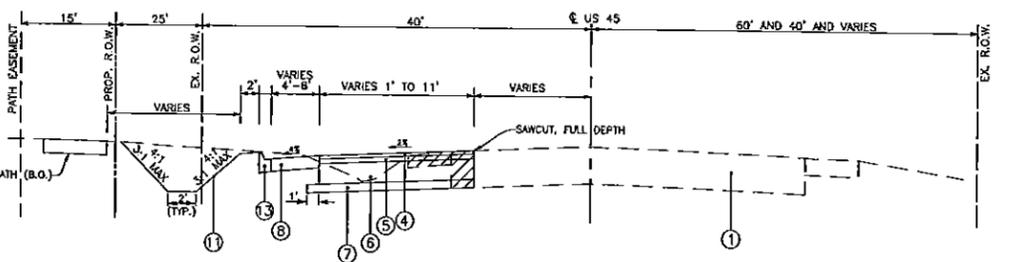
PROPOSED TYPICAL CURB SECTION ADJACENT TO PROPOSED WIDENING
N.T.S.



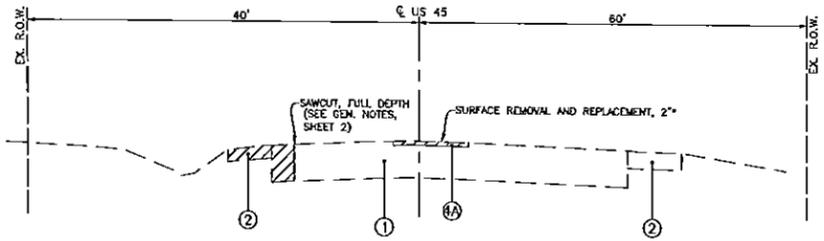
PROPOSED TYPICAL SECTION US 45
N.T.S.
STA. 52+90 TO STA. 56+93
STA. 63+64.26 TO STA. 67+50
*STA. 52+90 TO STA. 56+93



PROPOSED TYPICAL SECTION US 45
N.T.S.
STA. 56+93 TO STA. 61+66



PROPOSED TYPICAL SECTION US 45
N.T.S.
STA. 61+66 TO STA. 63+64.26



EXISTING TYPICAL SECTION US 45
N.T.S.
STA. 53+01 TO STA. 67+28
*STA. 52+90 TO STA. 61+66

- PAVING LEGEND**
- ① EXISTING PAVEMENT
 - ② EXISTING AGGREGATE SHOULDER
 - ③ EXISTING CURB AND GUTTER
 - ④ PROPOSED HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N70, 2"
 - ⑤ MILL EXISTING HMA SURFACE, 2"
 - ⑥ PROPOSED HOT-MIX ASPHALT BINDER COURSE, IL-19, N70, 2.5"
 - ⑦ PROPOSED HOT-MIX ASPHALT BASE COURSE, 10"
 - ⑧ PROPOSED SUB-BASE GRANULAR MATERIAL, TYPE B, 4"
 - ⑨ PROPOSED HOT-MIX ASPHALT SHOULDER, 6"
 - ⑩ PROPOSED EMBANKMENT
 - ⑪ PROPOSED COMBINATION CONCRETE CURB AND GUTTER, TYPE M4.12
 - ⑫ PROPOSED TOPSOIL FURNISHING AND PLACE 4"
 - ⑬ PROPOSED SEEDING, CLASS 2A
 - ⑭ PROPOSED EROSION CONTROL BLANKET
 - ⑮ PROPOSED P.C.C. SIDEWALK, 5"
 - ⑯ PROPOSED CURB & GUTTER TYPE M4.12
 - REMOVAL

HOT-MIX ASPHALT MIXTURE REQUIREMENT

MIXTURE TYPE	AIR VOIDS
HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N70	4% @ 70 GYL
HOT-MIX ASPHALT BINDER COURSE, IL-19, N70	4% @ 70 GYL
HOT-MIX ASPHALT BASE (IL-19 mm) COURSE	4% @ 70 GYL

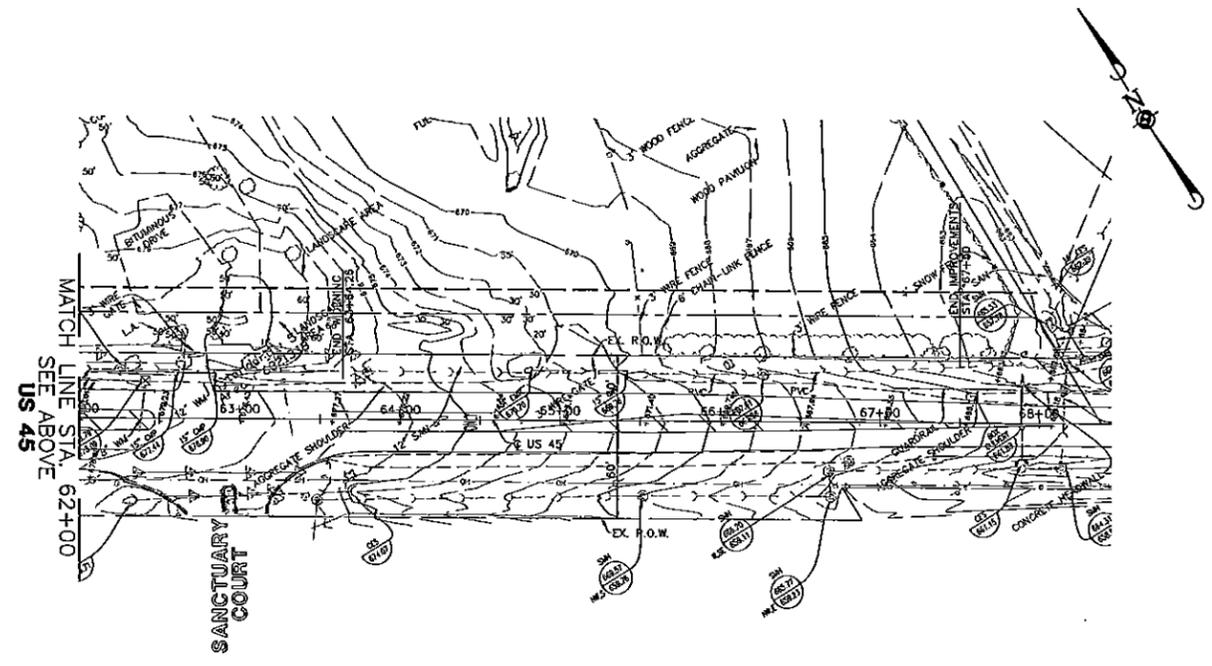
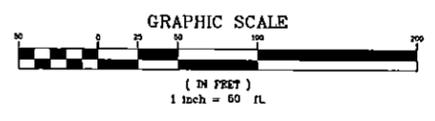
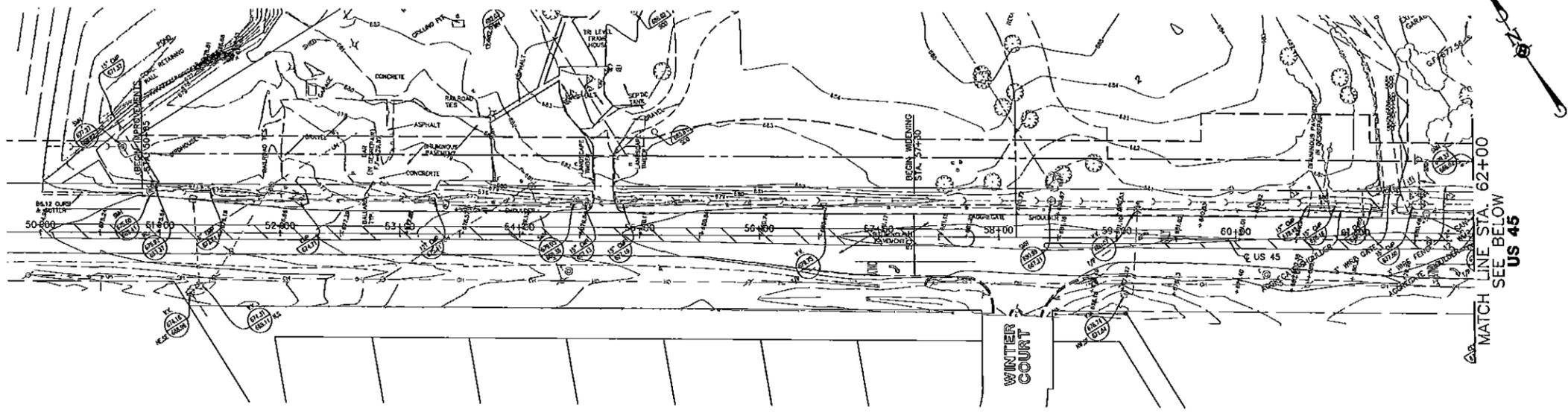
THE UNIT WEIGHT USED TO CALCULATE ALL HMA SURFACE MIXTURE QUANTITIES IS 112 LBS/50 YD³/H.
THE "AC TYPE" FOR POLYMERIZED HMA MIXES SHALL BE "SBS/SBR PD 76-22" AND FOR NON-POLYMERIZED HMA THE "AC TYPE" SHALL BE "PC-64-22" UNLESS MODIFIED BY DISTRICT ONE SPECIAL PROVISIONS. FOR "PERCENT OF RAP" SEE SPECIAL PROVISIONS.

Manhard CONSULTING
INCORPORATED
Professional Engineers, Surveyors, Planners
and Environmental Scientists
1526-13 HERSHBERG VILLAGE, COVINGTON, LA 70032
504-835-1111

**US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS
VERNON HILLS, ILLINOIS**
OVERALL PLAN AND TYPICAL SECTIONS

PENDING APPROVAL - NOT FOR CONSTRUCTION

May 23, 2013 12:13 Proj Name: \\manhard\proj\13\1305\Drawings\Plan_45\130504\US-45-4.dwg Plot Date: 5/23/2013 12:13:13



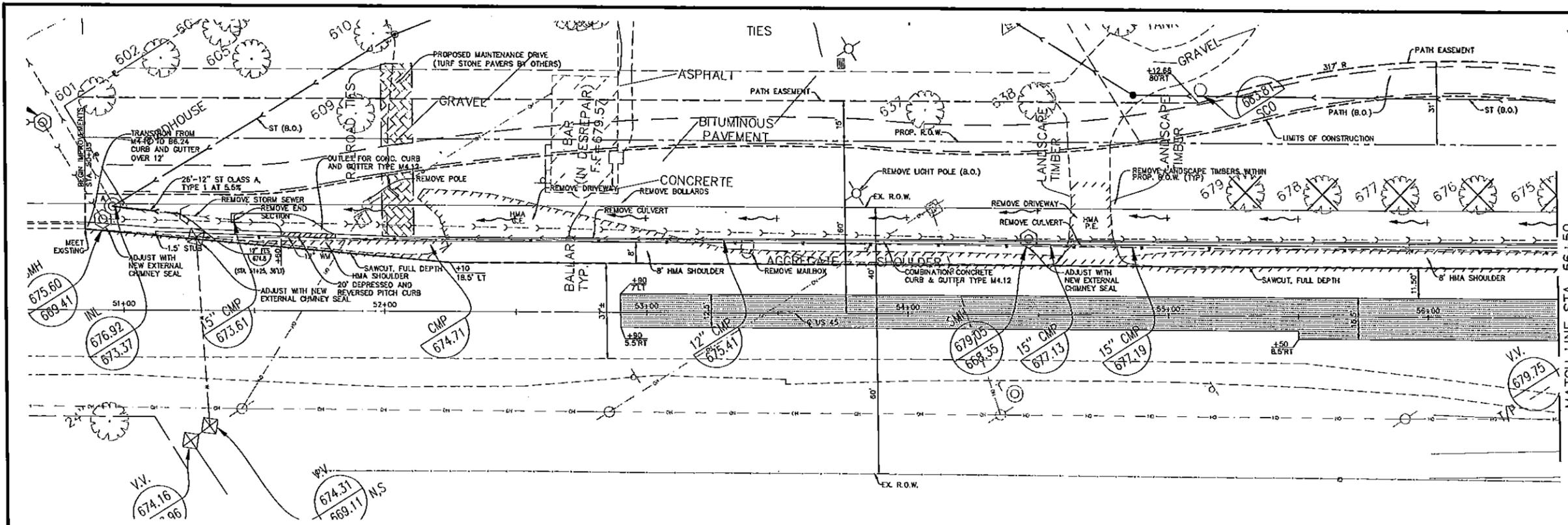
NO.	DATE	DESCRIPTION	BY	CHKD.
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

Manhard CONSULTING LTD.
 1100 Woodlands Parkway, Vernon Hills, Illinois 60061
 Telephone: 847.309.8800
 Fax: 847.309.8801
 E-mail: info@manhard.com
 Services: Environmental Science • Landscaping Architecture • Planning
 Construction Management • Water & Wastewater Engineering

US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS
 VERNON HILLS, ILLINOIS
 EXISTING CONDITIONS PLAN

PROJ. MGR. J.D.F.
 PROJ. ENGR. J.R.K.
 DRAWN BY D.A.
 DATE 3/1/13
 SCALE 1"=50'
 SHEET
4 OF **18**
 KNZVH 110660

PENDING APPROVAL - NOT FOR CONSTRUCTION



MATCH LINE STA. 56+50
SEE SHEET 6
US 45

PAVING LEGEND (SEE TYPICAL SECTION FOR MATERIAL)

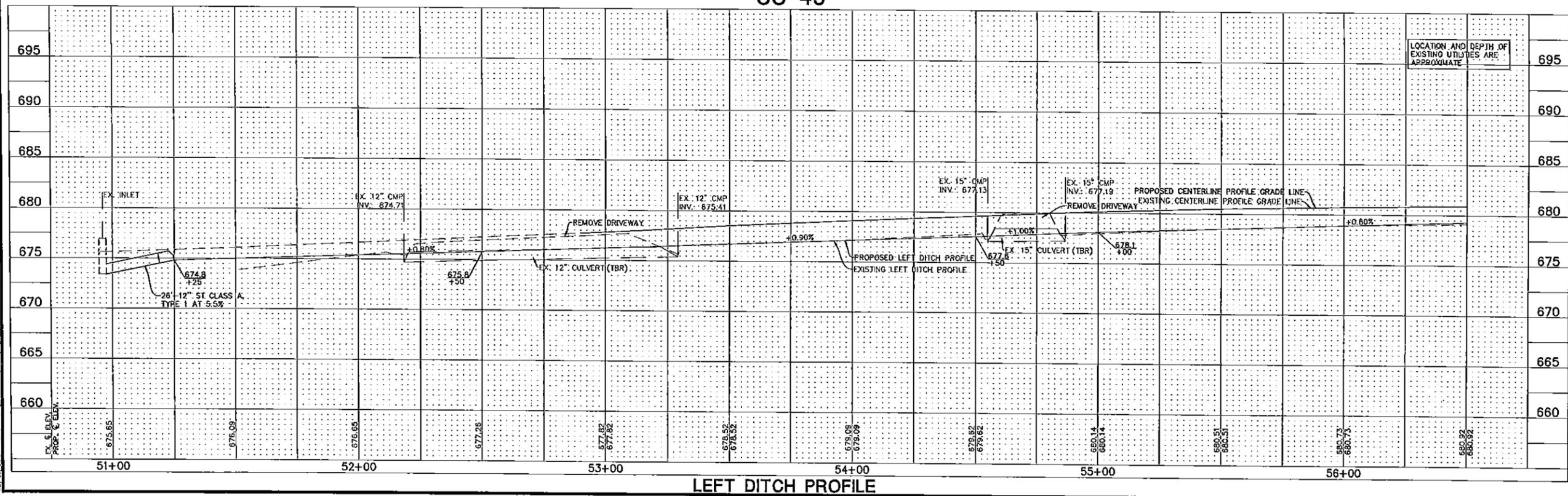
	HMA SURFACE REMOVAL AND REPLACEMENT, 2"
	HMA WIDENING SECTION
	REMOVAL

NOTE:
1. CONTRACTOR TO VERIFY EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AT LOCATIONS OF CONFLICT. CONTRACTOR TO NOTIFY ENGINEER WITH ANY DISCREPANCIES.
2. FOR SIGN REMOVAL, REPLACEMENT AND OR RELOCATION, SEE PAVEMENT MARKING AND SIGNING PLAN.

PAVEMENT ELEVATION TABLE

STA	T/C Elev	E/HMA SH Elev	Width	LT EP Elev	LT SAWCUT Elev	CL Elev	STA
51+00	675.35				674.05	29.27	675.65
51+50	675.74	675.53	3.51		675.67	24.98	678.09
52+00	678.32	676.11	6.17		675.36	20.68	676.66
52+50	678.86	678.05	8.00		678.07	18.50	677.26
53+00	677.47	677.26	8.00		677.58	18.50	677.82
53+50	677.06	677.75	8.00		678.07	18.50	678.62
54+00	678.52	678.31	8.00		678.63	18.50	679.09
54+50	678.24	679.03	8.00		678.33	18.50	679.82
55+00	678.58	679.37	8.00		678.69	18.50	680.14
55+50	678.03	679.72	8.00		680.12	18.50	680.51
56+00	680.13	679.82	8.00		680.24	18.50	680.73
56+50	680.33	680.12	8.00		680.44	18.50	680.92

US 45



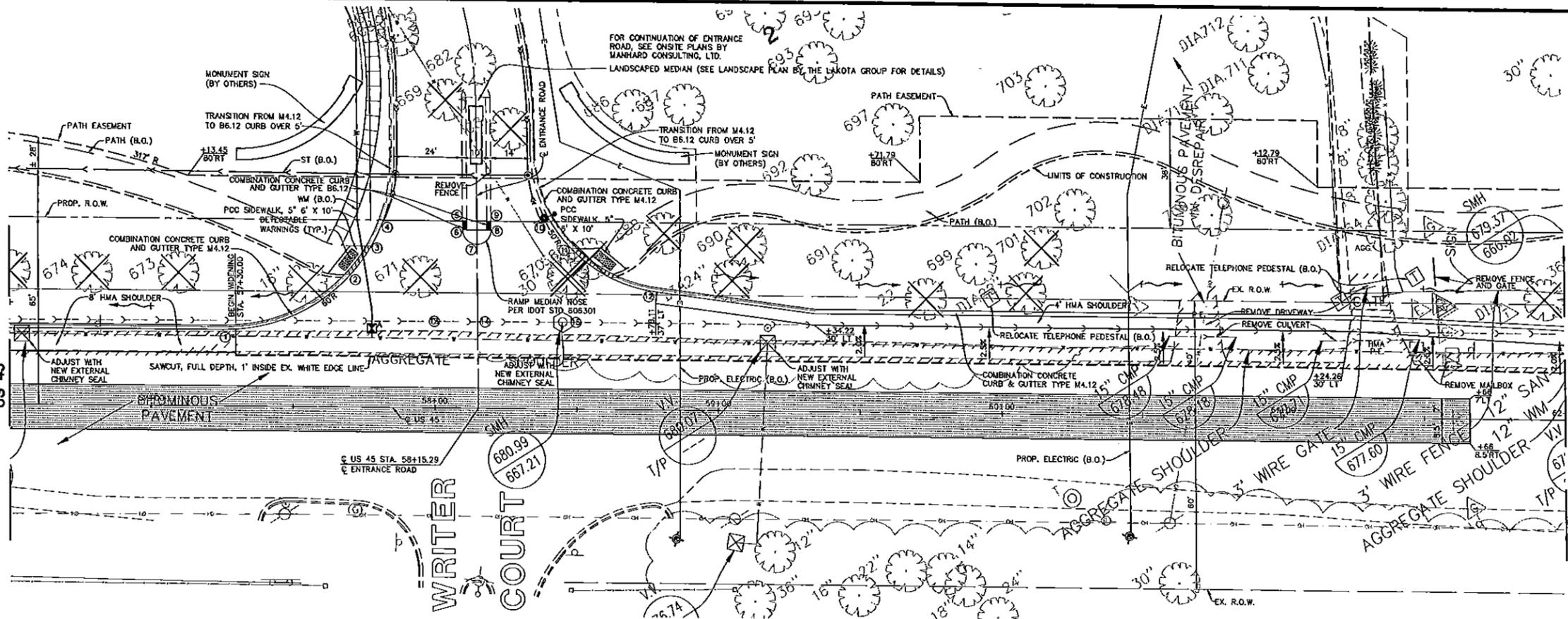
LEFT DITCH PROFILE

Manhard CONSULTING LTD
 600 Woodlands Parkway, Vernon Hills, IL 60061
 847.341.1000
 www.manhardconsulting.com
 Civil Engineers • Surveyors • Environmental Engineers • Water & Wastewater Engineers • Construction Managers • Environmental Scientists • Landscape Architects • Planners

US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS
 VERNON HILLS, ILLINOIS
 PLAN AND PROFILE - STA. 51+00 TO STA. 56+50

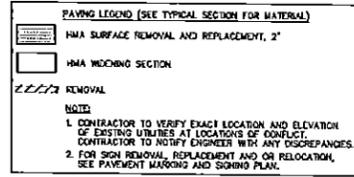
PENDING APPROVAL - NOT FOR CONSTRUCTION

MATCH LINE STA. 56+50
SEE SHEET 5
US 45



INTERSECTION TABLE

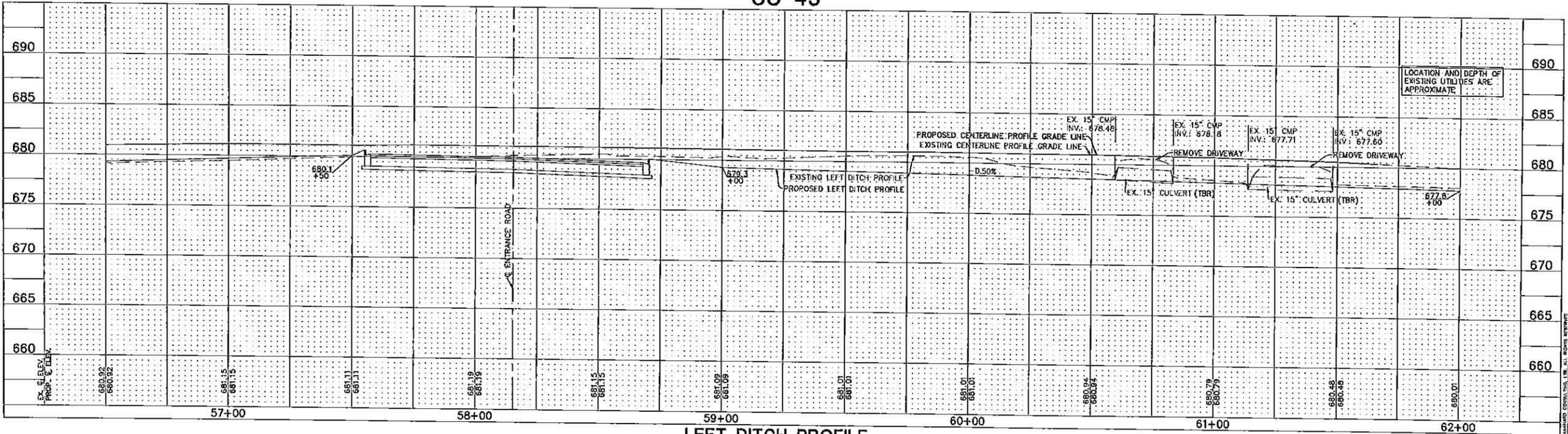
POINT	STA	OFFSET	E/P ELEV	T/C ELEV	POINT
1	57+28.29	28.50 LT	680.42	680.63	1
2	57+70.51	45.95 LT	680.18	680.39	2
3	57+77.92	55.85 LT	680.00	680.21	3
4	57+82.30	65.00 LT	679.65	679.86	4
5	58+10.28	65.00 LT	680.21	680.73	5
6	58+10.29	61.91 LT	680.25	680.77	6
7	58+15.29	56.91 LT	680.28	680.70	7
8	58+20.29	61.91 LT	680.18	680.70	8
9	58+20.29	65.00 LT	680.04	680.59	9
10	58+41.36	65.00 LT	679.68	679.89	10
11	58+48.36	55.86 LT	679.80	680.01	11
12	58+78.11	41.92 LT	680.10	680.31	12
13	58+00.00	30.00 LT	680.52	-	13
14	58+15.29	30.00 LT	680.44	-	14
15	58+50.00	30.00 LT	680.52	-	15



PAVEMENT ELEVATION TABLE

STA	T/C Elev	EMMA SH		LT EP		LT SAWCUT		CL Elev	STA
		Elev	Width	Elev	Offset	Elev	Offset		
57+00	680.57	680.58	8.00	-	-	680.28	18.50	681.15	57+00
57+50	-	-	-	-	-	680.00	17.76	681.11	57+50
58+00	-	-	-	-	-	680.77	17.51	681.10	58+00
58+50	-	-	-	-	-	680.88	17.28	681.15	58+50
59+00	680.40	680.19	4.00	680.36	34.28	680.70	17.33	681.09	59+00
59+50	680.58	680.37	4.00	680.45	30.00	680.70	17.30	681.01	59+50
60+00	680.43	680.22	4.00	680.32	30.00	680.64	17.29	681.01	60+00
60+50	680.28	680.07	4.00	680.27	30.00	680.58	17.41	680.94	60+50
61+00	680.15	679.94	4.00	680.13	30.00	680.45	17.23	680.79	61+00
61+50	679.89	679.68	4.39	679.69	28.61	680.15	16.98	680.48	61+50
62+00	679.50	679.29	5.13	678.50	25.62	678.80	16.30	680.01	62+00

US 45

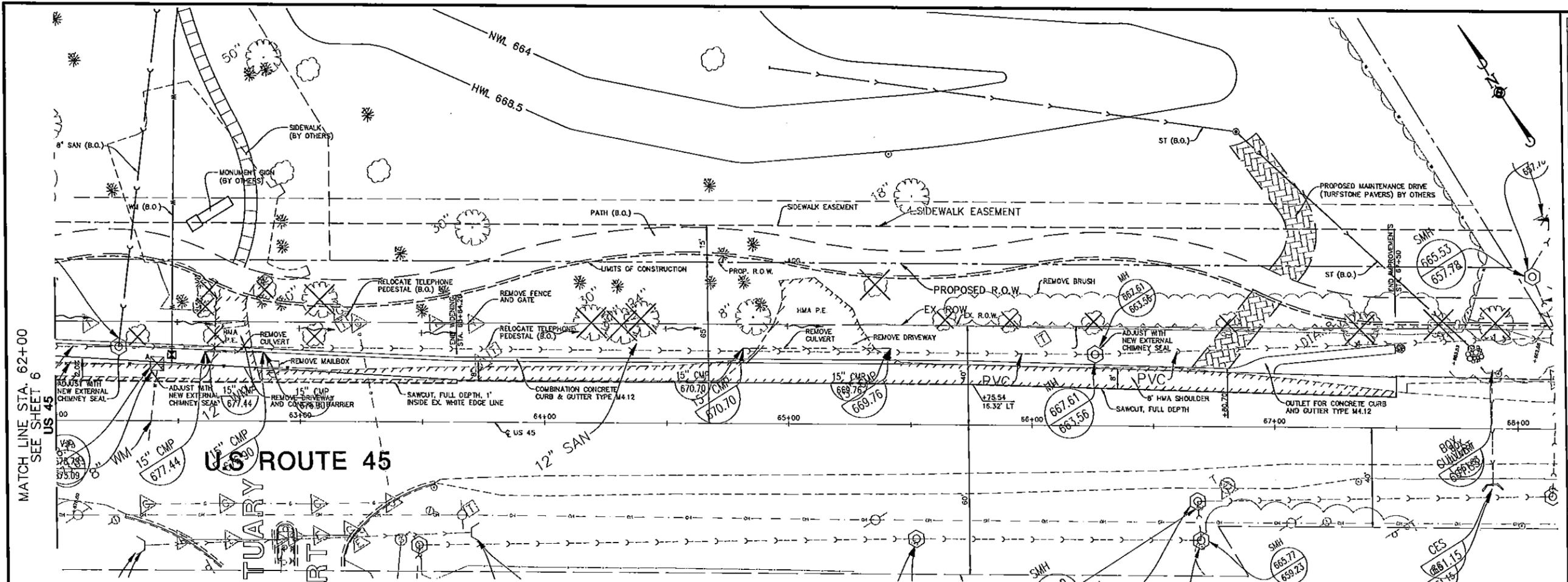


LEFT DITCH PROFILE

Manhard CONSULTING LTD
 600 Woodlands Parkway, Vernon Hills, IL 60051 phone 847.884.0850 fax 847.884.0858
 Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers
 Construction Managers • Environmental Scientists • Landmarks Architectural Planners

US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS
 VERNON HILLS, ILLINOIS
 PLAN AND PROFILE - STA. 56+50 TO STA. 62+00
 PROJECT: JRF
 FINAL APPR: JRF
 DRAWN BY: DL
 DATE: 3/11/13
 SCALE: 1/4" = 1'-0"
 SHEET
6 OF **18**
 KNZYH 110660

PENDING APPROVAL - NOT FOR CONSTRUCTION



MATCH LINE STA. 62+00
SEE SHEET 6
US 45

US ROUTE 45

SANCTUARY COURT

PAVING LEGEND (SEE TYPICAL SECTION FOR MATERIAL)

- HMA SURFACE REMOVAL AND REPLACEMENT, 2"
- HMA WIDENING SECTION
- REMOVAL

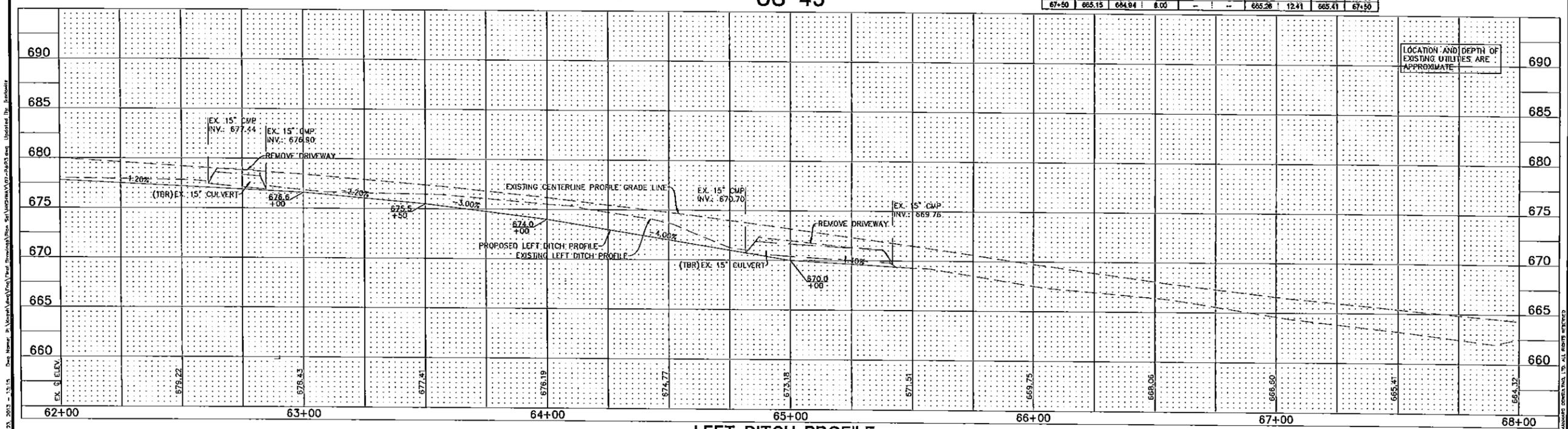
NOTE:

- CONTRACTOR TO VERIFY EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AT LOCATIONS OF CONTACT. CONTRACTOR TO NOTIFY ENGINEER WITH ANY DISCREPANCIES.
- FOR SIGN REMOVAL, REPLACEMENT AND/OR RELOCATION, SEE PAVEMENT MARKING AND SIGNING PLAN.

US 45

PAVEMENT ELEVATION TABLE

STA	T/C Elev	EPA SH		LT EP		LT SAWCUT		CL Elev	STA
		Elev	Width	Elev	Offset	Elev	Offset		
62+50	675.35	678.58	8.88	678.81	23.22	678.28	15.81	678.22	62+50
63+00	678.07	677.88	8.82	678.12	20.82	678.29	15.72	678.43	63+00
63+50	676.94	676.73	7.37	677.02	17.82	677.21	15.64	677.41	63+50
64+00	675.82	675.61	8.00	---	---	675.93	18.58	676.18	64+00
64+50	674.28	674.07	8.00	---	---	674.38	18.51	674.77	64+50
65+00	672.87	672.48	8.00	---	---	672.78	18.43	673.18	65+00
65+50	671.04	670.83	8.00	---	---	671.15	18.38	671.61	65+50
66+00	668.33	668.12	8.00	---	---	668.44	18.77	668.75	66+00
66+50	667.74	667.53	8.00	---	---	667.65	14.65	668.08	66+50
67+00	666.27	666.06	8.00	---	---	666.38	13.53	666.60	67+00
67+50	665.15	664.94	8.00	---	---	665.26	12.41	665.41	67+50



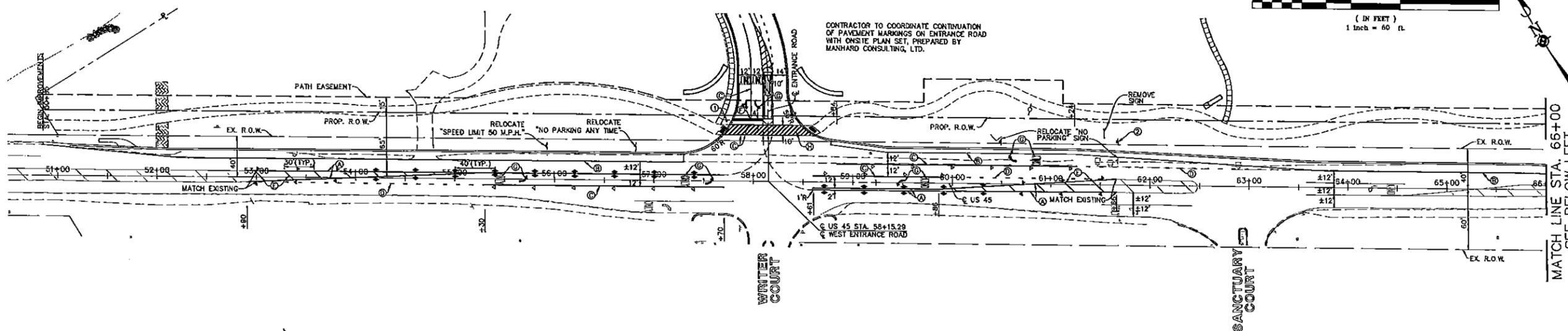
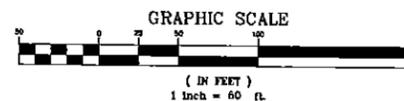
LEFT DITCH PROFILE

Manhard CONSULTING LTD.
 1100 Westmoreland Parkway, Vernon Hills, IL 60061
 847.300.1100
 Fax: 847.300.1101
 www.manhardconsulting.com
 Environmental Scientists • Landscape Architects • Planners
 Construction Managers • Water & Wastewater Engineers

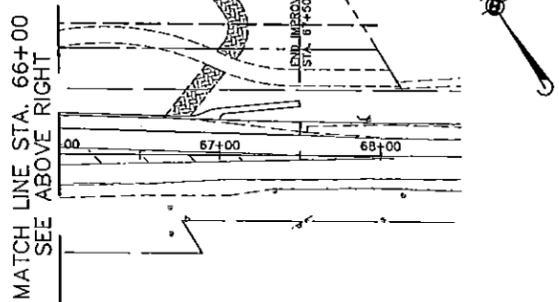
US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS
VERNON HILLS, ILLINOIS
PLAN AND PROFILE - STA. 62+00 TO STA. 67+50

PROJ. # 04 J.D.F.
 PROJ. ASST. J.R.K.
 DRAWN BY R.E.H.
 DATE 3/1/13
 SCALE: H₁=30', V₁=1"
 SHEET
7 OF 18
 KHZVH 110660

PENDING APPROVAL - NOT FOR CONSTRUCTION



PAVEMENT MARKING PLAN



SIGN LEGEND

R1-1
36"X36"
①

R3-5R
30"X30"
②

R5-1
30"X30"
③

R3-2
36"X36"
④

ALL SIGNS TO BE MOUNTED ON TELESCOPING STEEL SIGN SUPPORT.

PAVEMENT MARKING LEGEND

- Ⓐ 4" DOUBLE YELLOW AT 1' C-C
- Ⓑ 4" WHITE EDGE LINE
- Ⓒ 6" WHITE - SOLID LANE LINE
- Ⓓ 6" WHITE (6' SKIP - 2' DASH)
- Ⓔ 12" YELLOW DIAGONAL (SEE PLAN FOR SPACING)
- Ⓕ 24" WHITE
- Ⓖ LETTERS AND SYMBOLS
- Ⓗ 12" WHITE DIAGONAL (3' C TO C)
- ▶ ONE WAY CRYSTAL MARKER
- ▶ ONE WAY AMBER MARKER
- ◆ TWO WAY AMBER MARKER

- NOTES:**
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC IN CONFORMANCE WITH THE APPLICABLE ARTICLES OF SECTION 780 OF THE STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
 - RAISED REFLECTIVE PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH THE IDOT DISTRICT 1 STANDARD TITLED "TYPICAL APPLICATIONS RAISED REFLECTIVE MARKERS" AND SECTION SECTION 781 OF THE STANDARD SPECIFICATIONS.
 - EXISTING PAVEMENT MARKINGS AND EXISTING RAISED REFLECTIVE PAVEMENT MARKERS THAT CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE REMOVED IN ACCORDANCE WITH SECTION 782 OF THE STANDARD SPECIFICATIONS.

TYPICAL ISLAND MARKING

TYPICAL PAINTED MEDIAN MARKING

TYPICAL LANE AND EDGE LINE MARKING

TYPICAL CROSSWALK MARKING

TYPICAL TURN LANE MARKING

TYPE OF MARKING	SPACING OF MARKING	WIDTH OF LINE	HEIGHT	COLOR	SPACING / SYMBOL
ISLAND MARKING	12" C-C	4"	1/2"	WHITE	12" C-C
PAINTED MEDIAN MARKING	12" C-C	4"	1/2"	WHITE	12" C-C
LANE AND EDGE LINE MARKING	12" C-C	4"	1/2"	WHITE	12" C-C
CROSSWALK MARKING	12" C-C	4"	1/2"	WHITE	12" C-C
TURN LANE MARKING	12" C-C	4"	1/2"	WHITE	12" C-C

TWO-LANE/TWO-WAY

LANE REDUCTION TRANSITION

TWO-WAY LEFT TURN

MULTI-LANE/UNDIVIDED

MULTI-LANE/DIVIDED

LEFT TURN

GENERAL NOTES

LANE MARKER NOTES

DESIGN NOTES

SYMBOLS

Manhard CONSULTING P.C.

1320 W. MONROE ST., SUITE 100, CHICAGO, IL 60606
 312.462.2800 FAX 312.462.2805
 1000 N. WASHINGTON ST., SUITE 100, DEERFIELD, IL 60015
 847.934.8800 FAX 847.934.8805
 1000 N. WASHINGTON ST., SUITE 100, DEERFIELD, IL 60015
 847.934.8800 FAX 847.934.8805

Professional Engineer - Civil
 Professional Engineer - Surveying
 Professional Engineer - Water Resources
 Professional Engineer - Electrical
 Professional Engineer - Mechanical
 Professional Engineer - Structural
 Professional Engineer - Environmental
 Professional Engineer - Landmarks
 Professional Engineer - Planning

3-2-2013 REVISED PER VILLAGE COMMENTS

US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS
 VERNON HILLS, ILLINOIS
 PAVEMENT MARKING AND SIGNING PLAN

PROJECT NO. 101P
 DRAWN BY: J.R.K.
 DATE: 3/11/13
 SCALE: 1"=30'

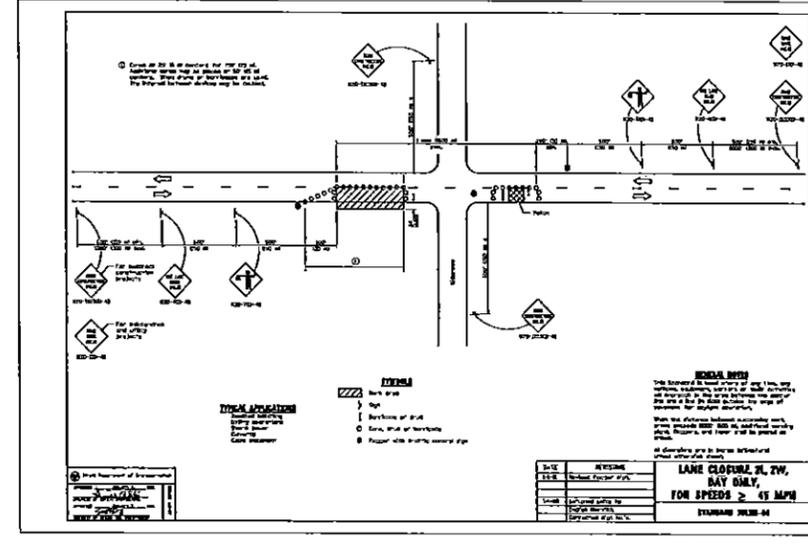
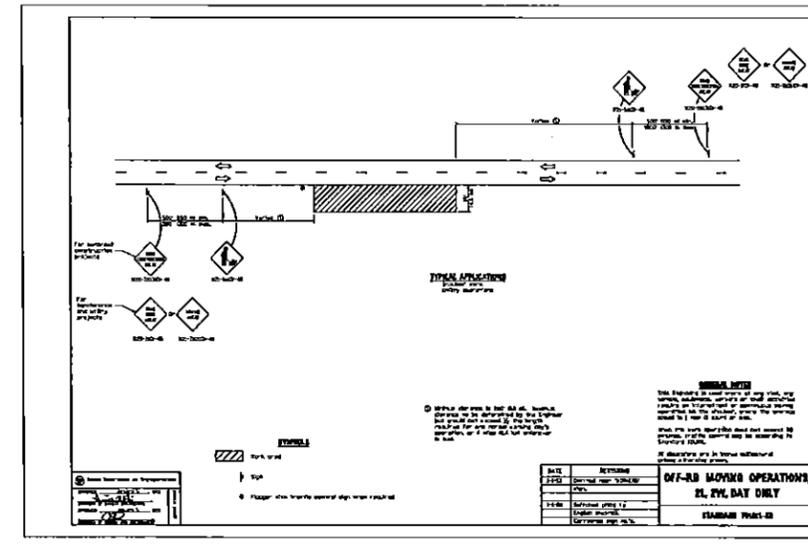
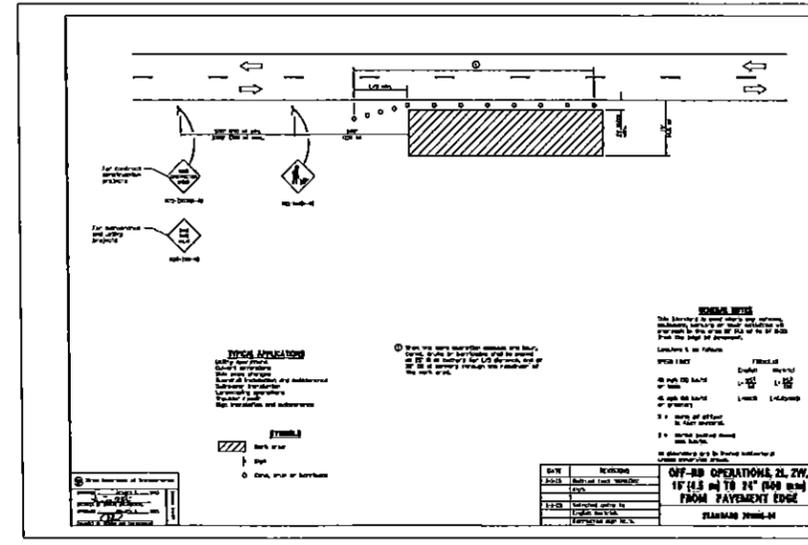
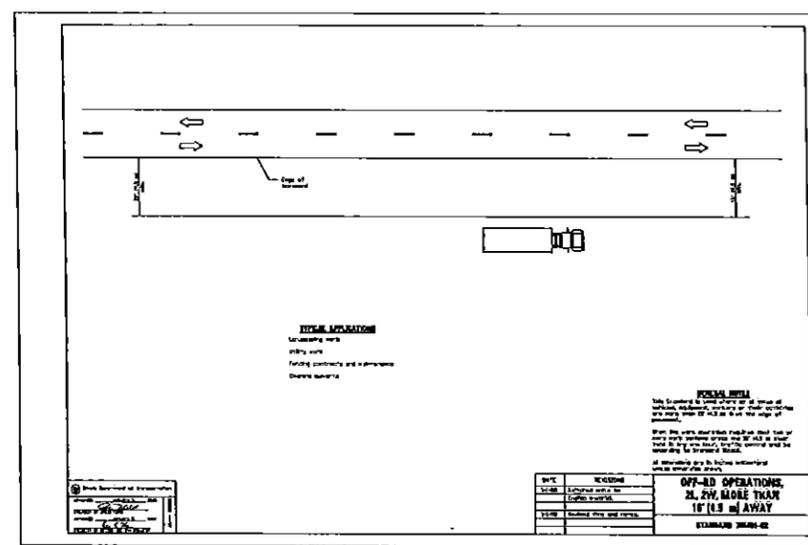
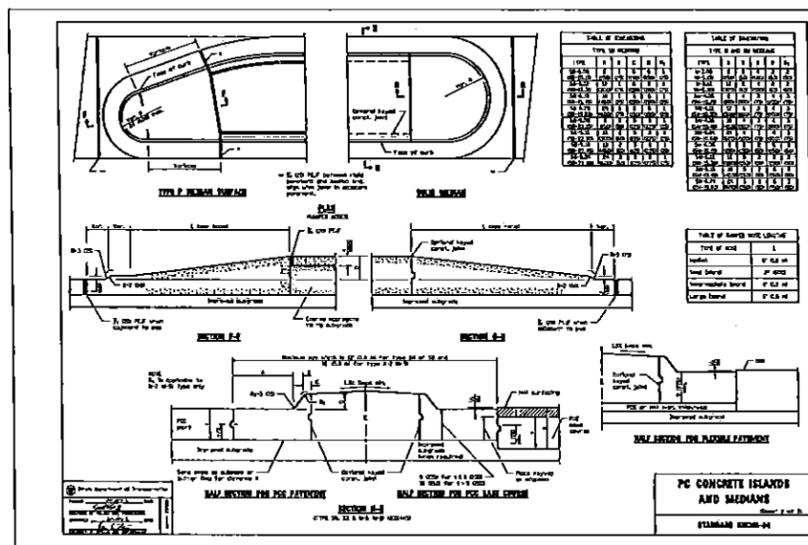
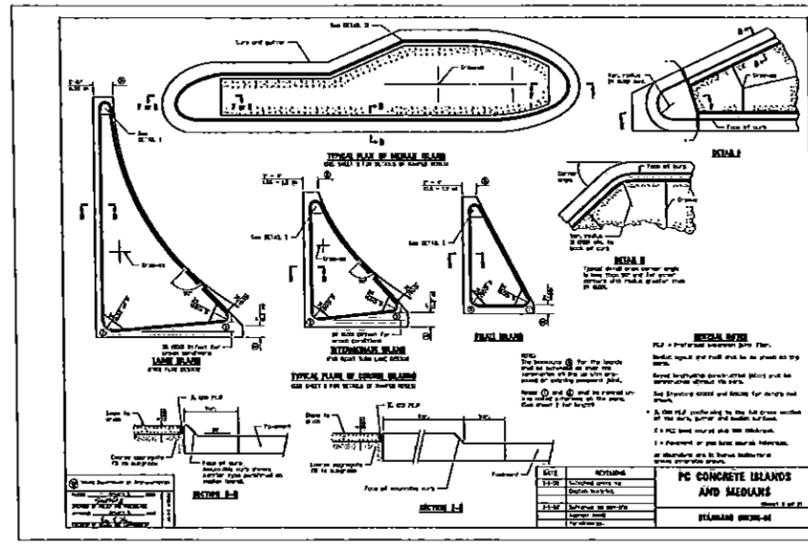
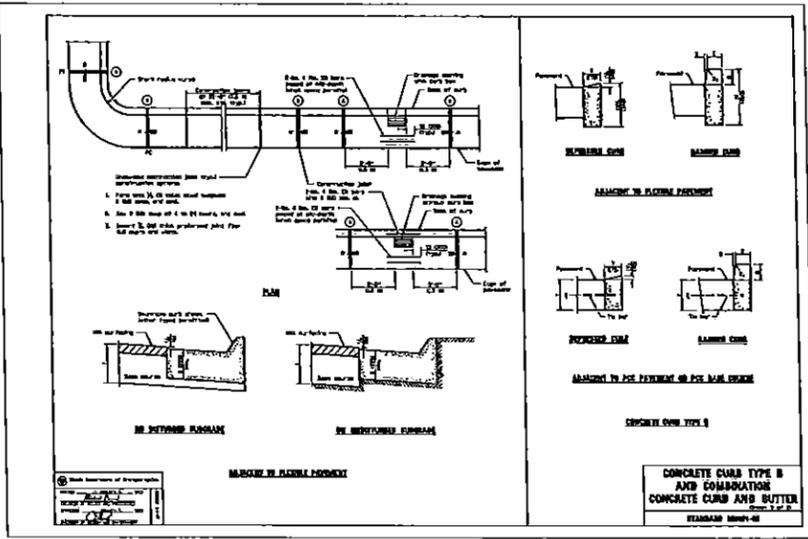
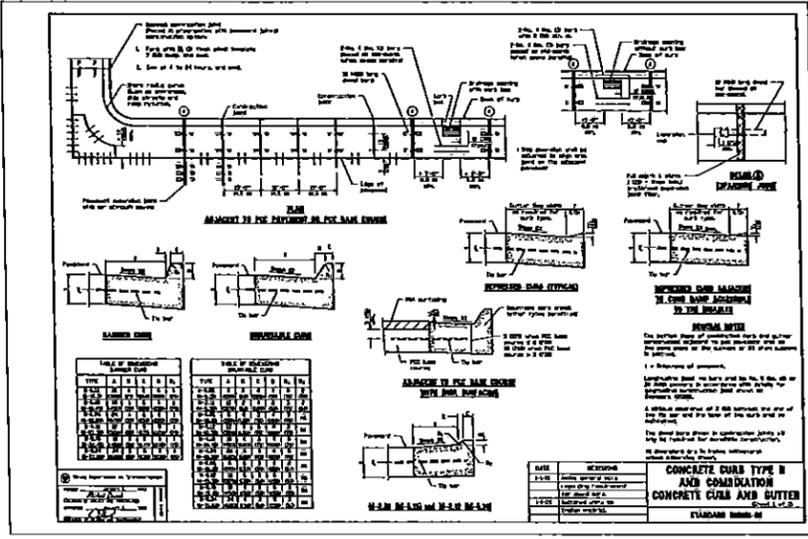
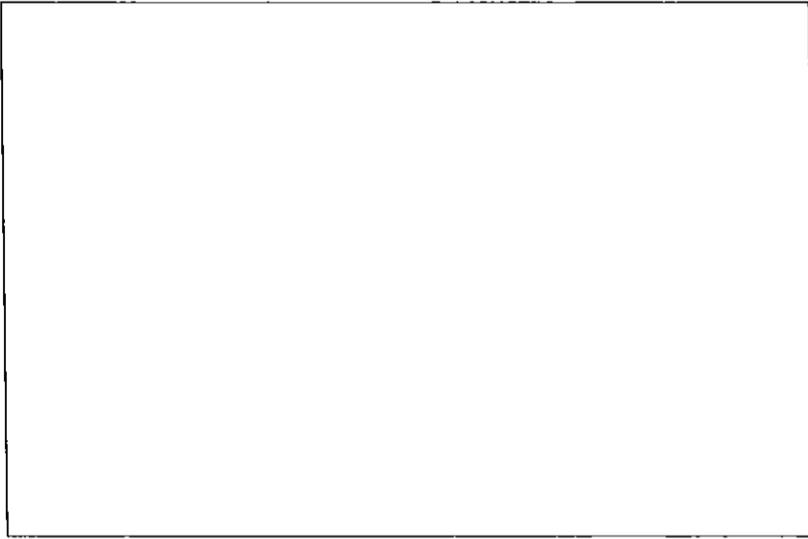
SHEET 8 OF 18
 KNZYH 110660

STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION

Date: 3/23/2013 11:53:17 User: jmanhard - Manhard Consulting, Inc. Path: N:\Projects\101P\101P_Pavement_Markings_Signing_Plan.dwg (User: jmanhard)

PENDING APPROVAL - NOT FOR CONSTRUCTION

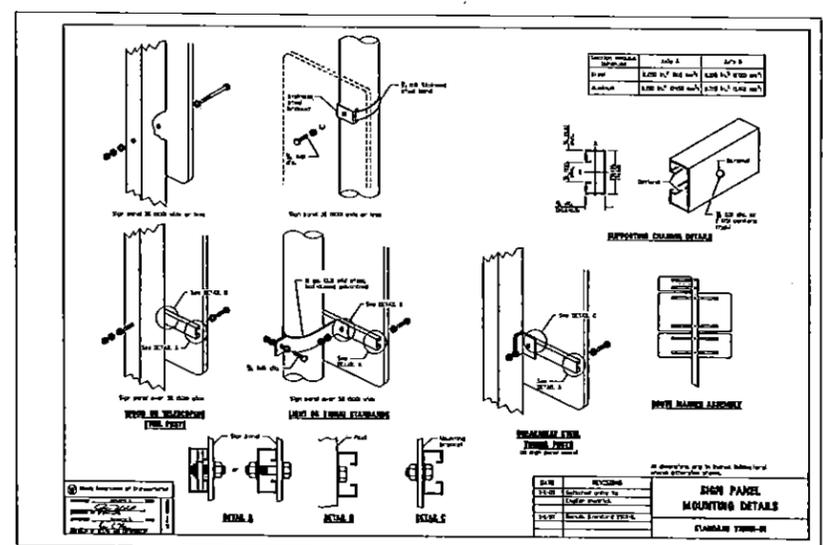
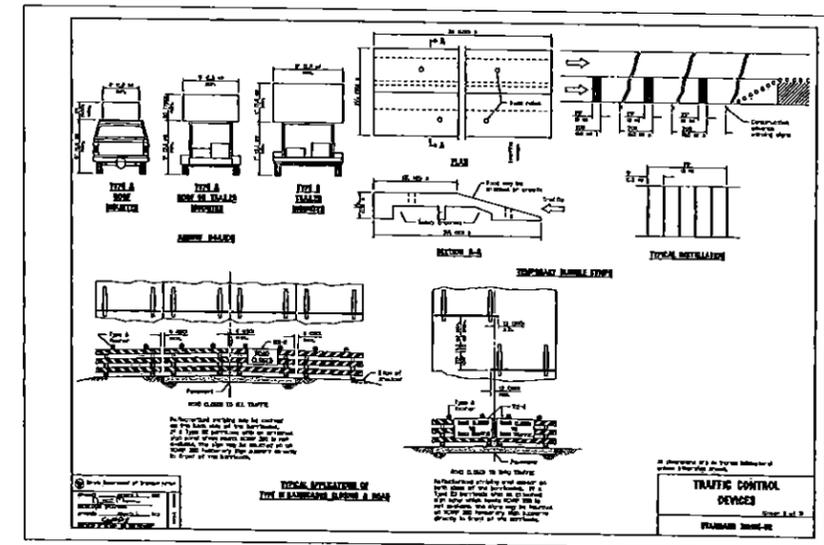
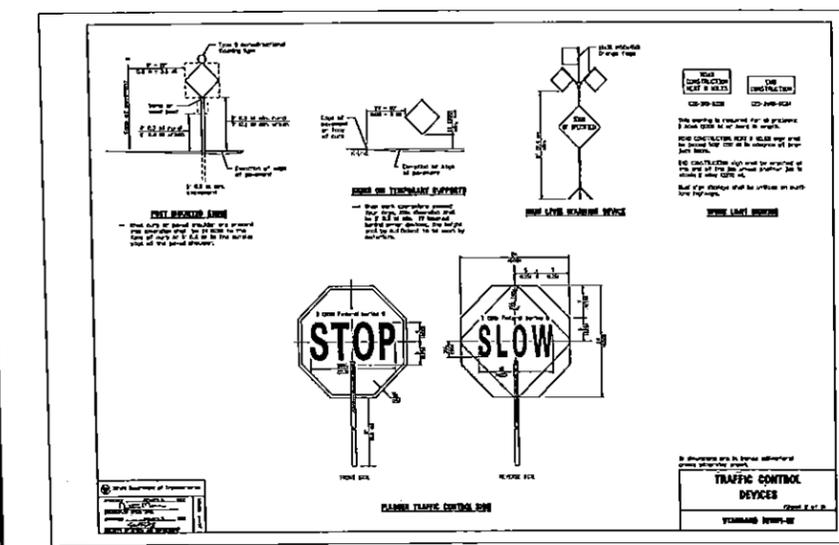
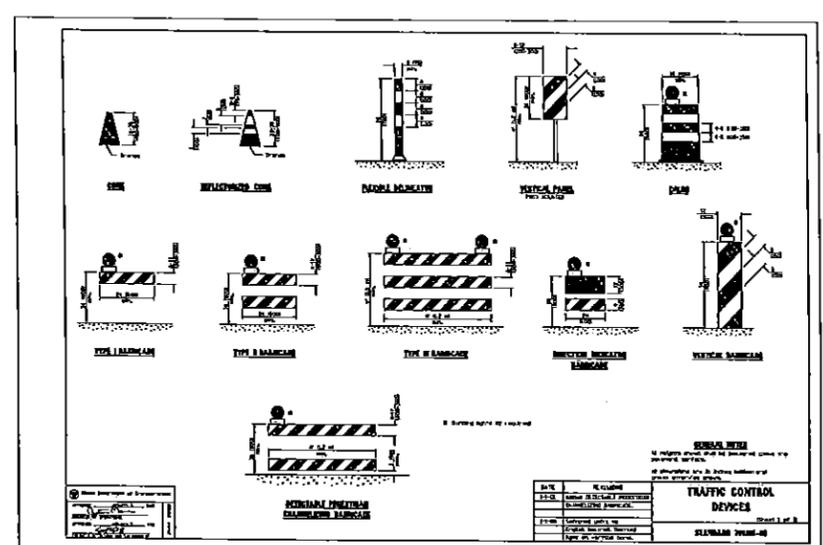
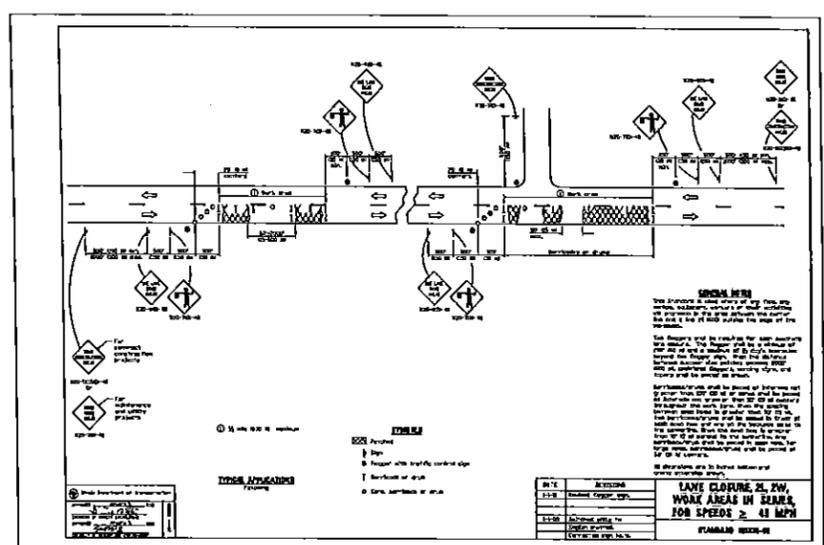
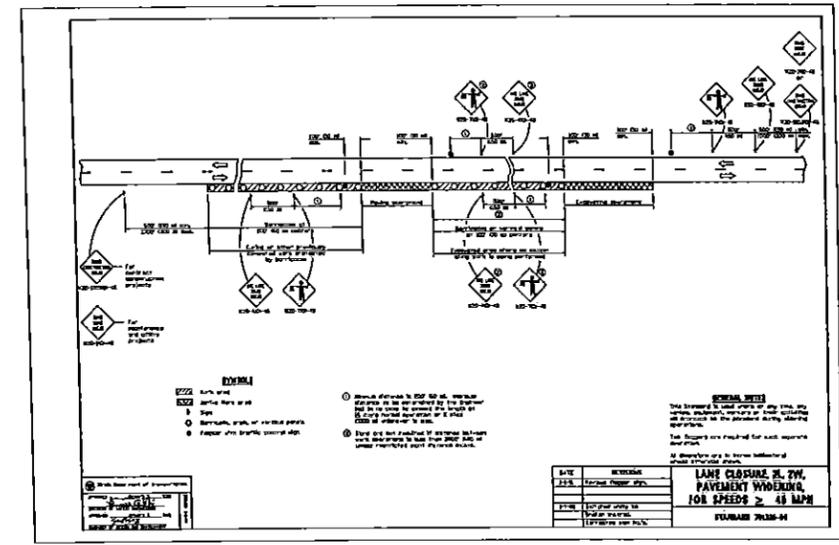
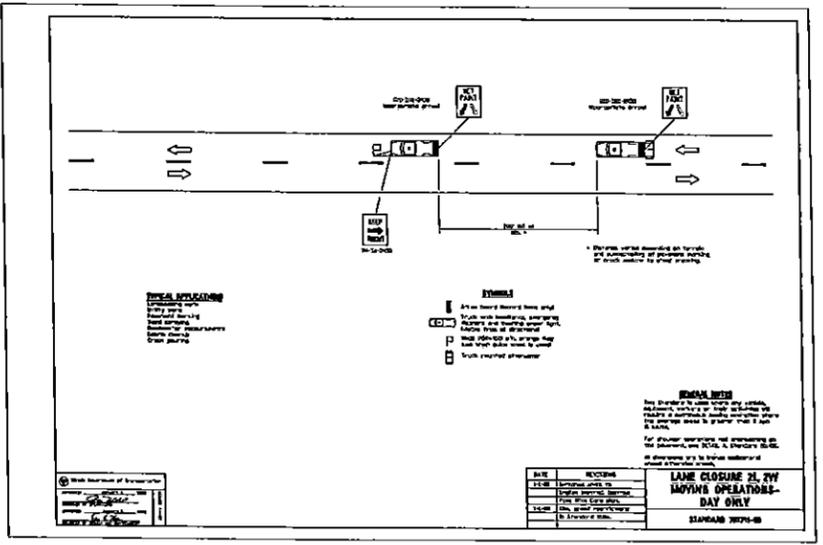
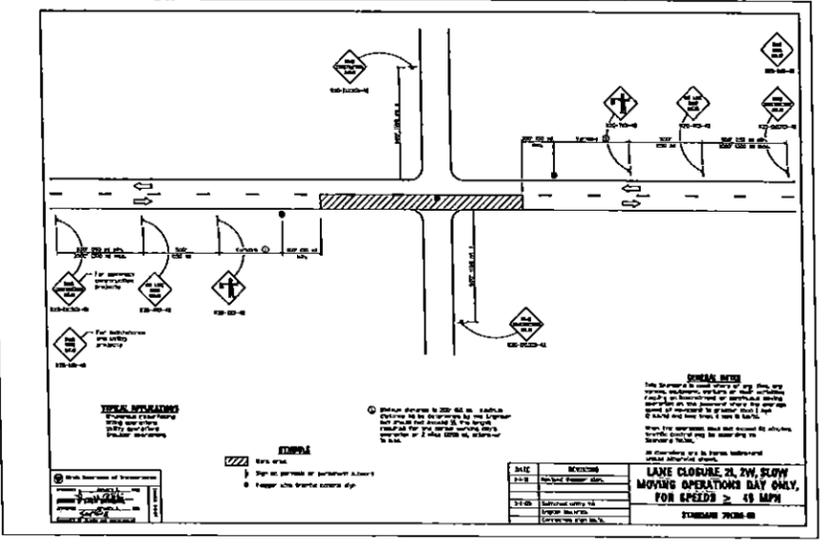
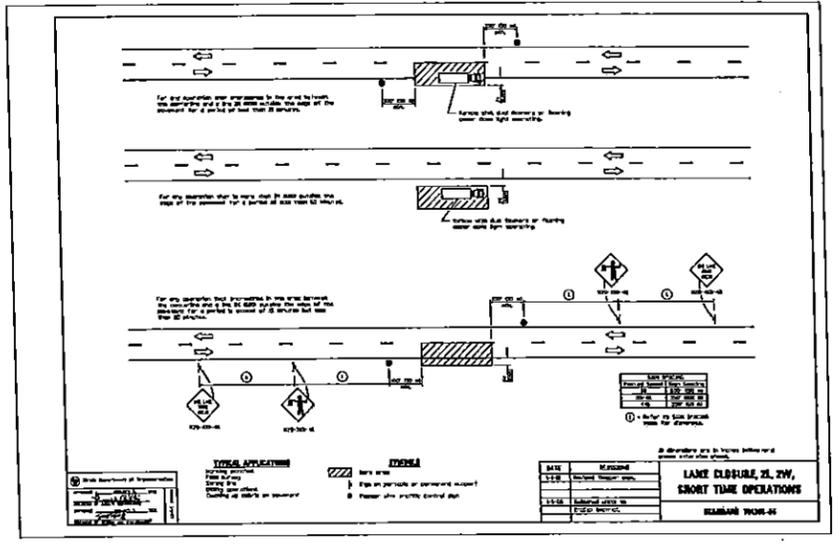
Nov 21, 2013 10:14 AM File Name: \\Manhard\Projects\Drawings\US 45\US45-11\Construction\sheet2.dwg, Uploaded By: jmanhard



Manhard CONSULTING LTD.
 400 Woodbine Parkway, Vernon Hills, IL 60061
 847.340.2000
 Civil Engineers • Surveyors • Water Resources Engineers
 Construction Management • Environmental Solutions • Landscaping Architects • Planners

US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS, ILLINOIS
 VERNON HILLS, ILLINOIS
 CONSTRUCTION DETAILS
 SHEET
16 OF **18**
 KNZVH 110660

PENDING APPROVAL - NOT FOR CONSTRUCTION

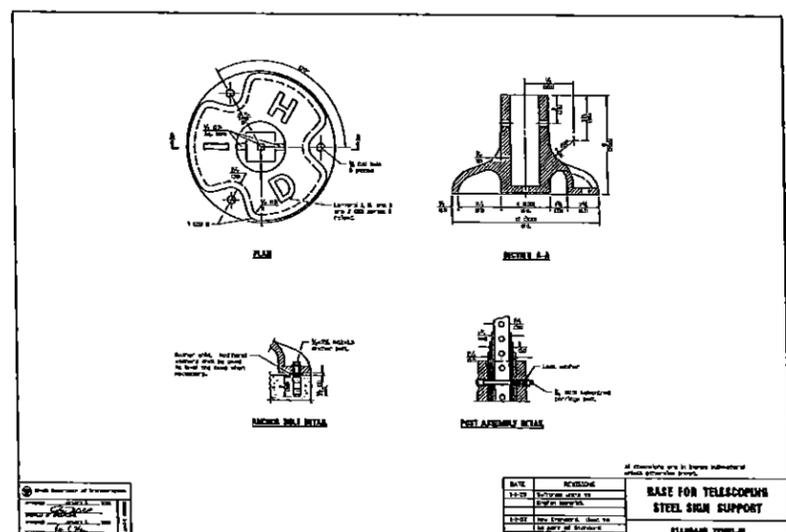
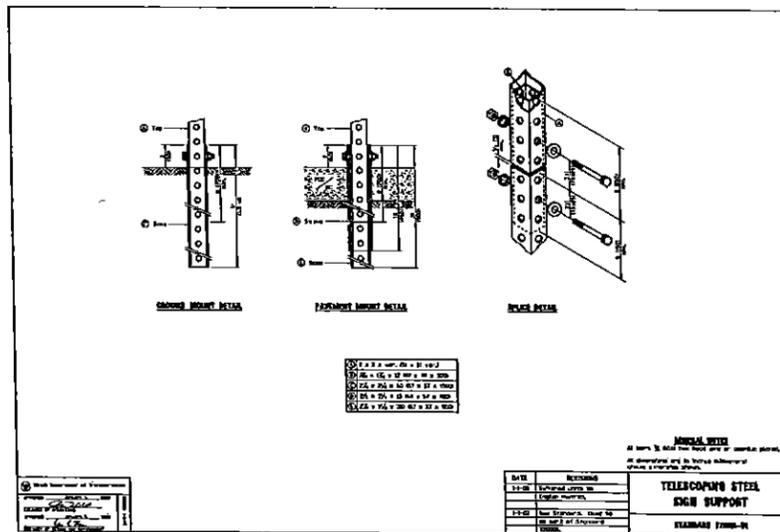
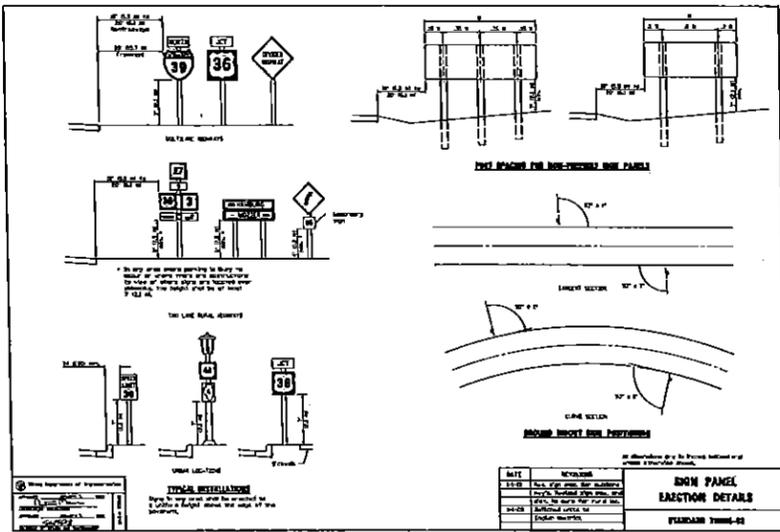


Manhard CONSULTING
 1100 S. W. 11th St., Suite 100, Fort Lauderdale, FL 33304
 Phone: (954) 577-1100, Fax: (954) 577-1101
 Email: info@manhard.com, manhard.com
 Services: Civil Engineers • Surveyors • Water & Wastewater Engineers • Construction Management • Environmental Scientists • Landscape Architects • Planners

US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS
 VERNON HILLS, ILLINOIS
 CONSTRUCTION DETAILS

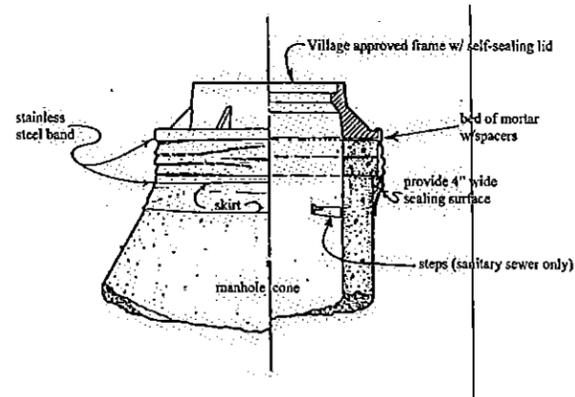
SHEET
17 of 18
 KHZVH 110860

PENDING APPROVAL - NOT FOR CONSTRUCTION



Appendix B - Development Regulations

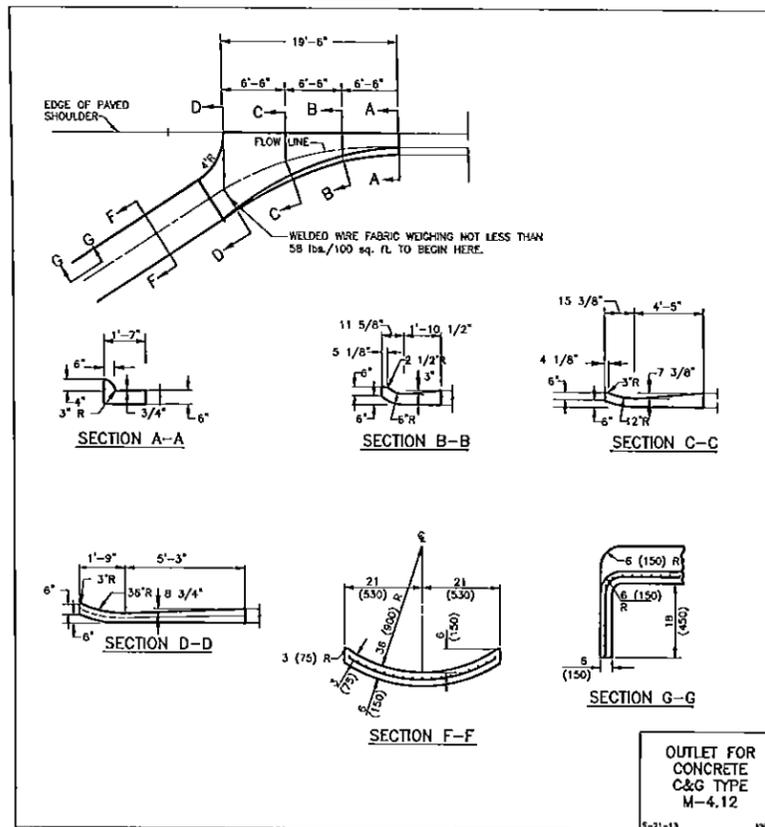
VILLAGE OF VERNON HILLS
EXHIBIT NO. 4
EXTERNAL CHIMNEY SEAL



Notes:

1. Chimney seals shall be installed on all sanitary sewerage system manholes and on all water valve vaults in pavement or sidewalks.
2. "Crefex" external or internal seals are recommended; other products or other design solutions shall require the approval of the Village Engineer and Lake County Public Works.
3. Chimney seals shall be installed in accordance with the manufacturer's instructions, and set in a bed of mortar.

CDB:96



May 21, 2013 - 10:58 AM User: Admin File Path: C:\Users\Admin\Desktop\Projects\2013\05\21\1058\1058.dwg Plot Date: 5/21/2013 10:58 AM Plot Scale: 1:1 Plot Size: 11x17

Manhard CONSULTING LTD
 850 Woodlawn Parkway, Vernon Hills, IL 60061
 Civil Engineers • Surveyors • Water Resource Engineers • Interior Architects • Planners
 Construction Management • Environmental Scientists • Landscape Architects • Planners

US 45 IMPROVEMENTS - THE OAKS OF VERNON HILLS
 VERNON HILLS, ILLINOIS
 CONSTRUCTION DETAILS

PENDING APPROVAL - NOT FOR CONSTRUCTION

PROJECT NO.	110660
DATE	3/11/13
SCALE	N.T.S.
SHEET	18 OF 18
DESIGNED BY	J.P.F.
DRAWN BY	J.R.K.
CHECKED BY	P.A.
DATE	3/11/13
SCALE	N.T.S.
SHEET	18 OF 18
PROJECT NO.	110660